



BUNCOMBE COUNTY
PLANNING & DEVELOPMENT
(828) 250-4830 - PlanningInfo@BuncombeCounty.org
www.buncombecounty.org/planning

ZONING PERMIT

Zoning Inspection: Call (828) 250-4830 to schedule at least 5 business days prior to Certificate of Occupancy.

A. Existing Property Information

PIN (Number): _____ **Address:** _____
Lot Size: _____ **Gate Access:** ☐ No ☐ Yes, Gate Code: _____
Other buildings on site? ☐ No ☐ Yes. How many and what type: _____

B. Proposed Development

How many structures are you building?: _____ Dwelling units: Adding _____ Total on site _____ Building Size: _____ SF _____ Height: Shortest side _____ Average _____ Project: <input type="checkbox"/> New Structure <input type="checkbox"/> Renovation <input type="checkbox"/> Addition Type: <input type="checkbox"/> Site-Built <input type="checkbox"/> Modular <input type="checkbox"/> Manufactured <input type="checkbox"/> Other	Describe what you are building and how it will be used: _____ _____ _____ Waste: <input type="checkbox"/> Private Septic <input type="checkbox"/> Public Sewer <input type="checkbox"/> Other Water: <input type="checkbox"/> Private Well <input type="checkbox"/> Public Water <input type="checkbox"/> Other Height of retaining walls you are building: _____ feet
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Use: ☐ Single (1) Family Residence ☐ Multi-Family Residence ☐ Vacation Rental ☐ Commercial/Industrial/Other
Structure distance to road right of way(s) and Front lot line: _____ **Side lot lines:** _____ **Rear lot line:** _____

C. Overlays & Other Considerations

☐ No disturbance or structures will be within any Zoning Overlay District as shown on the attached aerial photo or site plan
☐ Development is partially or entirely within the following area: ☐ Steep Slope ☐ Protected Ridge ☐ Blue Ridge Parkway
☐ Floodplain ☐ Watershed ☐ Hillside Subdivision

D. Contact Information

Name of applicant: _____ **Telephone Number(s):** (____) _____
Mailing address: _____
Email: _____

The undersigned hereby certifies that he/she is the owner, contractor, or authorized agent of the owner, and the above information is correct to the best of his/her knowledge and hereby makes application for a certificate of zoning compliance. Any information given herein that is incorrect will cause this certificate to become null and void.

Signature of applicant: _____ **Date:** _____

I understand that I need to call for a Zoning Inspection at the end of my project and I have read the information about permit requirements on the Zoning Permit Information page: _____ *Initial*

OFFICE USE ONLY: **Zoning District:** _____ **Site Plan Submitted:** ☐ Received
Minimum distance to: Road right-of-way(s) and front yard: _____ **Side lot line(s):** _____ **Rear lot line:** _____
Maximum Building Height: _____ ☐ shortest side ☐ average of shortest and tallest side from ground to roof peak
Special Conditions and Notes: _____

Reviewed by: _____ **Date:** _____ **ZON20** _____ - _____
Permit Status: ☐ Approved ☐ Denied: _____ **BLD20** _____ - _____

E. Manufactured Homes in R-1, R-2, BDM - Design Standards

Permanent Foundation: ☐ Yes ☐ No **Manufacture Date:** _____ **HUD Label affixed to unit:** ☐ Yes ☐ No
Wheels, tongues, and signals removed: ☐ Yes ☐ No **Multi-Sectional Unit:** ☐ Yes ☐ No
Skirting: ☐ Rusticated/Architectural Block ☐ Brick ☐ Concrete ☐ Stone ☐ Other _____
Skirting openings are perforated, and general access openings are covered: ☐ Yes ☐ No

F. Commercial Development

Approved CUP/PUD Permit # (If applicable): ZPH20 _____ - _____ **Number of striped parking spaces:** _____
☐ Site plan ☐ Landscaping plan ☐ Off-premise signs
☐ Lighting Plan ☐ Buffering ☐ NCDOT driveway permit
☐ Lighting Affidavit (Submitted after lights installed and meter reading taken, if applicable)

G. Vacation Rentals

rentals applied for this permit: _____ **Total # of rentals on site after this permit:** _____
Total # of housing units on site after this permit (short term and long term rental or owner-occupied units): _____
Does the owner of these rentals also own rentals adjacent to this property? ☐ No ☐ Yes (List # of rentals) _____
of parking spaces on site for all uses: _____ **# of parking spaces designated for this rental:** _____
Rental location: ☐ Renting a whole unit ☐ Renting part of a unit (such as a bedroom or basement)
☐ Renting a whole unit in a duplex/townhome/multi-family ☐ Renting Accessory Structure
Describe what is being rented: _____
Is there on-site management or is the owner living on site during the rental? ☐ Yes ☐ No

OFFICE USE ONLY - TO BE COMPLETED BY ENV HEALTH AND BLG PERMIT STAFF:

The following departments have reviewed the proposed Vacation Rental / Home Occupation project:

Env. Health Permit: ☐ Required ☐ Not Required _____ (Name, Date, Signature)

Building Dept. Permit: ☐ Required ☐ Not Required _____ (Name, Date, Signature)

OFFICE USE ONLY: ZONING INSPECTION

Pre-Inspection Completed: _____

Zoning Inspection Completed: _____

Revision Inspection Completed: _____

Placement Verification Completed:

- ☐ 100 year Flood or Floodway
- ☐ Ivy Watershed stream buffer
- ☐ Steep Slope/High Elevation Overlay

All Permits:

- ☐ Physical address observed on structure
- ☐ Setbacks from ROW and property lines met
- ☐ Height limit met
- ☐ Minimum parking spaces met

Commercial Permits:

- ☐ Outdoor lighting matches plan
- ☐ Landscaping matches plan
- ☐ Parking & Loading matches plan
- ☐ Buffering matches plan
- ☐ Lighting Affidavit received, if applicable
- ☐ As-Built received for Lighting, if applicable

Properties in the Steep Slope and Protected Ridge Overlay:

- ☐ Grading and impervious matches site plan
- ☐ Tree Screening matches site plan
- ☐ Structure built in location shown on site plan

Other Requirements:

- ☐ MH special requirements met (R-1, R-2, BDM)
- ☐ Vacation Rental meets requirements for # units and parking
- ☐ Retaining wall permit received for any walls over 10ft tall



Zoning Site Plan

Site plans are required as part of a Zoning permit application for new construction, renovations/additions, and disturbance in an overlay district. **You may use other site plan documents in lieu of this form.** Show the following existing and proposed items on your site plan:

- Property lines
- Public and private streets
- Easements and right-of-ways affecting the property
- Driveways, parking, graveled areas
- Structures, including sheds, decks, etc.
- Distance to the property line from proposed development

Please note that a to-scale site plan with additional information may be required for development within certain areas of the County, Commercial development, or when the location of property lines or other features is unclear. Consult with a Buncombe County Planner if you are unsure which type of site plan will be required

Zoning Permit Information

SETBACK REQUIREMENTS:

- All above ground portions of the structure, including but not limited to decks, stairs, overhangs (which extend 24" or greater outside the structure footprint), and other attached heated or unheated spaces must meet the setback requirements of the Ordinance.
- Setbacks are measured perpendicular from the plane of the building or structure out to the closest property line or road right-of-way (except as otherwise provided in the Beaverdam Zoning District).
- Any structure abutting two or more highways, roads, or streets shall maintain minimum "front yard" setbacks on all road sides. The location of the primary entrance of the structure shall be considered the front, and shall also maintain minimum front yard setbacks.

APPLICATION REVISIONS:

Any changes made inclusive of structural design, change in use, placement of the structure, or contact information must be provided to the Planning Department immediately and may require additional approvals.

STORMWATER & EROSION:

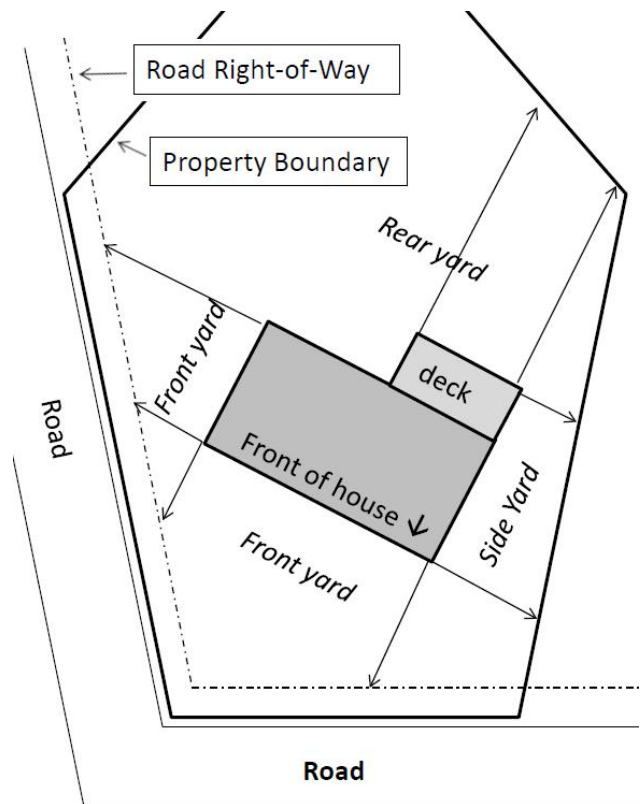
Stormwater: (828) 250-4854

Erosion: (828) 250-4848

All land disturbing activities, regardless of permits required, must use protective measures to prevent sedimentation from moving off-site (*ex: silt fencing*).

In addition, an erosion and stormwater permit may be required if you are engaging in any of the following activities:

- Any project disturbing 1 or more acres of land
- Grading any amount in a 'Hillside Subdivision'
- Commercial developments that are disturbing more than ¼ acre



ZONING INSPECTIONS:

Request a Zoning Inspection: (828) 250-4830

- A zoning inspection is required prior to receiving a Certificate of Occupancy (C.O.). The zoning inspection is separate from the building inspection.
- You must request an inspection a minimum of 5 business days prior to requesting your C.O. by calling the Planning department directly.
- Decks, porches, steps, appurtenances, and roof overhangs must be completed before requesting a zoning inspection.