



ZONING PERMIT

Call (828) 250-4858 to schedule a Zoning Inspection at least 2 business days prior to obtaining a final building inspection.

A. Existing Property Information

PIN (Number): _____ Address: _____
 Building: Primary Structure Accessory Lot Size: _____ Gated Access: No Yes, Gate Code: _____
 Project: New Building/Structure Renovation/Remodel/Upfit Addition _____
 Building/land is to be used for: Single Family Residence Multi-Family Residence
 Commercial/Industrial/Other, please describe: _____
 Are there other buildings on the parcel? No Yes, Please describe: _____

B. Proposed Construction

Building Construction Type: _____ Building height: _____ feet average shortest side
 Number of stories: _____ Building area: _____ SF Number of dwelling units: _____
 Are you constructing a retaining wall on the property? No Yes, with a height of _____ feet
 Structures distance to road right of way(s) and Front lot line: _____ Side lot lines: _____ Rear lot line: _____

OFFICE USE ONLY: Zoning District: _____
 Minimum distance to: Road right-of-way(s) and front yard: _____ Side lot line(s): _____ Rear lot line: _____
 Maximum Building Height: _____ shortest side average of shortest and tallest side from ground to roof peak
 Special Conditions and Notes: _____

C. Overlays & Other Considerations

No disturbance or structures will be within any Zoning Overlay District as shown on the attached aerial photo or site plan
 Development is partially or entirely within the following overlay: Steep Slope Protected Ridge Blue Ridge Parkway
 Floodplain Watershed

D. Commercial Development

Approved CUP/PUD Permit # (If applicable): ZPH20 _____ - _____ Number of striped parking spaces: _____
 Site plan submitted: Yes No Lighting plan submitted: Yes No Affidavit to be submitted for internal-lit signs

E. Contact Information

Name of applicant: _____ Telephone Number(s): (_____) _____
 Mailing address: _____
 Email: _____

The undersigned hereby certifies that he/she is the owner, contractor, or authorized agent of the owner, and the above information is correct to the best of his/her knowledge and hereby makes application for a certificate of zoning compliance. Any information given herein that is incorrect will cause this certificate to become null and void.

Signature of applicant: _____ Date: _____

I have read and understand the information about permit requirements on the back of this form: _____ Initial

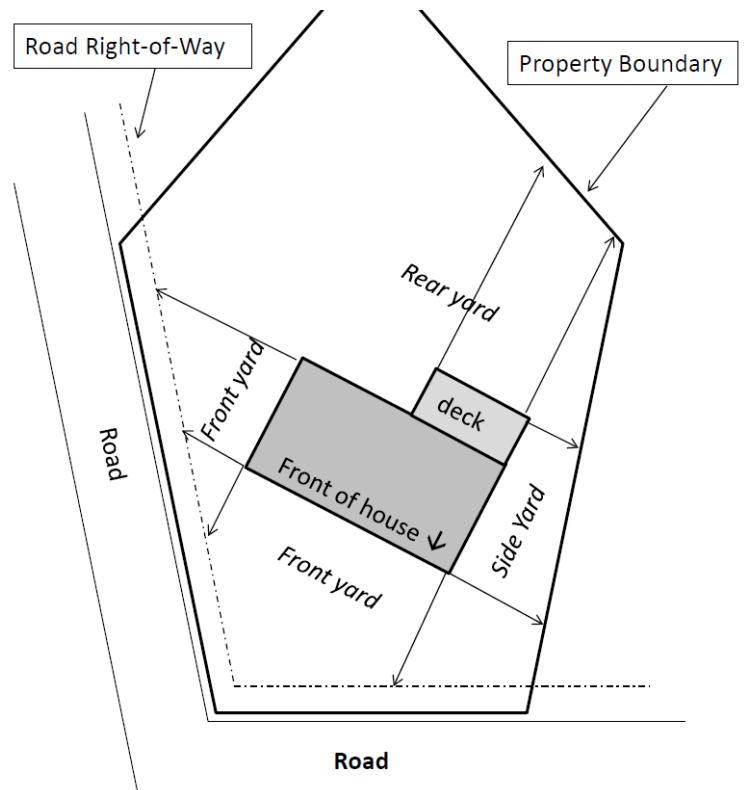
I have read and understood any Special Conditions and notes added by staff to the form above: _____ Initial

OFFICE USE: Received by: _____ Date: _____ ZON _____ - _____
 Overlay District(s) _____ BLD _____ - _____ 12/4/18

SETBACK REQUIREMENTS:

Planning - (828) 250-4830

- All above ground portions of the structure, including but not limited to decks, stairs, overhangs (which extend 24 inches or greater outside of the footprint of the structure), and other attached heated or unheated spaces must meet the setback requirements of the Ordinance.
- Setbacks are measured perpendicular from the plane of the building or structure out to the closest property line or road right-of-way (except as otherwise provided in the Beaverdam Zoning District).
- Any structure abutting two or more highways, roads, or streets shall maintain minimum "front yard" setbacks on all road sides. The location of the primary entrance of the structure shall be considered the front, and shall also maintain minimum front yard setbacks.



STORMWATER & EROSION:

Stormwater: (828) 250-4854

Erosion: (828) 250-4848

- All land disturbing activities must utilize protective measures to prevent sedimentation from moving off-site. Examples of protective measures are silt fencing or mud mats.
- Also, if you are disturbing more than 1 acre, or if your property is located within a "Hillside Subdivision" and you are disturbing more than ¼ acre, contact the Erosion and Stormwater divisions for additional requirements.

APPLICATION REVISIONS:

Any changes made to the initially reviewed building permit inclusive of structural design, change in use, placement of the structure, or contact information must be provided to the Planning Department immediately and may require additional approval.

ZONING INSPECTIONS:

Zoning Inspector: (828) 250-4828

- A zoning inspection is required prior to receiving a Certificate of Occupancy (C.O.). The zoning inspection is separate from the building inspection.
- Request an inspection a minimum of 48 business hours prior to requesting your C.O.
- All decks, porches, steps, appurtenances, and roof overhangs must be completed prior to requesting the zoning inspection.

ADDITIONAL DOCUMENTS AVAILABLE:

- Protected Ridge/Steep Slope Overlay Checklist
- Commercial Zoning Permit Checklist
- Commercial Lighting Checklist
- Flood Development Permit Application
- Retaining Wall Application & Checklist
- Water supply / Watershed Application