

Buncombe County Planning Board
July 18, 2016

The Buncombe County Planning Board met on July 18, 2016 in the meeting room at 30 Valley Street. Members present were Gene Bell, Nancy Waldrop, Bob Taylor, Dusty Pless, and Robert Martin. Also present were Michael Frue, Staff Attorney, and Debbie Truempy and Shannon Capezzali, Planning staff.

Call to Order

Gene Bell called the meeting to order at 9:31 am.

Approval of Agenda

Nancy Waldrop made a motion to approve the agenda. The motion was seconded by Bob Taylor and passed unanimously.

Approval of Minutes (July 11, 2016)

Nancy Waldrop made a motion to approve the minutes. The motion was seconded by Dusty Pless and passed unanimously.

Subdivision Review

SUB2016-00241: *Brian Nelson of East West Winterhawk LLC applied for major subdivision approval of 15 lots for the project identified as Winterhawk Subdivision, and located on tax lot PIN #9643-69-8702 (Winterhawk Drive and Berry Crest Lane).*

The Board was provided with the submitted site plan (Attachment A) and proposed staff conditions (Attachment B). Debbie Truempy reviewed the proposed subdivision and staff conditions for the Board. Matt Sprouse and Brian Nelson, applicants, were in attendance to present the application. There was no public comment. Dusty Pless made a motion to grant preliminary approval to the subdivision with the proposed staff conditions. The motion was seconded by Nancy Waldrop and passed unanimously.

SUB2016-00251 and SUB2013-00372: *David Case of Andana LLC applied for major subdivision approval of 27 lots for the project identified as Sovereign Oaks (Phase III), and approval of a revised master plan, located on tax lot PIN #9679-15-8663 (Trail Top Drive and Wandering Oaks Way).*

The Board was provided with the submitted site plan (Attachment C), proposed staff conditions (Attachment D), and revised Master Plan (Attachment E). Debbie Truempy reviewed the proposed subdivision and staff conditions for the Board. John Kinnaird, applicant, was in attendance to present the application.

Gene Bell opened the discussion for public comment:

- Dede Styles of Swannanoa expressed concern about the ability of the proposed septic systems to handle the demand from the development without sufficient space for future repair areas. Debbie Truempy stated that sufficient repair areas are a requirement of the septic permit as determined by a licensed soil scientist, and that the proposed lots are larger than required by the zoning ordinance.

Bob Taylor made a motion to grant preliminary approval to the subdivision with the proposed staff conditions and to approve the revised master plan. The motion was seconded by Nancy Waldrop and passed unanimously.

Presentations & Discussion

NCDOT: Mark Gibbs, NCDOT Division 13 Maintenance Engineer, and Anna Henderson, NCDOT Division 13 Traffic Engineer, discussed the department's policies on driveway permits, traffic studies, and access roads. Mr. Gibbs stated that it was not the department's policy to reject access, but they can require improvements such as turn lanes or signals as a condition of issuing a Driveway Permit. He added that if a project is deemed unsafe, they can require the developer to make improvements, and if the developer does not make the required improvements, they can deny the permit.

Mr. Gibbs said that coordinating traffic studies is difficult for areas that have had multiple smaller-size developments over time. NCDOT policy is to require a study for developments which will generate 3,000 or more vehicle trips per day. Examples of development that would typically generate 3,000 vehicle trips per day are: 55,000 square feet of retail space; 300 single-family homes; 400,000 square feet of industrial space; and a 350 room hotel. He added that a jurisdiction may create stricter rules for developments or require a traffic study for smaller-impact developments. When a road or intersection service level is reduced to a D or below from a higher rating level, the road or intersection is put on DOT's plan for future improvements. A traffic study utilizes data from traffic signal delays, vehicle numbers generated, and other information to determine road and intersection grades. A traffic study can cost around \$5,000 to \$6,000 as an average. Ms. Henderson discussed how service levels are determined. She said that larger area problems are addressed through long range planning. Ms. Henderson said that the department can do a baseline traffic count for a particular intersection with two to three weeks' notice. Mr. Gibbs stated that NCDOT policy for a second access or for more than one traffic signal is a minimum of 600 feet of separation.

Debbie Truempy stated that the subdivision ordinance requires a specific standard in order to reject an application and that rejection cannot be based on a perception that traffic is bad. NCDOT will provide the Board with a copy of the driveway permit requirements.

ZPH2016-00018: The Board will continue to discuss the proposed revisions to the ordinance in light of the NCDOT information when more board members are present.

Public Comment

There was no additional public comment.

Adjourn

The meeting was adjourned at 10:40am.

SUB2016-00241
SUBMITTED 6/17/2016

A MASTER PLAN SUBMITTAL FOR WINTERHAWK

PREPARED FOR:
EAST WEST CAPITAL
28 SCHENCK PARKWAY, 2B -200
ASHEVILLE, NC 28803

- APPROVED AT THE 7/18/2016 PB MEETING WITH THE FOLLOWING CONDITIONS:
1. Provide proof of approval of E-911 addressing.
 2. Provide a written statement from the Buncombe County Erosion Control Officer stating that the approved Erosion Control Plan has been reactivated and revised for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
 3. Provide a written statement from the Buncombe County Stormwater Administrator stating that the approved Stormwater Plan has been reactivated and revised for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.*
 4. Provide proof that sewer and water lines have been dedicated to the appropriate agencies.
 5. Indicate township on the submitted plan.
 6. Indicate written scale on the submitted plans
 7. Indicate provision of utilities on the submitted plan, or indicate that no such provisions are made.
 8. Indicate linear feet of roads.
 9. Indicate approximate delineation of wooded and open space on the submitted plan.
 10. Indicate FEMA floodplain information on the submitted plat.
 11. Provide existing use of land within and abutting the subdivision.
 12. Provide proof of approval of NCDOT driveway permit.
 13. Indicate lot slope perpendicular to the road or indicate that all lots perpendicular to the road are less than 18%
 14. Revise plans to show 18 feet of pavement in all locations, or submit a variance to the Buncombe County Planning Board for review and approval.
 15. Provide road radii information on submitted plan.
 16. Provide corridor width and height information on the submitted plan.
 17. Provide certification from a geotechnical engineer that the recommendations indicated for the stabilization of the road in the submitted geotech report were followed.
 18. Provide certification from an engineer that the existing road (after stabilization of the road is completed) meets the standards of the Buncombe County Land Development and Subdivision Ordinance.

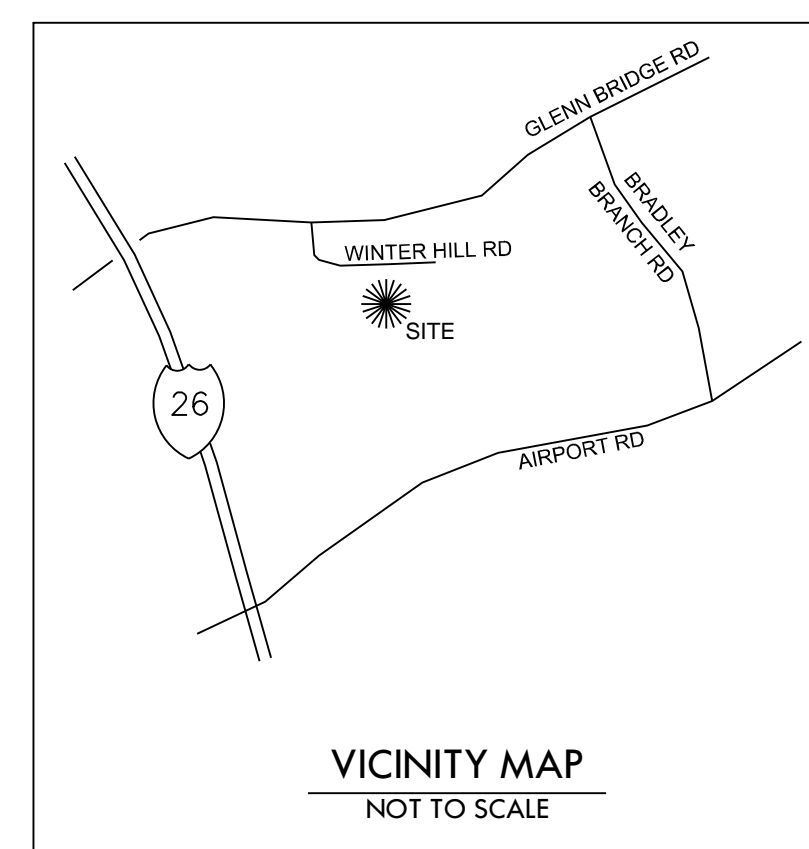


JUNE 9, 2016

LANDSCAPE ARCHITECTURE
352 Depot Street | Suite 120 | Asheville, NC 28801
828.225.4945 | siteworkstudios.com

SITE LOCATION MAP

NTS



OWNER:
EAST WEST CAPITAL
28 SCHENCK PARKWAY, 2B -200
ASHEVILLE, NC 28803

PROPERTY INFORMATION
PIN: 964369870200000
PROPERTY ADDRESS: WINTERHAWK DRIVE, ARDEN NC

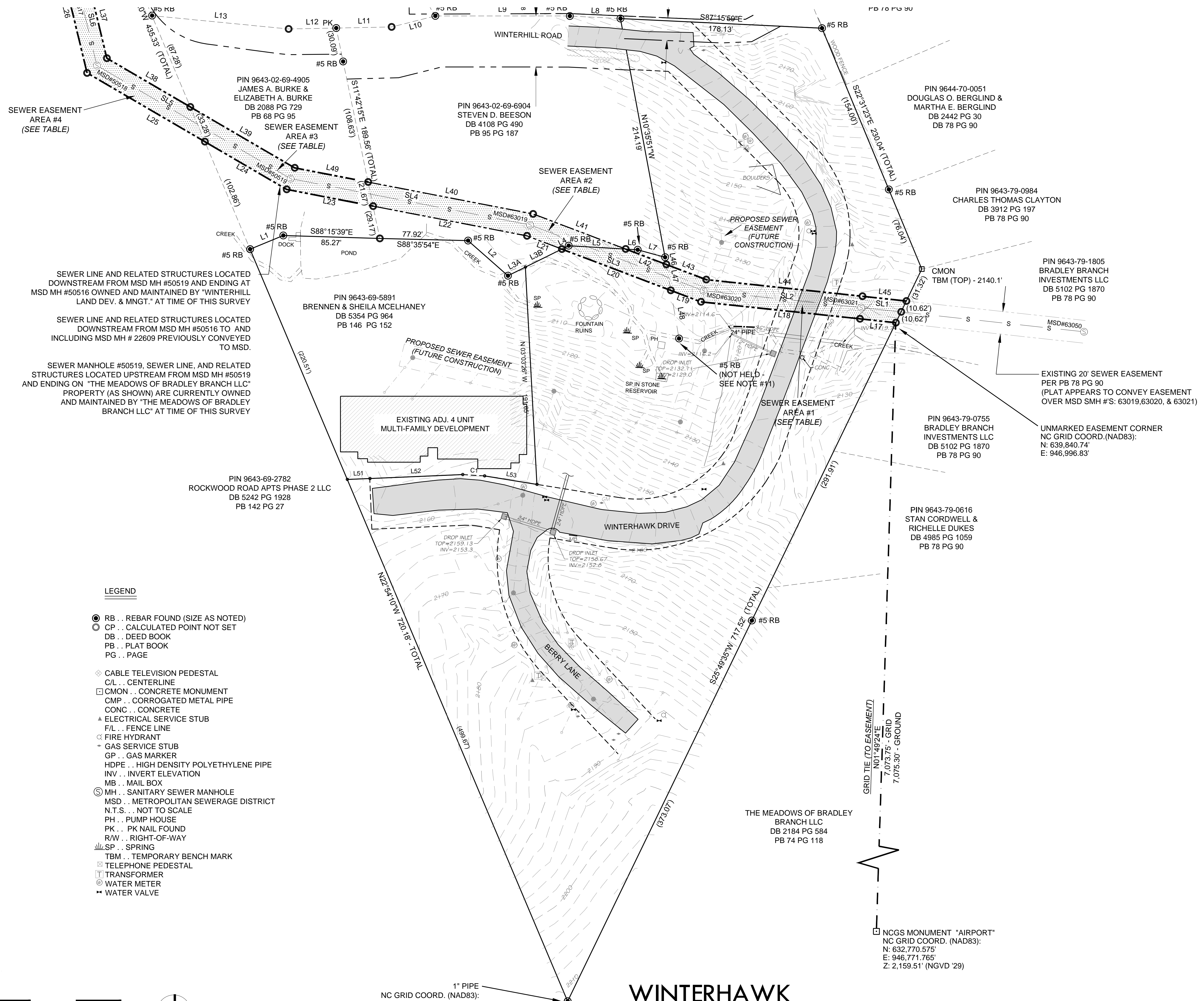
DRAWING INDEX

SHEET NUMBER	SHEET TITLE
L-0	COVER SHEET
L-100	LANDSCAPE ARCHITECTURE Existing Conditions Plan
L-200	Preliminary Subdivision Plan

REVISIONS

DATE	REVISION DESCRIPTION	SHEET





SEWER EASEMENT AREA #4 (SEE TABLE)

PIN 9643-02-69-4905 JAMES A. BURKE & ELIZABETH A. BURKE DB 2088 PG 729 PB 68 PG 95

PIN 9643-02-69-6904 STEVEN D. BEESON DB 4108 PG 490 PB 95 PG 187

PIN 9644-70-0051 DOUGLAS O. BERGLIND & MARTHA E. BERGLIND DB 2442 PG 30 DB 78 PG 90

PIN 9643-79-0984 CHARLES THOMAS CLAYTON DB 3912 PG 197 PB 78 PG 90

PIN 9643-79-1805 BRADLEY BRANCH INVESTMENTS LLC DB 5102 PG 1870 PB 78 PG 90

PIN 9643-69-5891 BRENNEN & SHEILA MCELHANEY DB 5354 PG 964 PB 146 PG 152

PIN 9643-79-0755 BRADLEY BRANCH INVESTMENTS LLC DB 5102 PG 1870 PB 78 PG 90

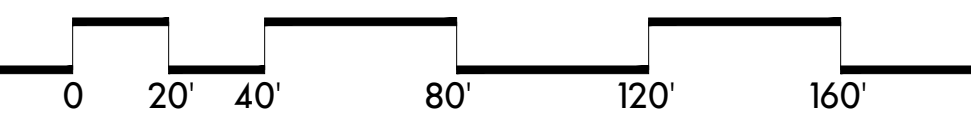
PIN 9643-79-0616 STAN CORDWELL & RICHELLE DUKES DB 4985 PG 1059 PB 78 PG 90

PIN 9643-69-2782 ROCKWOOD ROAD APTS PHASE 2 LLC DB 5242 PG 1928 PB 142 PG 27

THE MEADOWS OF BRADLEY BRANCH LLC DB 2184 PG 584 PB 74 PG 118

LEGEND

- RB . . . REBAR FOUND (SIZE AS NOTED)
- CP . . . CALCULATED POINT NOT SET
- DB . . . DEED BOOK
- PB . . . PLAT BOOK
- PG . . . PAGE
- ◇ CABLE TELEVISION PEDESTAL
- C/L . . . CENTERLINE
- CMON . . . CONCRETE MONUMENT
- CMP . . . CORRUGATED METAL PIPE
- CONC . . . CONCRETE
- ▲ ELECTRICAL SERVICE STUB
- F/L . . . FENCE LINE
- FIRE HYDRANT
- ◆ GAS SERVICE STUB
- GP . . . GAS MARKER
- HDPE . . . HIGH DENSITY POLYETHYLENE PIPE
- INV . . . INVERT ELEVATION
- MB . . . MAIL BOX
- MH . . . SANITARY SEWER MANHOLE
- MSD . . . METROPOLITAN SEWERAGE DISTRICT
- N.T.S. . . . NOT TO SCALE
- PH . . . PUMP HOUSE
- PK . . . PK NAIL FOUND
- R/W . . . RIGHT-OF-WAY
- SP . . . SPRING
- TBM . . . TEMPORARY BENCH MARK
- ☒ TELEPHONE PEDESTAL
- T . . . TRANSFORMER
- ⊙ WATER METER
- ⊕ WATER VALVE



EXISTING CONDITIONS

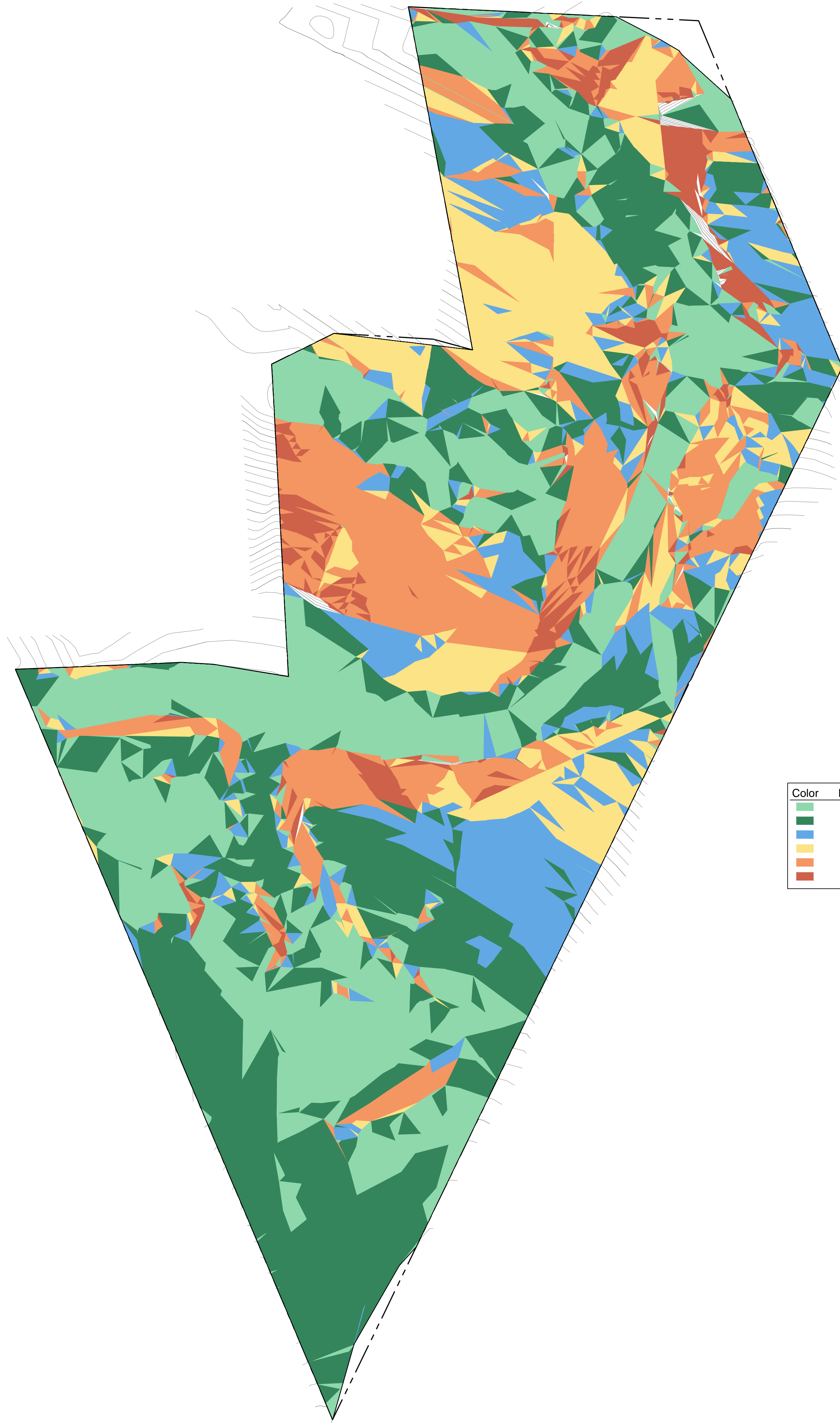
WINTERHAWK

ARDEN, NC

GRID TIE (TO EASEMENT)
N01°49'24"E
7,073.75' - GRID
7,075.30' - GROUND

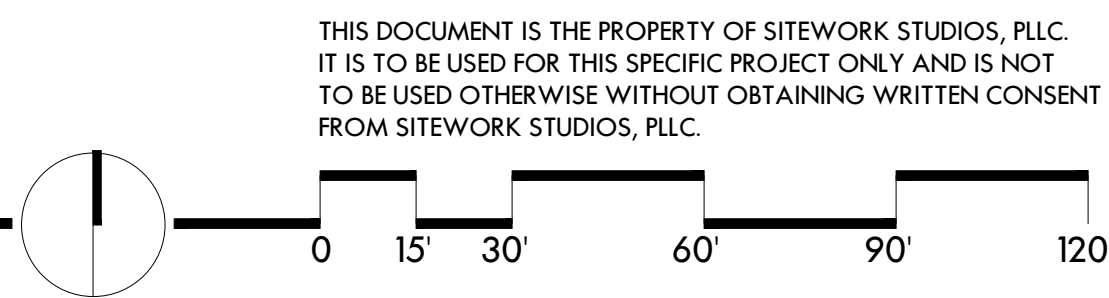
NCGS MONUMENT "AIRPORT"
NC GRID COORD. (NAD83):
N: 632,770.575'
E: 946,771.765'
Z: 2,159.51' (NGVD '29)

1" PIPE
NC GRID COORD. (NAD83):
N: 639,242.13'



Winter Hill Slope Legend

Color	Range Beg.	Range End	Area	Percent
Light Green	0.00	15.00	55805.66	28.7
Dark Green	15.00	25.00	54897.26	28.2
Blue	25.00	30.00	23155.40	11.9
Yellow	30.00	35.00	24232.09	12.4
Orange	35.00	50.00	28666.68	14.7
Red	50.00	100.00	7953.83	4.1



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CONSULTANT

WINTERHAWK SUBDIVISION
 PREPARED FOR:
EAST WEST WINTERHAWK, LLC
 28 SCHENCK PARKWAY, 2B-200
 ASHEVILLE, NORTH CAROLINA 28803

REVISIONS		
NO.	REMARKS	DATE

NOT FOR CONSTRUCTION
 C-188
 DATE: 06.09.2016
 SHEET TITLE:

SLOPE ANALYSIS PLAN
 SHEET NO.
L-300

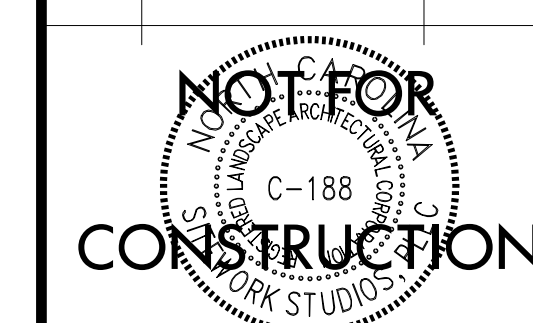
CONSULTANT

WINTERHAWK SUBDIVISION

PREPARED FOR:
EAST WEST WINTERHAWK, LLC
28 SCHENCK PARKWAY, 2B-200
ASHEVILLE, NORTH CAROLINA 28803

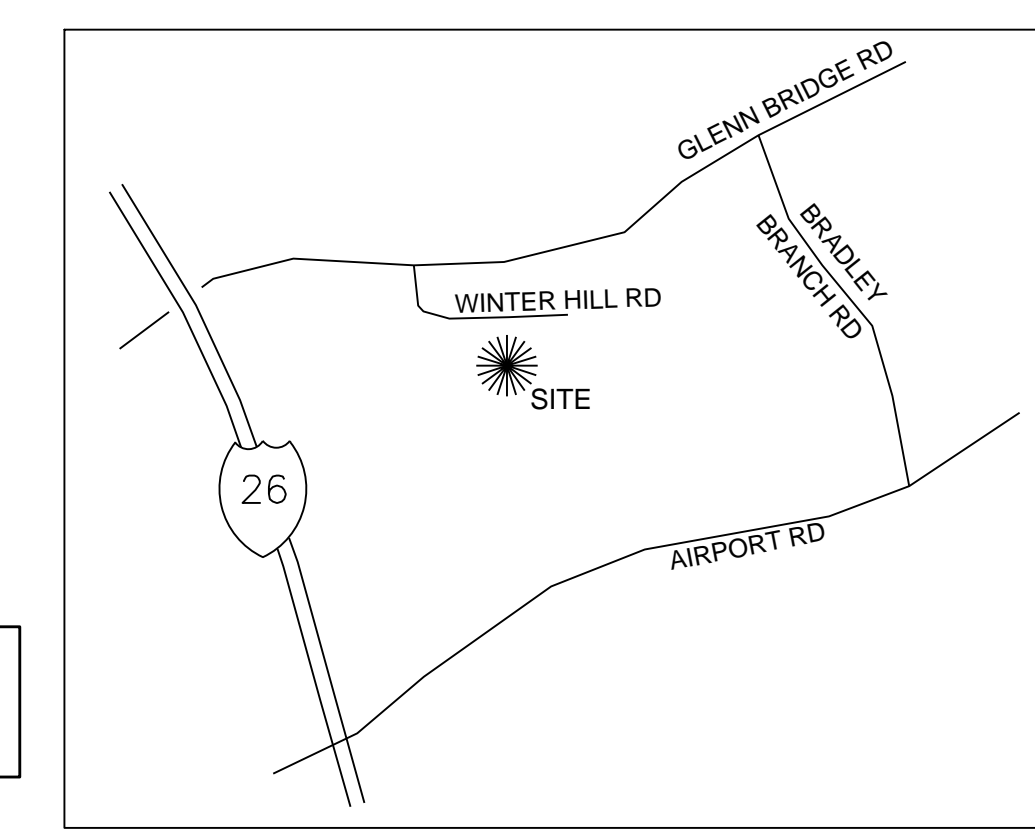
REVISIONS

NO.	REMARKS	DATE



DATE:
06.09.2016
SHEET TITLE:
**EXISTING
CONDITIONS
PLAN**

SHEET NO.
L-100

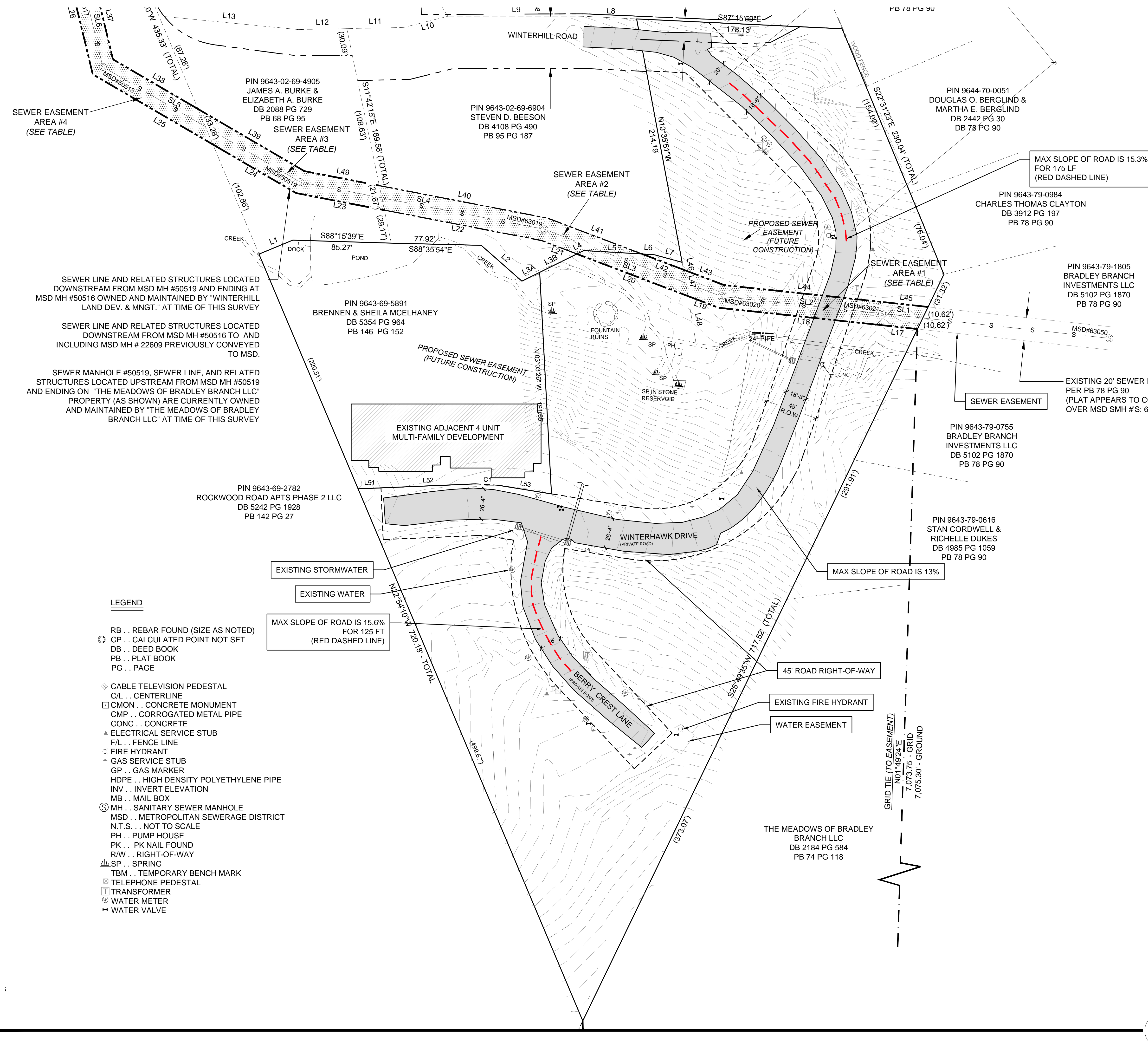


VICINITY MAP
NOT TO SCALE

PROPERTY OWNER
EAST WEST CAPITAL, LLC
28 SCHENCK PARKWAY, 2B -200
ASHEVILLE, NC 28803

CONTACT
MATT SPROUSE, PLA
SITEWORK STUDIOS, PLLC
352 DEPOT STREET, SUITE 120
ASHEVILLE, NC 28801
(O) (828) 225-4945
msprouse@siteworkstudios.com

PROJECT ADDRESS:
PIN: 964369870200000
TOTAL ACREAGE OF DEVELOPMENT : 4.53 AC.
ADDRESS: WINTERHAWK DR



SEWER EASEMENT AREA #4 (SEE TABLE)

PIN 9643-02-69-4905
JAMES A. BURKE & ELIZABETH A. BURKE
DB 2088 PG 729
PB 68 PG 95

PIN 9643-02-69-6904
STEVEN D. BEESON
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PB 78 PG 90

PIN 9643-79-0616
STAN CORDWELL & RICHELLE DUKES
DB 4985 PG 1059
PB 78 PG 90

PIN 9643-69-2782
ROCKWOOD ROAD APTS PHASE 2 LLC
DB 5242 PG 1928
PB 142 PG 27

PIN 9643-69-5891
BRENNEN & SHEILA MCELHANEY
DB 5354 PG 964
PB 146 PG 152

THE MEADOWS OF BRADLEY BRANCH LLC
DB 2184 PG 584
PB 74 PG 118

MAX SLOPE OF ROAD IS 15.3% FOR 175 LF (RED DASHED LINE)

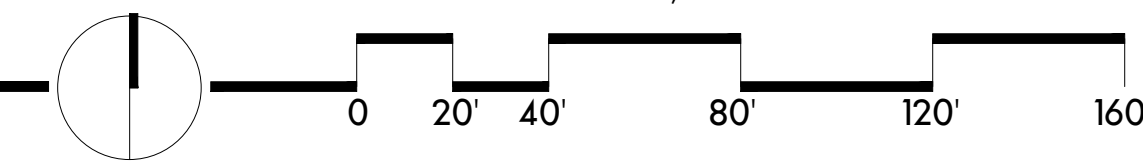
MAX SLOPE OF ROAD IS 13%

MAX SLOPE OF ROAD IS 15.6% FOR 125 FT (RED DASHED LINE)

LEGEND

- RB . . REBAR FOUND (SIZE AS NOTED)
- CP . . CALCULATED POINT NOT SET
- DB . . DEED BOOK
- PB . . PLAT BOOK
- PG . . PAGE
- ◆ CABLE TELEVISION PEDESTAL
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Buncombe County Planning Board Meeting
Recommended Staff Conditions
July 18, 2016
SUB2016-00241
Winterhawk

If approved by the Buncombe County Planning Board, the applicant shall provide the following information on a revised set of plans (if necessary) submitted to the Buncombe County Department of Planning and Development:

1. Provide proof of approval of E-911 addressing.
2. Provide a written statement from the Buncombe County Erosion Control Officer stating that the approved Erosion Control Plan has been reactivated and revised for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
3. Provide a written statement from the Buncombe County Stormwater Administrator stating that the approved Stormwater Plan has been reactivated and revised for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.*
4. Provide proof that sewer and water lines have been dedicated to the appropriate agencies.
5. Indicate township on the submitted plan.
6. Indicate written scale on the submitted plans
7. Indicate provision of utilities on the submitted plan, or indicate that no such provisions are made.
8. Indicate linear feet of roads.
9. Indicate approximate delineation of wooded and open space on the submitted plan.
10. Indicate FEMA floodplain information on the submitted plat.
11. Provide existing use of land within and abutting the subdivision.
12. Provide proof of approval of NCDOT driveway permit.
13. Indicate lot slope perpendicular to the road or indicate that all lots perpendicular to the road are less than 18%
14. Revise plans to show 18 feet of pavement in all locations, or submit a variance to the Buncombe County Planning Board for review and approval.

15. Provide road radii information on submitted plan.
16. Provide corridor width and height information on the submitted plan.
17. Provide certification from a geotechnical engineer that the recommendations indicated for the stabilization of the road in the submitted geotech report were followed.
18. Provide certification from an engineer that the existing road (after stabilization of the road is completed) meets the standards of the Buncombe County Land Development and Subdivision Ordinance.

SOVEREIGN OAKS - PHASE 3

SUB2016-000251
SUBMITTED 6-17-2016

(Formerly known as Old Coggins Farm)

approved with conditions at the 7/18/2016 pb meeting

ATTACHMENT C

NOTES

PROJECT INFORMATION:

1. PROJECT ADDRESS: 5 WANDERING OAKS WAY, ASHEVILLE NC 28804
2. PARCEL ID: 9679-16-0279
3. TOTAL PROJECT AREA: 169.01 AC.
4. DISTURBED AREA: 5.56 ACRES (PHASE 3).
5. PROJECT LOCATION: LAT: 35°36'46"N LON: -82°27'48"E.
6. THIS SITE IS IN A DELINEATED FLOOD PANEL 9679J, MAP 3700967900J
7. TOPO IS FLOWN TOPO PROVIDED BY WNC SURVEYORS AND ENGINEERS.
9. POWER PROVIDED BY DUKE ENERGY
10. CABLE PROVIDED BY CHARTER COMMUNICATIONS.
11. EXISTING WOODED AREA: 34.3 AC EXISTING OPEN AREA: 13.1 AC
12. EXISTING LAND USE: AGRICULTURE/RESIDENTIAL

GENERAL NOTES:

1. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE JOB SITE AND LOCATION OF ALL EXISTING FACILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR WILL BE UNILATERALLY RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES AND UNDERGROUND UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS; AND IF DAMAGED, SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.
2. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS BEFORE SUBMITTING HIS BID.
3. THE CONTRACTOR SHALL RE-SET ALL MANHOLE COVERS, CATCH BASIN GRATES AND ANY OTHER UTILITY ACCESS COVERS TO FINISH PAVEMENT SURFACE OR SIDEWALK GRADE.
4. PROTECT UNDERGROUND UTILITIES AND THEIR APPURTENANCES TO REMAIN ON SITE FROM DAMAGE DURING CONSTRUCTION OPERATIONS. PROVIDE SHORING AND OTHER METHODS OF PROTECTIONS AS NEEDED TO ENSURE THE CONDITION AND OPERATION OF THOSE UTILITIES TO REMAIN. CONTRACTOR SHALL CONFIRM AS ENCOUNTERED AND COORDINATE AS NECESSARY.
5. THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD. IT IS SPECIFICALLY UNDERSTOOD THAT HE DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION, SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION, RESPONSIBILITY FOR SCHEDULING THE WORK, FOR INSURING COMPLETE COMPLIANCE WITH THE CONTRACT DOCUMENTS, AND/OR ALL CODE REQUIREMENTS, RULES AND REGULATION OF ANY PUBLIC OR PRIVATE AUTHORITY HAVING JURISDICTION OVER THE WHOLE OR ANY PART OF THE WORK. IN ADDITION, THE ENGINEER NEITHER UNDERTAKES, ASSUMES, NOR GUARANTEES THE WORK AND/OR PERFORMANCE OF THE CONTRACTOR.

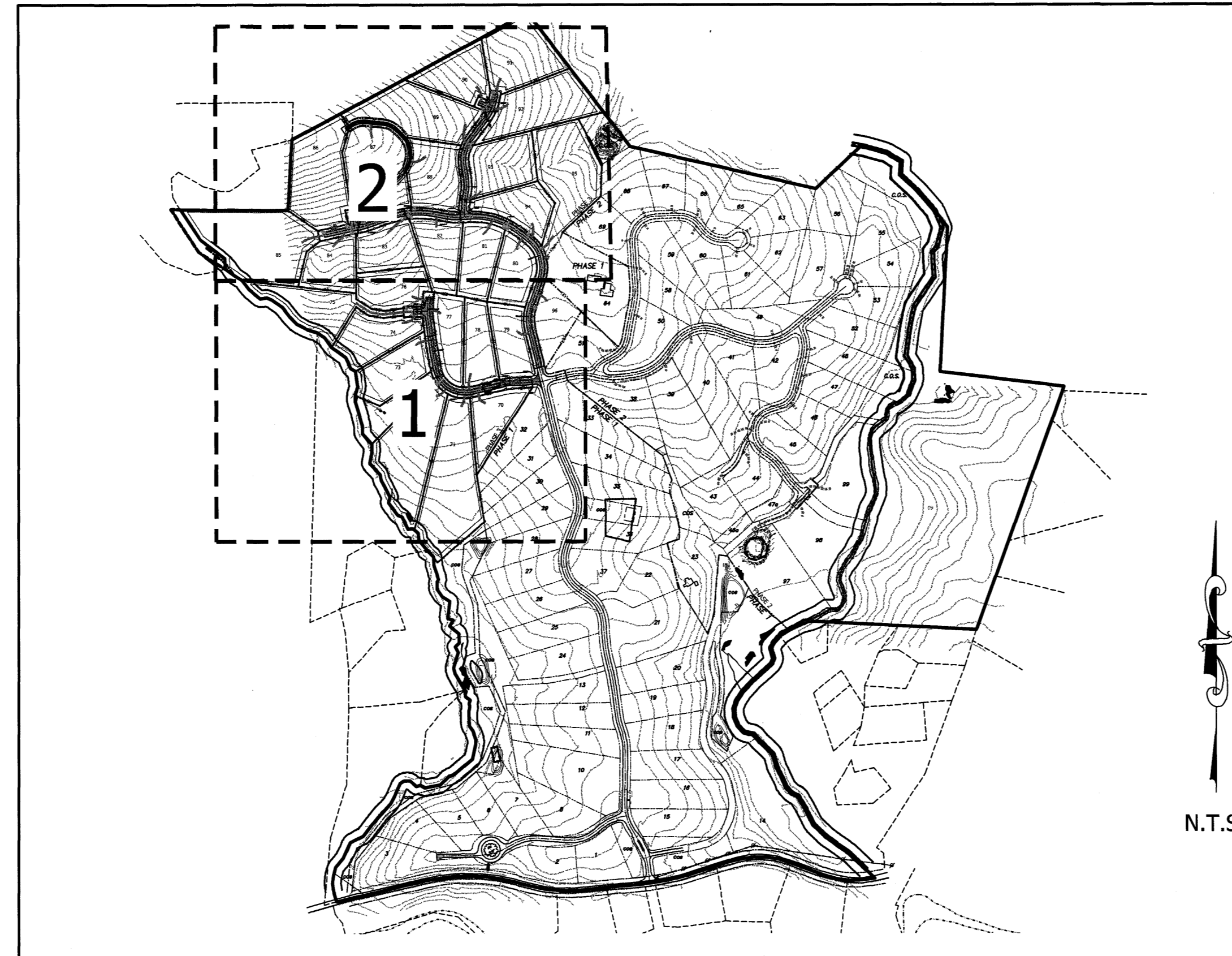
GRADING AND EROSION CONTROL NOTES:

1. The only site work to be allowed to take place prior to the full installation of erosion control measures will be the cutting of trees. Clearing, tree removal operations cannot begin until permits are secured and erosion control measures are in place.
2. In accordance with the NPDES general stormwater permit, the following conditions must be met:
 - 2.1. The erosion control plan must be implemented - deviations are a violation of the permit
 - 2.2. A copy of all plans must be retained by the permit
 - 2.3. Deposition of sediment offsite or in a stream or wetland are considered a violation of the permit.
 - 2.4. Visible deposition of sediment shall be reported to BUNCOMBE COUNTY within 24 hours of inspection.
 - 2.5. A rain gauge shall be maintained on site.
 - 2.6. A written record of the daily rainfall amounts shall be retained.
 - 2.7. At least once per week, each erosion control measure shall be inspected to ensure that it is operating correctly and records maintained.
 - 2.8. Inspections shall also be made within 24 hours of rain events over 1/2 inch.
 - 2.9. The quality of all stormwater discharges shall be observed and recorded.
 - 2.10. If any visible sedimentation is leaving the site or entering waters of the state, corrective action shall be taken immediately to control the discharge of sediments.
3. Self-Inspection records shall be kept on site and made available to the Erosion Control Inspector upon request.
4. All drainage easements must be grassed and/or rip-rapped per the plans to control erosion.
5. The scope of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land-disturbing activities.
6. Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source and an amended plan be submitted and approved showing modified erosion control devices.
7. The site shall receive temporary/permanent seeding within 7 days of completion of grading operations.
8. All work in the NCDOT right-of-way to be done in accordance with NCDOT specifications and standards.
9. Contractor to provide inlet protection at each structure as storm system is constructed.
10. All grading and erosion control operations and installations must be done in accordance with BUNCOMBE COUNTY's engineering standard specifications and details.
11. Install and maintain temporary sediment basins during rough grading.
12. Provide watertight joints on any storm drains where velocities exceed 15 ft/sec (see pipe chart).
13. All perimeter dikes, swales, slopes, and ditches, and all slopes steeper than 3:1 shall be stabilized in 7 days. All other slopes must be stabilized in 14 days.

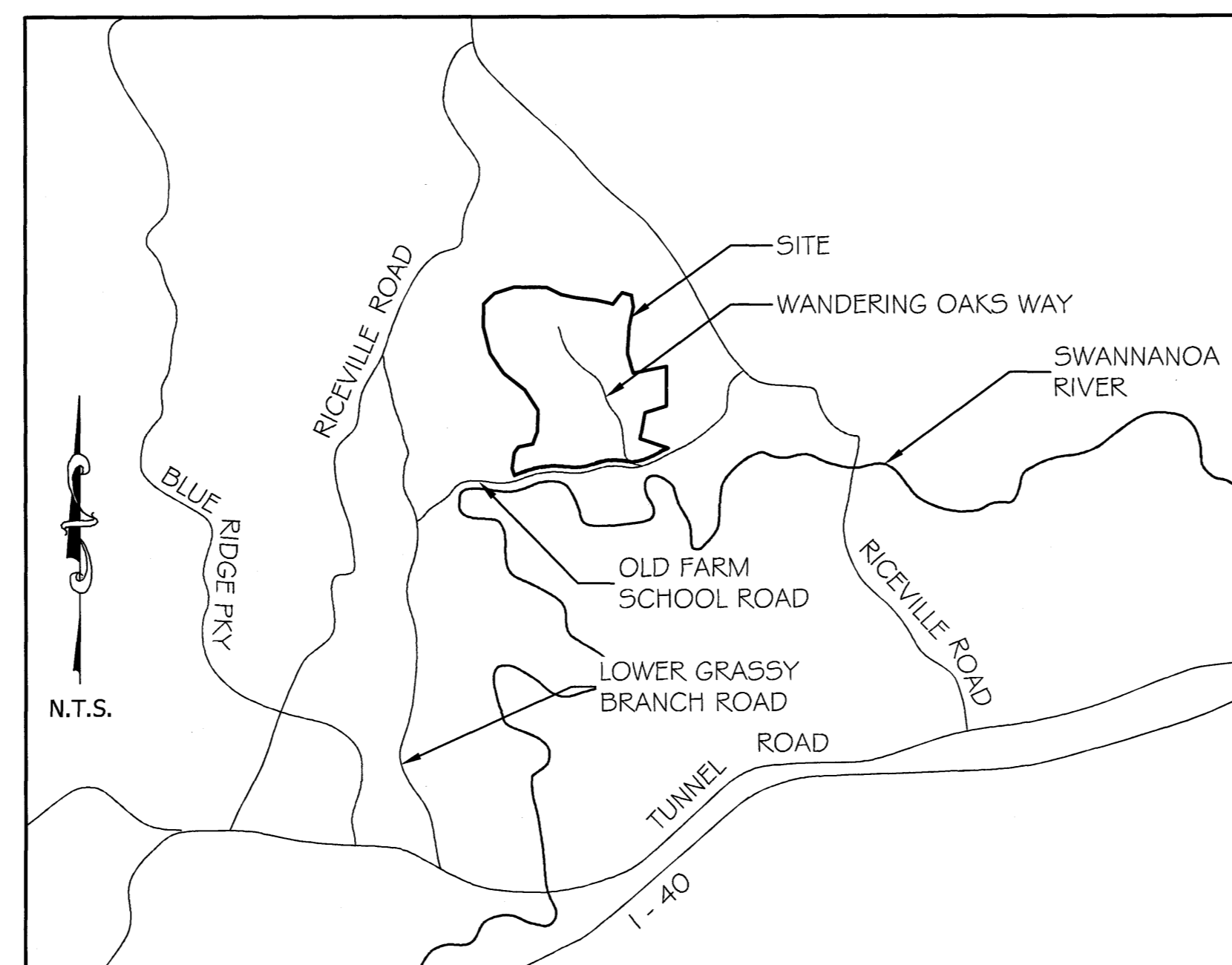
INSPECTION SCHEDULE:

1. NO CONSTRUCTION SHALL COMMENCE PRIOR TO A PRECONSTRUCTION MEETING WITH THE PROJECT ENGINEER, THE CONTRACTOR, AND A REPRESENTATIVE OF THE BUNCOMBE COUNTY.
2. NO EQUIPMENT SUBSTITUTION SHALL BE MADE WITHOUT MANUFACTURER(S) AND PROJECT ENGINEER'S APPROVAL.
3. FINAL INSPECTION SHALL COMMENCE AFTER SITE STABILIZATION.

PROJECT MAP



VICINITY MAP

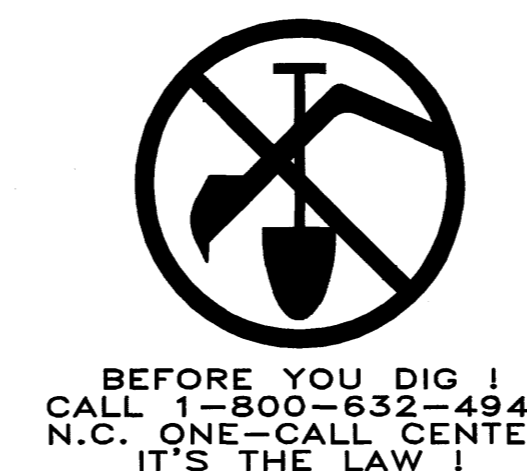


PROJECT INFO

DEVELOPER: ANDANA, LLC	CONTACT INFO: CONTACT: ANDY BAKER 54 BARTLETT STREET ASHEVILLE, NC 28801 P: 828-645-8815 EMAIL: andy@tfmcarolina.com
ENGINEER: BROOKS ENGINEERING ASSOCIATES, PA	CONTACT INFO: CONTACT: JOHN KINNAIRD, PE 17 ARLINGTON STREET ASHEVILLE, NC 28801 P: 828-232-4700 EMAIL: jkinnaird@brooksea.com
SURVEYOR: BROOKS ENGINEERING ASSOCIATES, PA	CONTACT INFO: CONTACT: PAUL SEXTON, PE 17 ARLINGTON STREET ASHEVILLE, NC 28801 P: 828-232-4700 EMAIL: psexton@brooksea.com
OWNER: ANDANA, LLC	CONTACT INFO: 88 OLD COGGINS PLACE ASHEVILLE, NC 28804

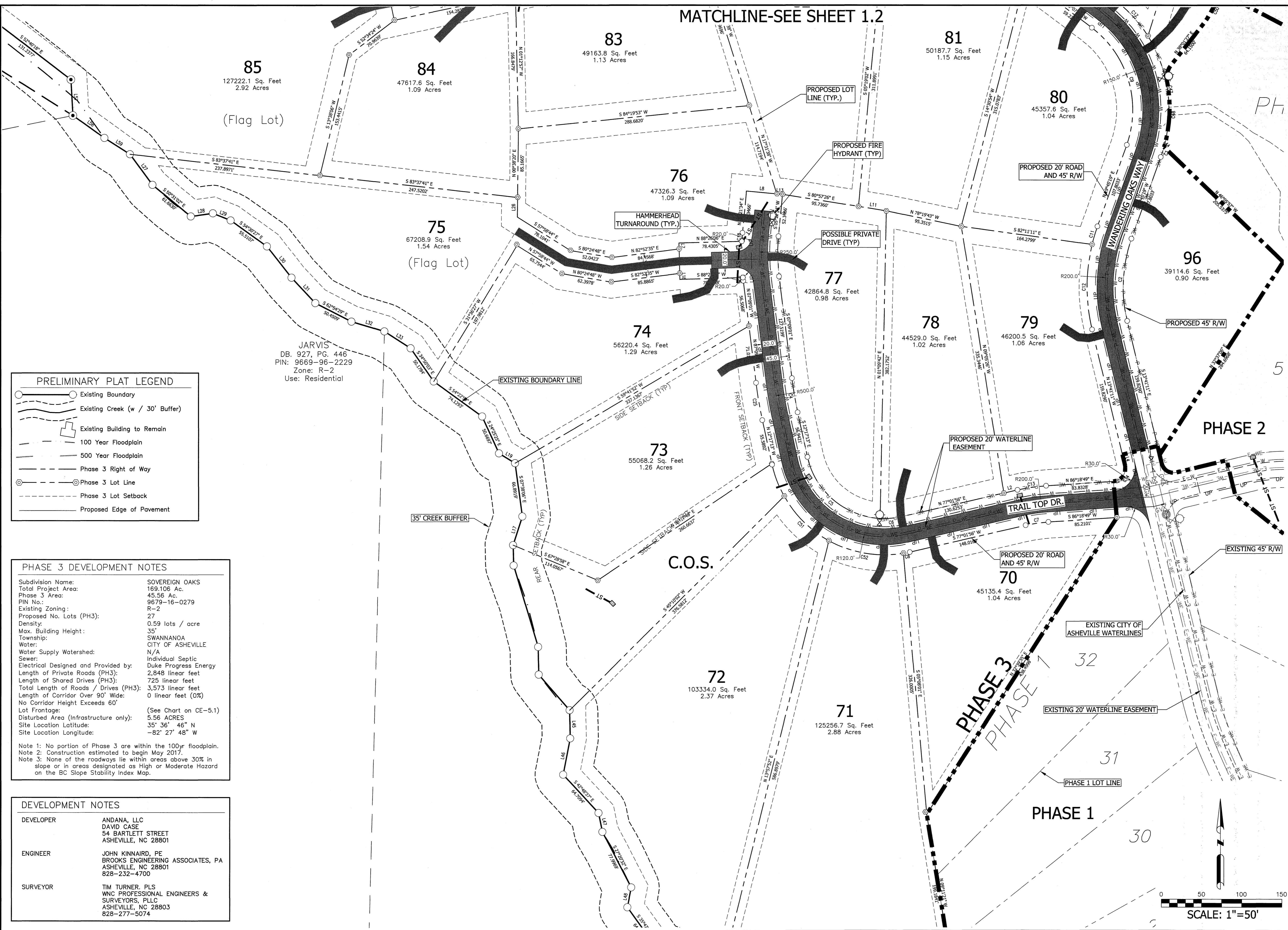
SHEET INDEX

SHEET NO.:	SHEET TITLE
C-0	COVER SHEET
MP-1.1	MASTER PLAN
MP-1.2	MASTER PLAN WITH SLOPE ANALYSIS
MP-1.3	MASTER PLAN WITH STABILITY MAP
C-1.1	PRELIMINARY PLAT & SITE PLAN (1 OF 2)
C-1.2	PRELIMINARY PLAT & SITE PLAN (2 OF 2)
C-2.1	GRADING & STORMWATER PLAN (1 OF 2)
C-2.2	GRADING & STORMWATER PLAN (2 OF 2)
C-2.3	STORMWATER PROFILES
C-3.1	WATER EXTENSION PLAN (1 OF 2)
C-3.2	WATER EXTENSION PLAN (2 OF 2)
C-4.1	ROAD AND WATER PROFILES
C-4.2	ROAD AND WATER PROFILES
C-5.1	SITE DETAILS
C-5.2	STORMWATER AND E/C DETAILS
C-5.3	STORMWATER AND E/C DETAILS
C-5.4	STORMWATER AND E/C DETAILS
C-5.5	STORMWATER AND E/C DETAILS
C-5.6	UTILITY DETAILS



No.	1	REVISIONS/SUBMISSIONS	DATE
		SUBMITTAL TO PLANNING BOARD	6/17/2016
Project No. 433816		SOVEREIGN OAKS PHASE 3	
C-0		BUNCOMBE COUNTY	
Drawing Title: COVER SHEET		NORTH CAROLINA	
Project Name: SOVEREIGN OAKS PHASE 3		BROOKS ENGINEERING ASSOCIATES	
Project Address: 17 ARLINGTON STREET ASHEVILLE, N.C. 28801		Planning • Engineering • Surveying • Environmental Services •	
Phone: 1-828-232-4700		www.brooksea.com	
Fax: 1-828-232-1331		FOR CONSTRUCTION	

MATCHLINE-SEE SHEET 1.2



PRELIMINARY PLAT LEGEND

- Existing Boundary
- Existing Creek (w / 30' Buffer)
- Existing Building to Remain
- 100 Year Floodplain
- 500 Year Floodplain
- Phase 3 Right of Way
- Phase 3 Lot Line
- Phase 3 Lot Setback
- Proposed Edge of Pavement

PHASE 3 DEVELOPMENT NOTES

Subdivision Name: SOVEREIGN OAKS
 Total Project Area: 169,106 Ac.
 Phase 3 Area: 45.56 Ac.
 PIN No.: 9679-16-0279
 Existing Zoning: R-2
 Proposed No. Lots (PH3): 27
 Density: 0.59 lots / acre
 Max. Building Height: 35'
 Township: SWANNANOA
 City: CITY OF ASHEVILLE
 Water: N/A
 Water Supply Watershed: N/A
 Sewer: Individual Septic
 Electrical Designed and Provided by: Duke Progress Energy
 Length of Private Roads (PH3): 2,848 linear feet
 Length of Shared Drives (PH3): 725 linear feet
 Total Length of Roads / Drives (PH3): 3,573 linear feet
 Length of Corridor Over 90° Wide: 0 linear feet (0%)
 No Corridor Height Exceeds 60'
 Lot Frontage: (See Chart on CE-5.1)
 Disturbed Area (Infrastructure only): 5.56 ACRES
 Site Location Latitude: 35° 36' 46" N
 Site Location Longitude: -82° 27' 48" W

Note 1: No portion of Phase 3 are within the 100yr floodplain.
 Note 2: Construction estimated to begin May 2017.
 Note 3: None of the roadways lie within areas above 30% in slope or in areas designated as High or Moderate Hazard on the BC Slope Stability Index Map.

DEVELOPMENT NOTES

DEVELOPER
 ANDANA, LLC
 DAVID CASE
 54 BARTLETT STREET
 ASHEVILLE, NC 28801

ENGINEER
 JOHN KINNAIRD, PE
 BROOKS ENGINEERING ASSOCIATES, PA
 ASHEVILLE, NC 28801
 828-232-4700

SURVEYOR
 TIM TURNER, PLS
 WNC PROFESSIONAL ENGINEERS &
 SURVEYORS, PLLC
 ASHEVILLE, NC 28803
 828-277-5074

JARVIS
 DB. 927, PG. 446
 PIN: 9669-96-2229
 Zone: R-2
 Use: Residential

Date	6/17/2016
REVISIONS/SUBMISSIONS	
No.	1
	SUBMITTAL TO PLANNING BOARD

FOR CONSTRUCTION

Reviewed: MCB
 Scale: 1"=50'
 Date: 6-17-2016

Designed: JHK
 Drawn: MGC
 Checked: JHK

17 Arlington Street
 Asheville, N.C. 28801
 Phone: 1-828-232-4700
 Fax: 1-828-232-1331
 www.brooksea.com

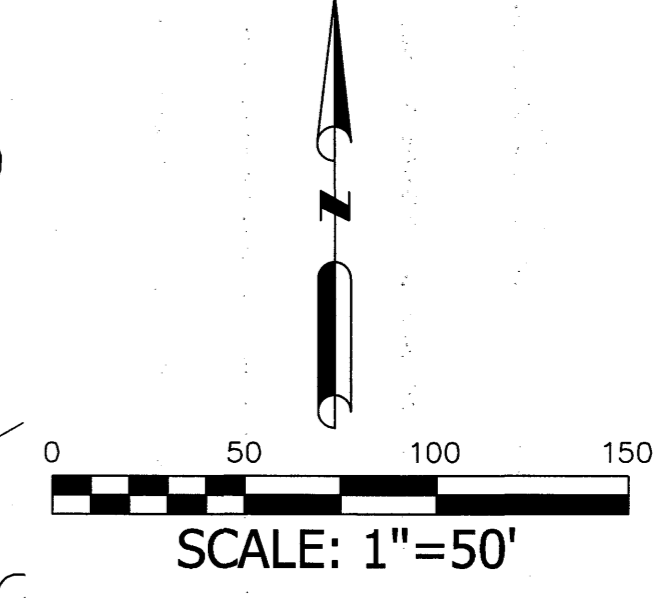
BROOKS ENGINEERING ASSOCIATES
 Planning • Engineering • Surveying
 • Environmental Services •

SOVEREIGN OAKS
 PHASE 3

BUNCOMBE COUNTY
 NORTH CAROLINA

Project No: 433816
 C-1.1

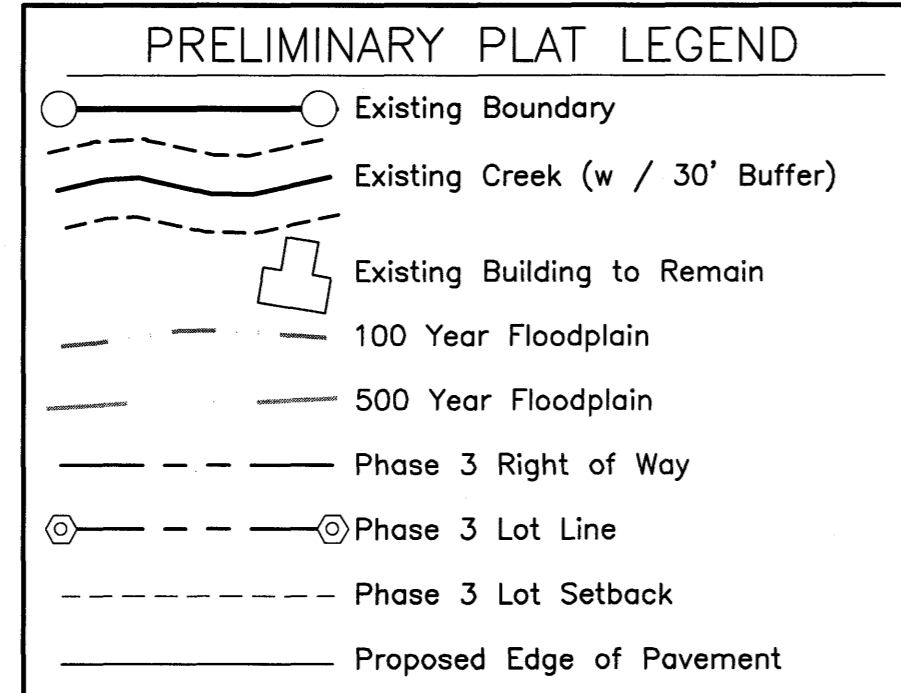
Drawing Title:
 PRELIMINARY PLAT & SITE PLAN



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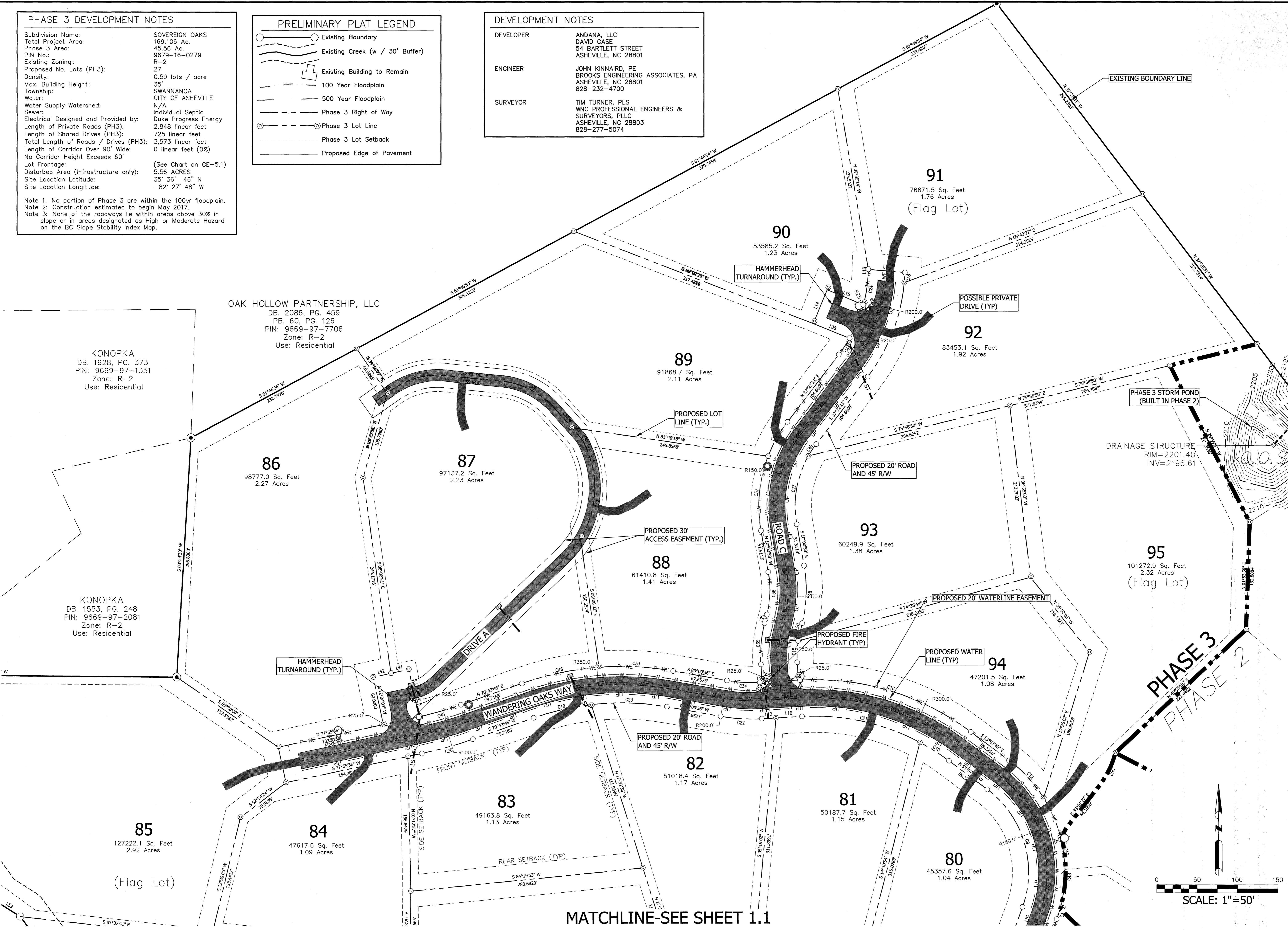


DEVELOPMENT NOTES

DEVELOPER: ANDANA, LLC
 DAVID CASE
 54 BARTLETT STREET
 ASHEVILLE, NC 28801

ENGINEER: JOHN KINNAIRD, PE
 BROOKS ENGINEERING ASSOCIATES, PA
 ASHEVILLE, NC 28801
 828-232-4700

SURVEYOR: TIM TURNER, PLS
 WNC PROFESSIONAL ENGINEERS &
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 ASHEVILLE, NC 28803
 828-277-5074

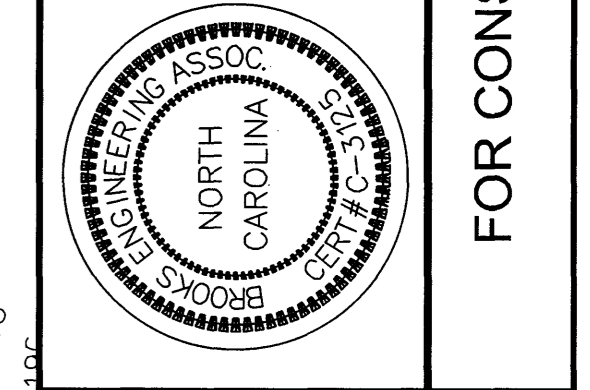
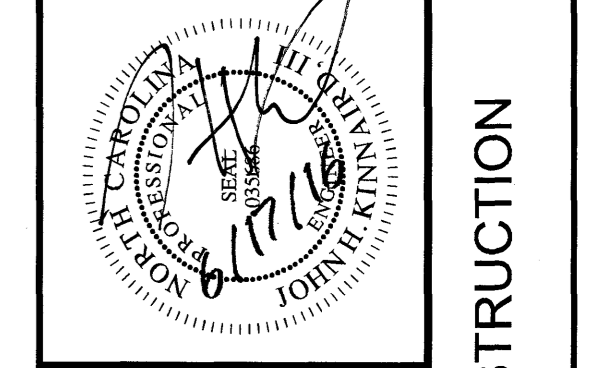


OAK HOLLOW PARTNERSHIP, LLC
 DB. 2086, PG. 459
 PB. 60, PG. 126
 PIN: 9669-97-7706
 Zone: R-2
 Use: Residential

KONOPKA
 DB. 1928, PG. 373
 PIN: 9669-97-1351
 Zone: R-2
 Use: Residential

KONOPKA
 DB. 1553, PG. 248
 PIN: 9669-97-2081
 Zone: R-2
 Use: Residential

No.	REVISIONS/SUBMISSIONS	Date
1	SUBMITTAL TO PLANNING BOARD	6/17/2016



Reviewed: MCB
 Scale: 1"=50'
 Date: 6-17-2016

Designed: JHK
 Drawn: MIG
 Checked: JHK

17 Arlington Street
 Asheville, N.C. 28801
 Phone: 1-828-232-4700
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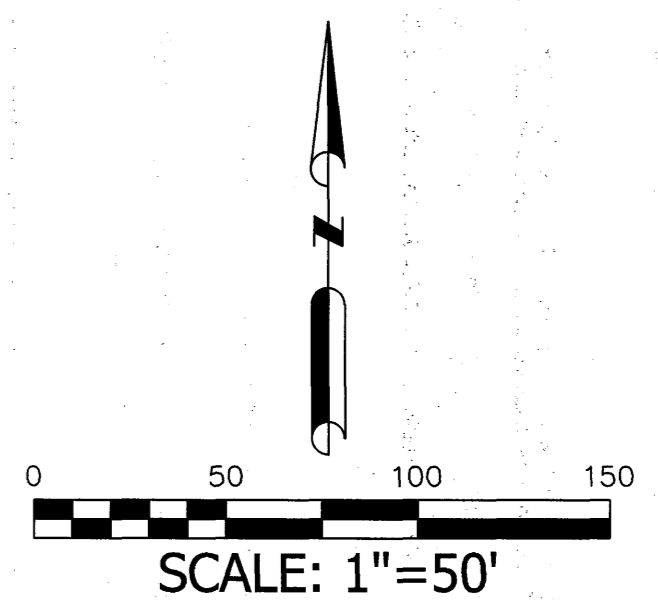
BROOKS
 ENGINEERING ASSOCIATES
 Planning • Engineering • Surveying
 • Environmental Services •

SOVEREIGN OAKS
 PHASE 3

BUNCOMBE COUNTY
 NORTH CAROLINA

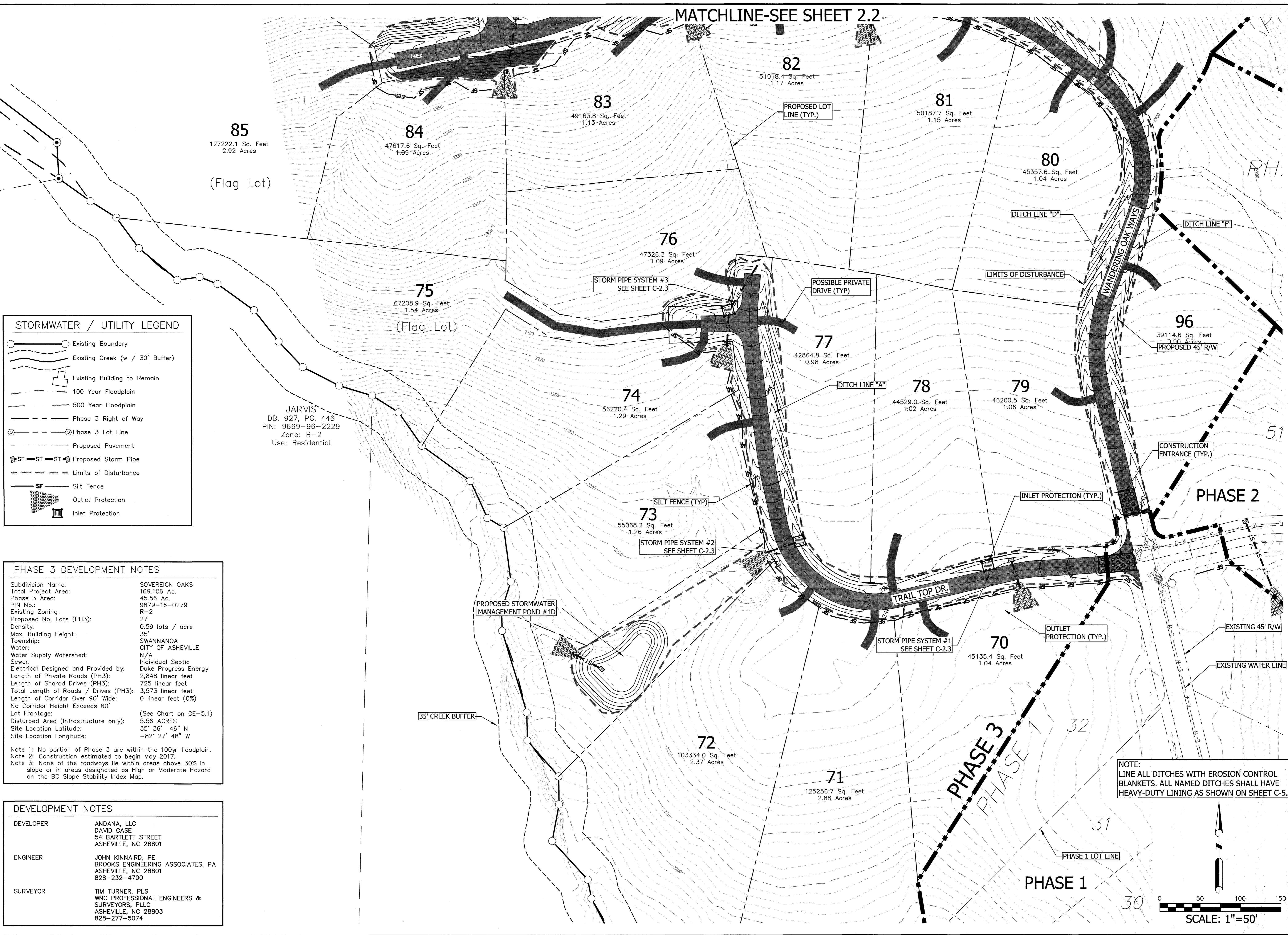
Project No: 433816
 C-1.2

Drawing Title:
 PRELIMINARY PLAT & SITE PLAN



MATCHLINE-SEE SHEET 1.1

MATCHLINE-SEE SHEET 2.2



STORMWATER / UTILITY LEGEND

- Existing Boundary
- Existing Creek (w / 30' Buffer)
- Existing Building to Remain
- 100 Year Floodplain
- 500 Year Floodplain
- Phase 3 Right of Way
- Phase 3 Lot Line
- Proposed Pavement
- Proposed Storm Pipe
- Limits of Disturbance
- Silt Fence
- Outlet Protection
- Inlet Protection

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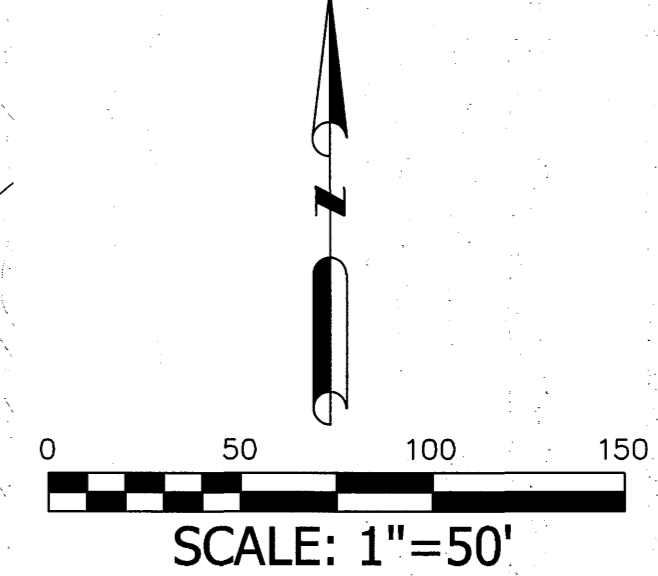
DEVELOPMENT NOTES

DEVELOPER: ANDANA, LLC
 DAVID CASE
 54 BARTLETT STREET
 ASHEVILLE, NC 28801

ENGINEER: JOHN KINNAIRD, PE
 BROOKS ENGINEERING ASSOCIATES, PA
 ASHEVILLE, NC 28801
 828-232-4700

SURVEYOR: TIM TURNER, PLS
 WNC PROFESSIONAL ENGINEERS & SURVEYORS, PLLC
 ASHEVILLE, NC 28803
 828-277-5074

NOTE: LINE ALL DITCHES WITH EROSION CONTROL BLANKETS. ALL NAMED DITCHES SHALL HAVE HEAVY-DUTY LINING AS SHOWN ON SHEET C-5.2



		FOR CONSTRUCTION	
		FOR CONSTRUCTION	
Reviewed: MCB Scale: 1"=50' Date: 6-17-2016	Designed: JHK Drawn: MIG Checked: JHK	17 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksca.com	Date: 6/17/2016
BROOKS ENGINEERING ASSOCIATES Planning • Engineering • Surveying • Environmental Services •		SOVEREIGN OAKS PHASE 3	BUNCOMBE COUNTY NORTH CAROLINA
Project No: 433816	Drawing Title: GRADING & STORMWATER PLAN	C-2.1	No. 1 SUBMITTAL TO PLANNING BOARD

PHASE 3 DEVELOPMENT NOTES

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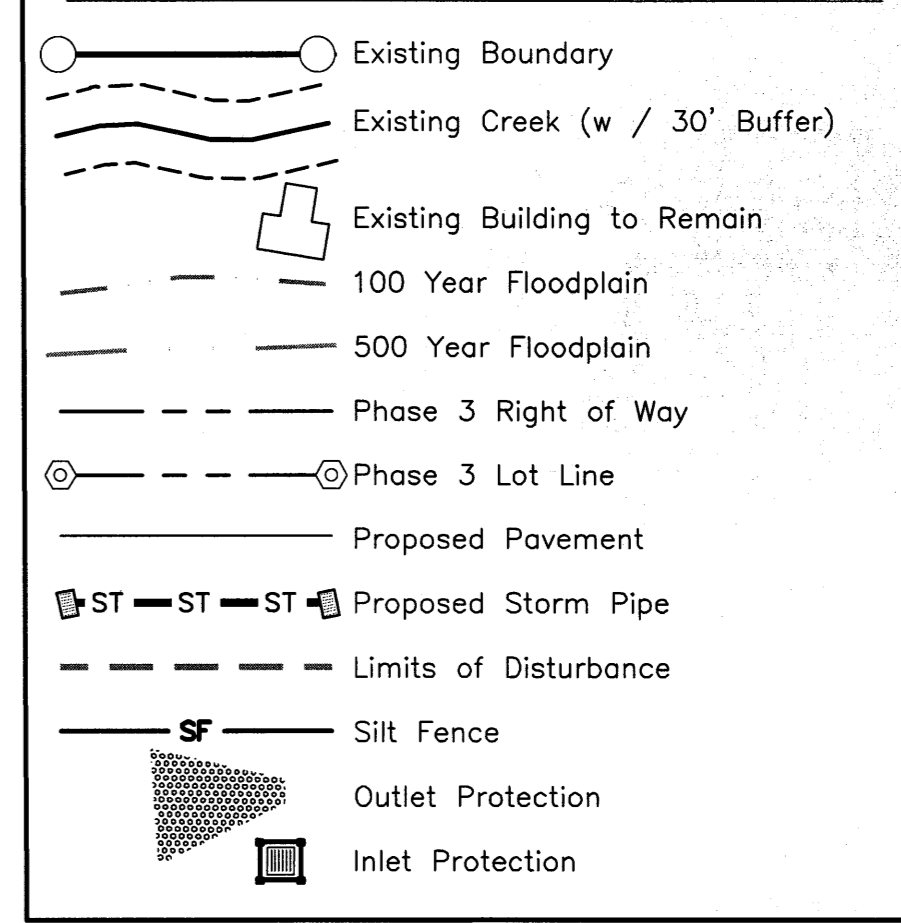
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DEVELOPMENT NOTES

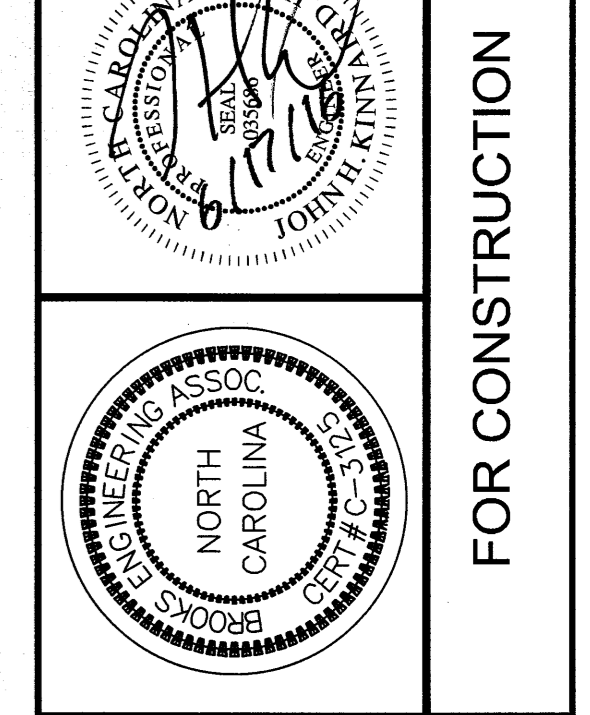
DEVELOPER: ANDANA, LLC
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STORMWATER / UTILITY LEGEND



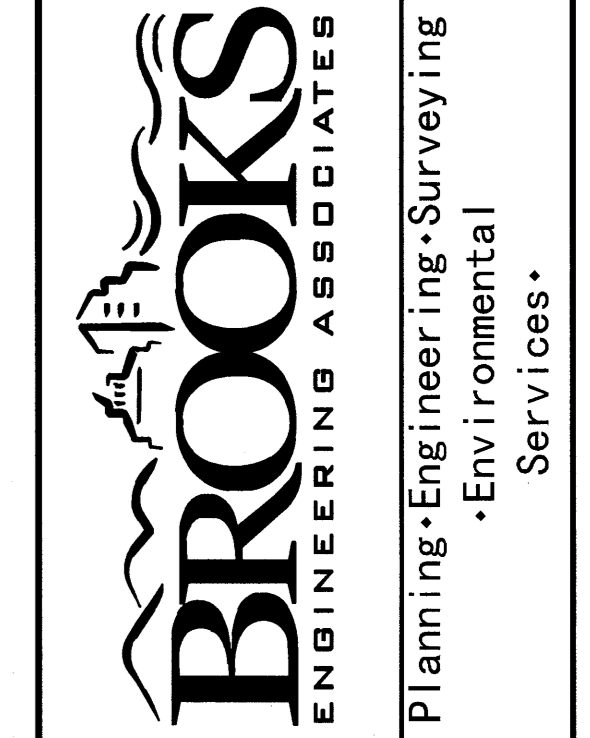
Date	6/17/2016
REVISIONS/SUBMISSIONS	
No.	1
	SUBMITTAL TO PLANNING BOARD



FOR CONSTRUCTION

Reviewed: MCB
 Scale: 1"=50'
 Drawn: JHK
 Check: MIG
 Date: 6-17-2016

17 Arlington Street
 Asheville, N.C. 28801
 Phone: 1-828-232-4700
 Fax: 1-828-232-1331
 www.brooksees.com



SOVEREIGN OAKS
 PHASE 3

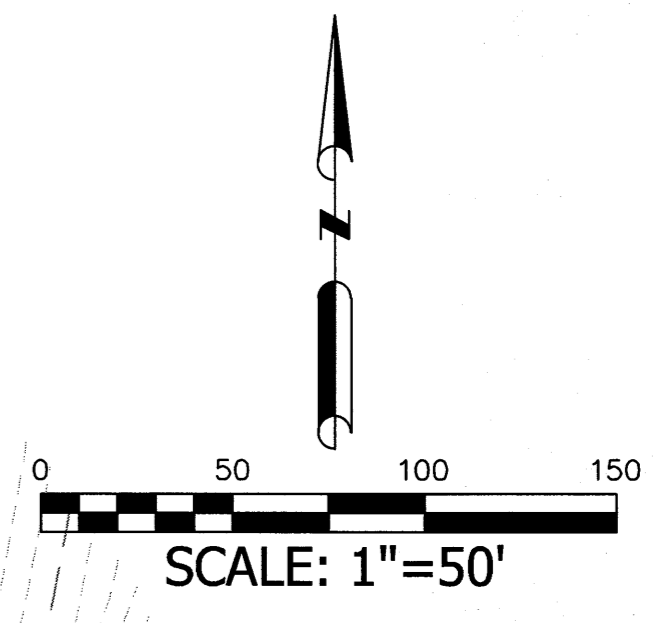
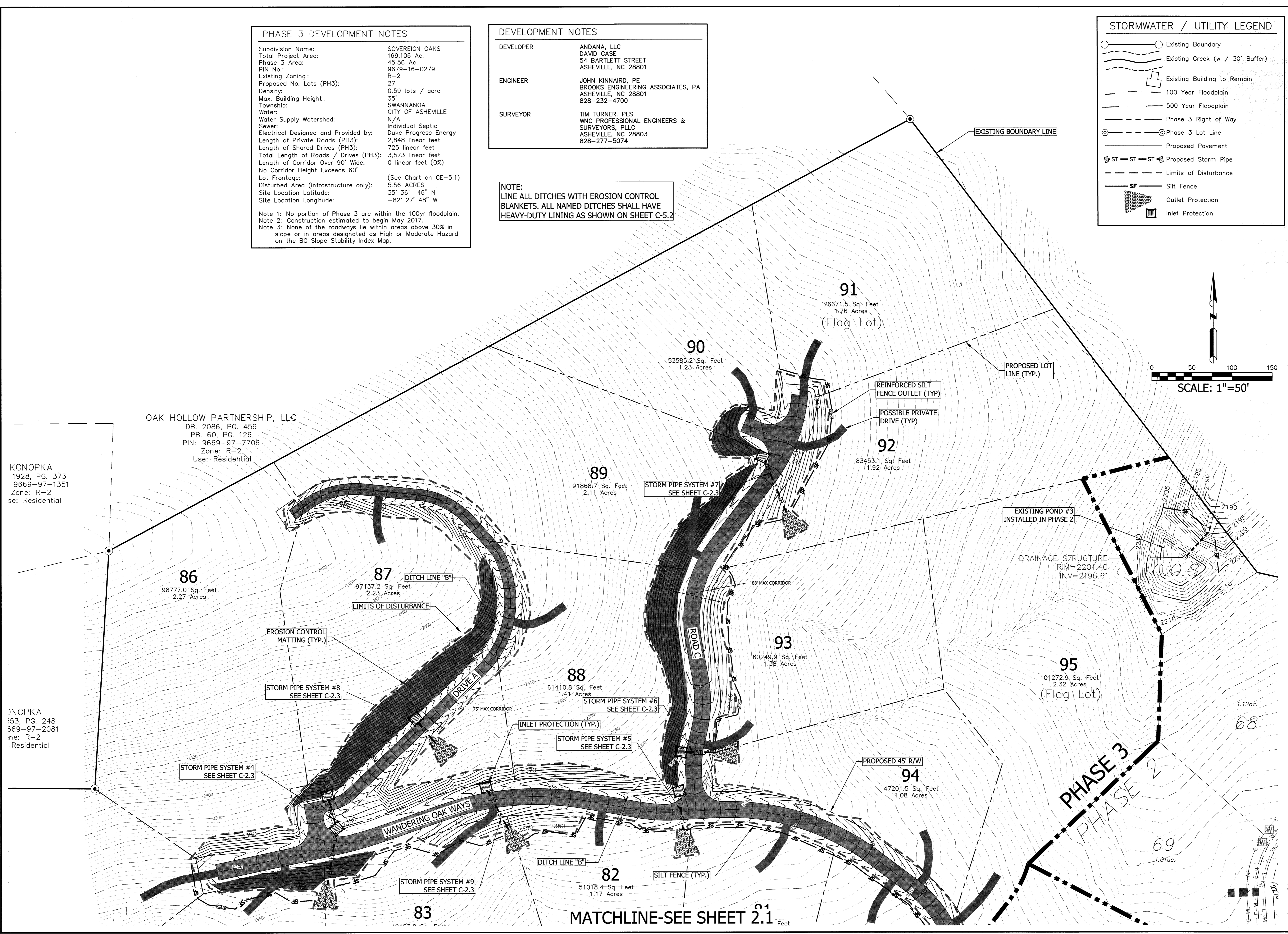
BUNCOMBE COUNTY
 NORTH CAROLINA

Project No: 433816
 Drawing Title: C-2.2
 GRADING & STORMWATER PLAN

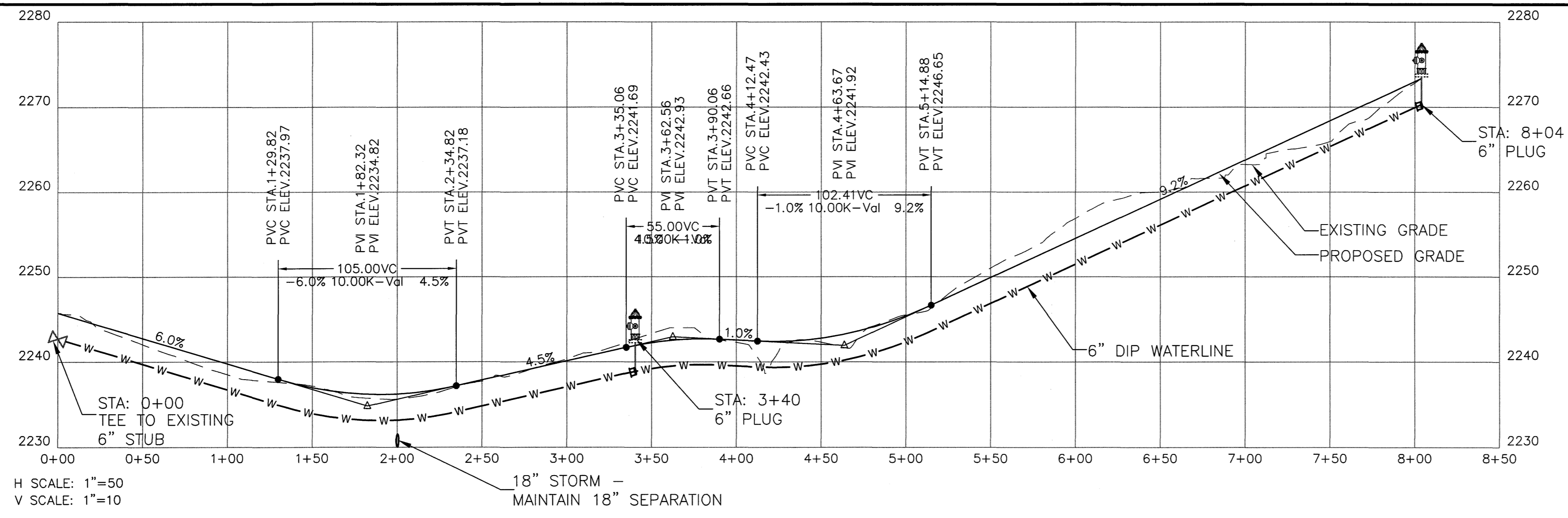
KONOPKA
 1928, PG. 373
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 Zone: R-2
 se: Residential

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 ne: R-2
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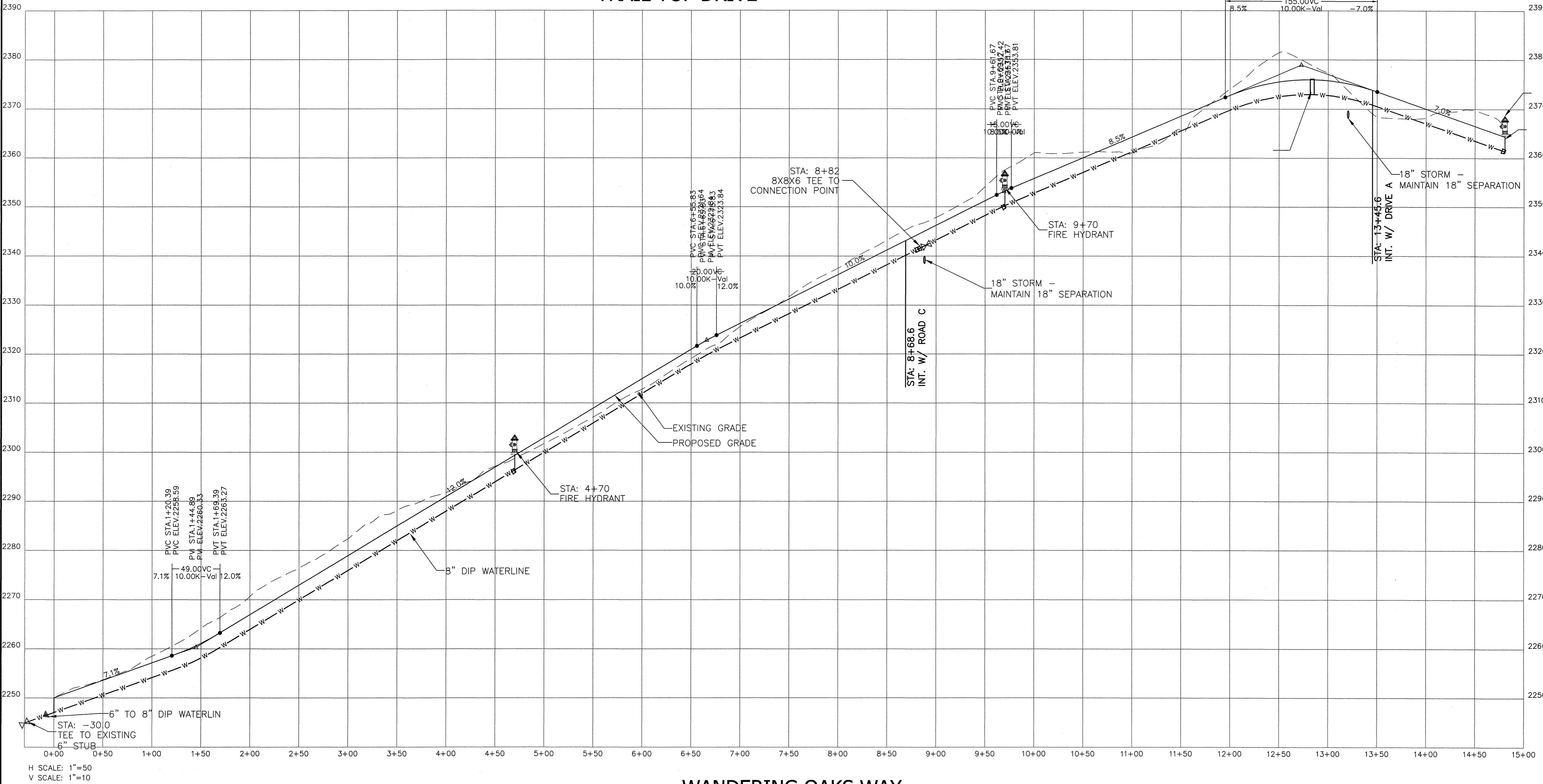
OAK HOLLOW PARTNERSHIP, LLC
 DB. 2086, PG. 459
 PB. 60, PG. 126
 PIN: 9669-97-7706
 Zone: R-2
 Use: Residential



MATCHLINE-SEE SHEET 2.1

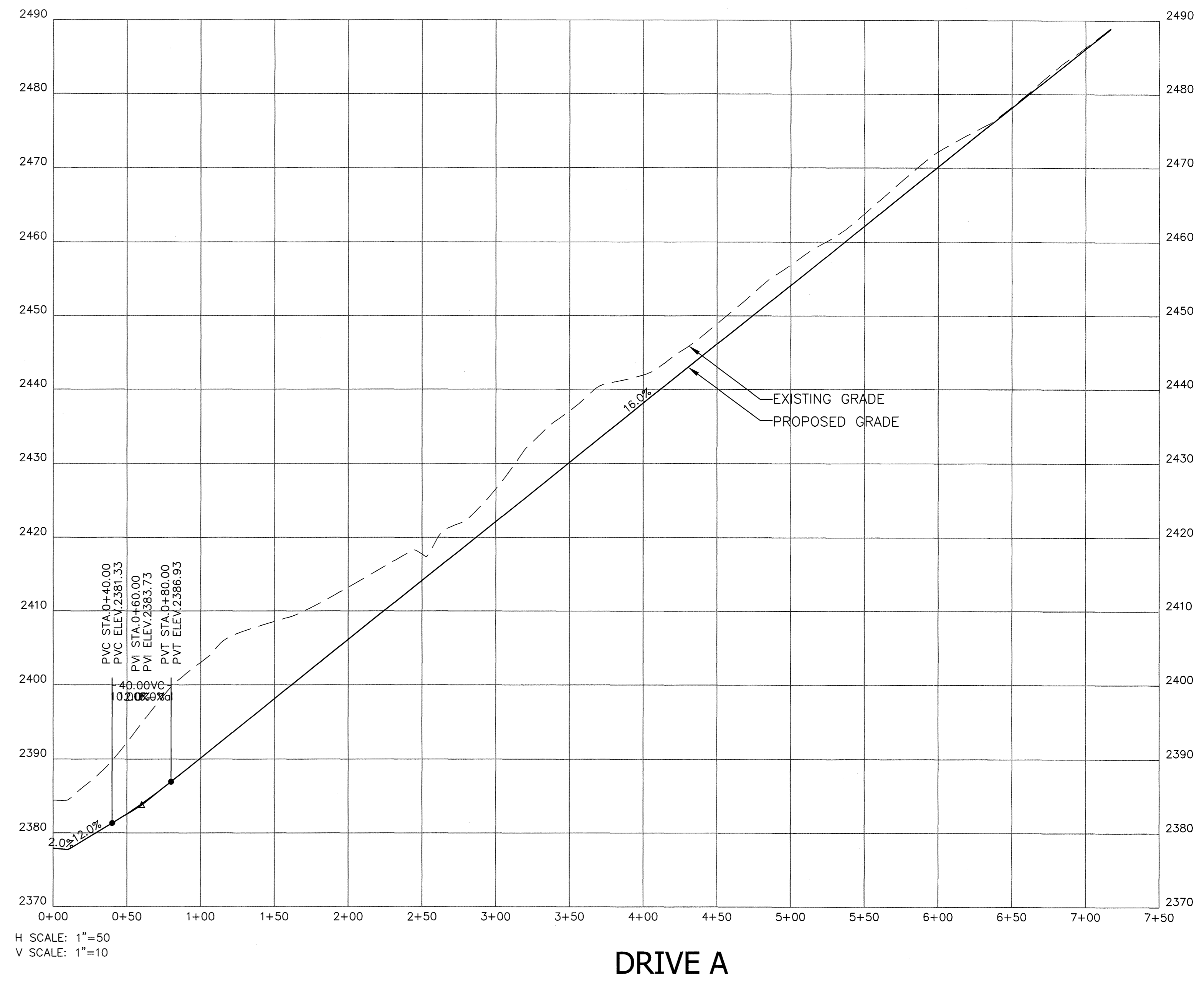
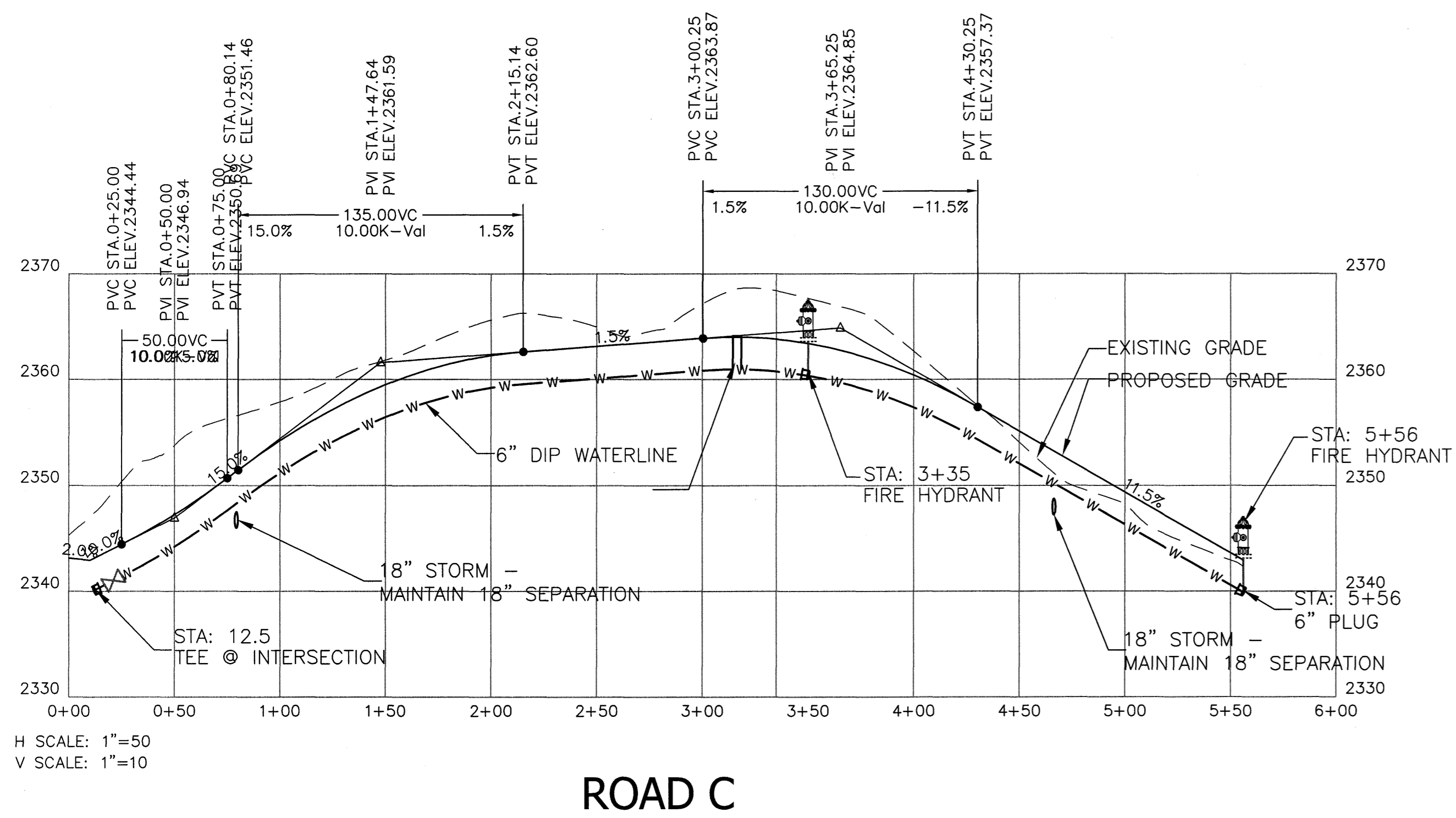


TRAIL TOP DRIVE



WANDERING OAKS WAY

Project No: 422715	SOVEREIGN OAKS PHASE 3	BUNCOMBE COUNTY	NORTH CAROLINA	Date: 6/17/2016		
					REVISIONS/SUBMISSIONS	
Drawing Title: C-4.1	ROAD PROFILES	FOR PERMITTING			1	SUBMITTAL TO PLANNING BOARD
					No.	REVISIONS/SUBMISSIONS
		17 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com			Date: 6-17-2016	
Planning • Engineering • Surveying • Environmental Services •		Reviewed: MCB Scale: 1"=50 Date: 6-17-2016			No. 1 SUBMITTAL TO PLANNING BOARD	



Project No:
422715

C-4.2

Drawing Title:

ROAD PROFILES

SOVEREIGN OAKS
PHASE 3

BUNCOMBE COUNTY
NORTH CAROLINA

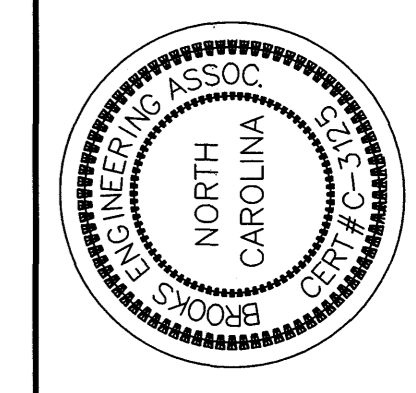
BROOKS
ENGINEERING ASSOCIATES

Planning • Engineering • Surveying
• Environmental
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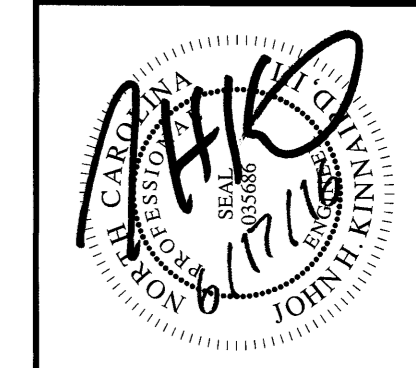
Designed: JHK
Drawn: MCB
Checked: JHK

Scale: 1"=50'
Date: 6-17-2016

17 Arlington Street
Asheville, N.C. 28801
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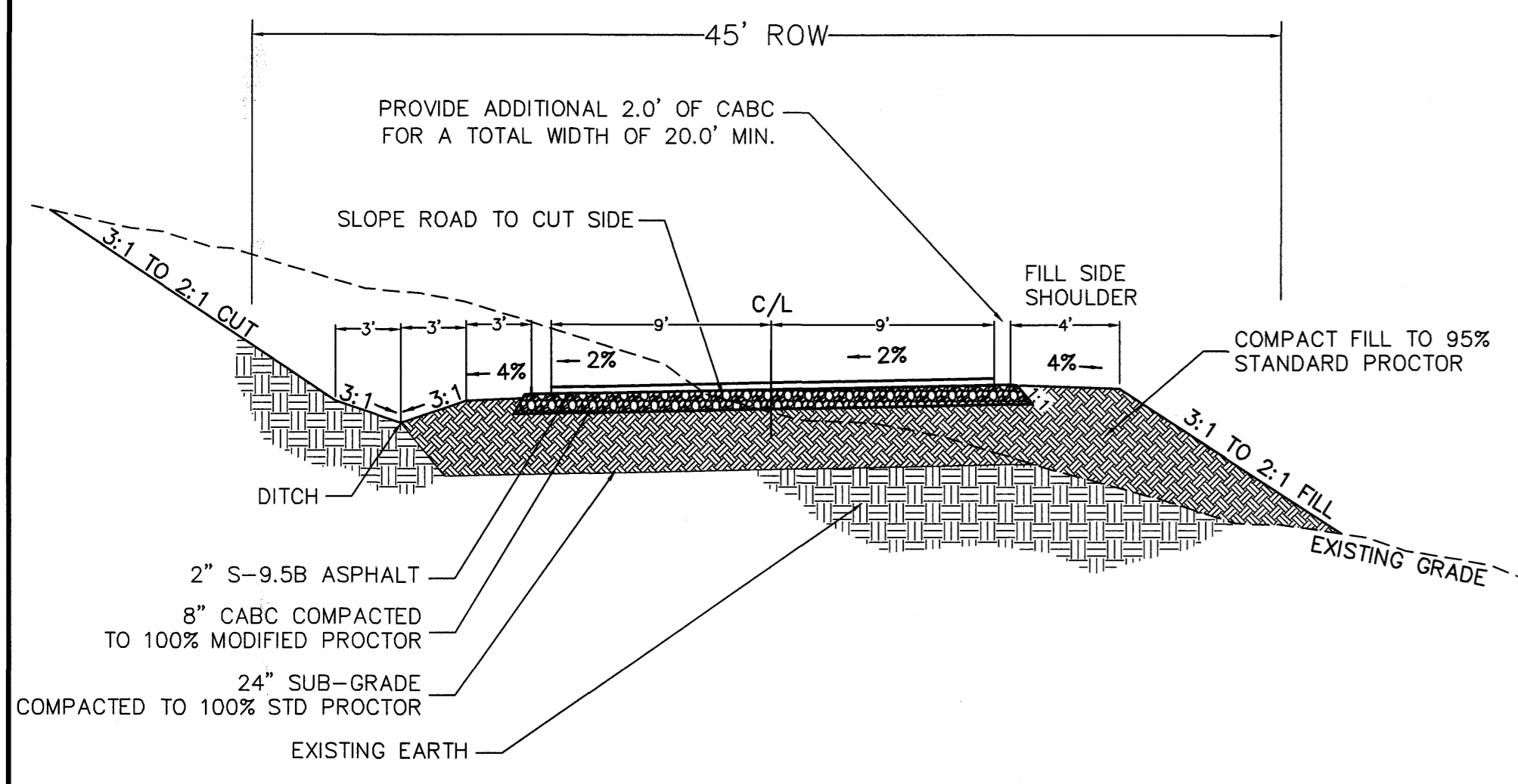
FOR PERMITTING



No.	REVISIONS/SUBMISSIONS	Date
1	SUBMITTAL TO PLANNING BOARD	6/17/2016

Revision/Submission number with a triangle indicates changes made on this sheet.

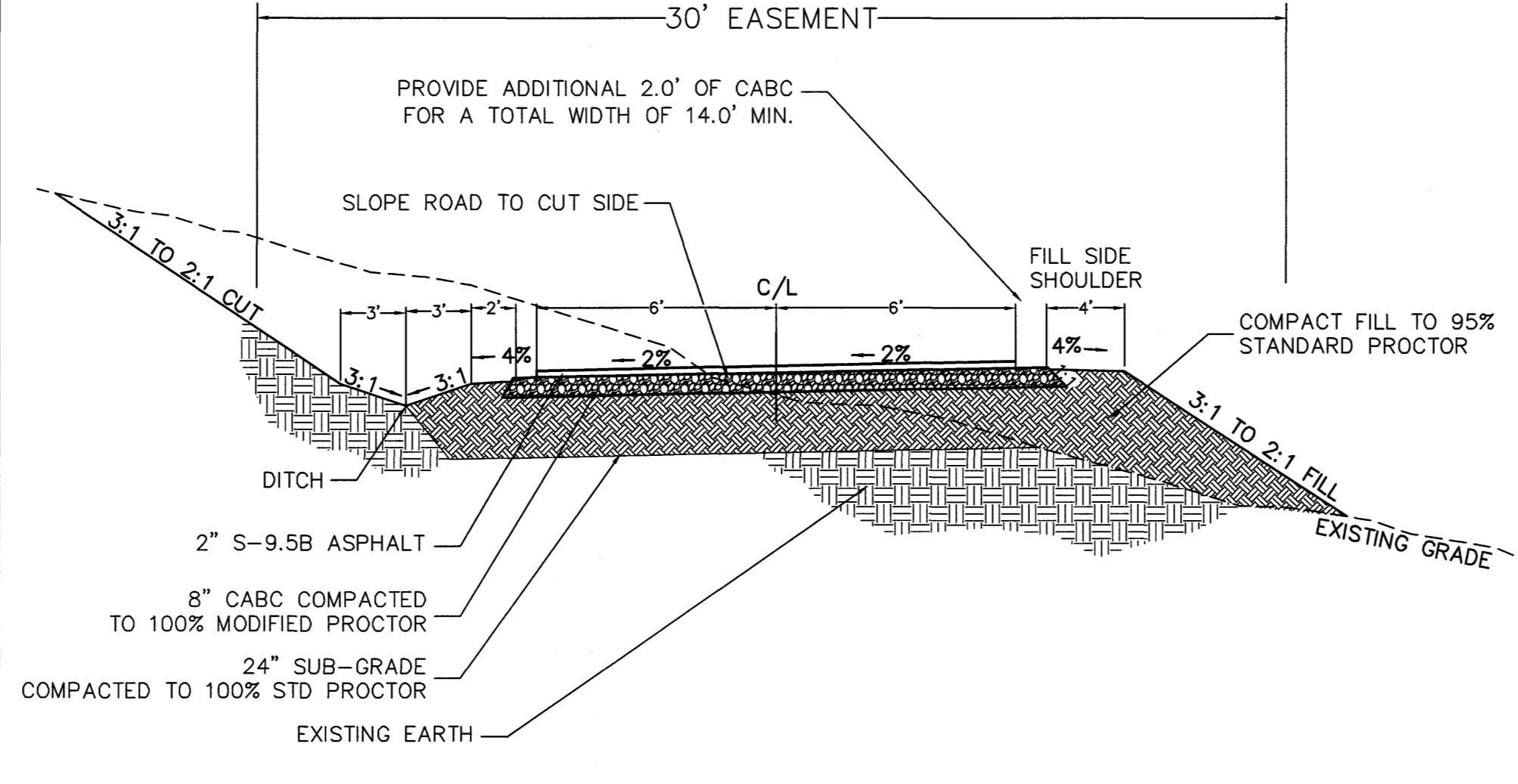
NOTE:
1. DITCH SHALL HAVE A MAXIMUM 3:1
SIDE SLOPE ON EACH SIDE FOR 1
VERTICAL FOOT FROM THE BOTTOM OF
DITCH.



NOTES:
*FILL SIDE SHOULDER TO BE A MINIMUM 4' TRAVELABLE SURFACE WHERE AVERAGE CROSS SLOPE IS STEEPER THAN 30% AND ROAD GRADE IS STEEPER THAN 15%
**PAVEMENT WIDTH TO INCREASE FOR RADII LESS THAN 90 DEGREES ACCORDING TO THE FOLLOWING: R>=90=NO CHANGE; R<90 AND R<70=25% INCREASE; R<60 AND R<70=35% INCREASE; R<50 AND R<60=45% INCREASE; R<=50=50% INCREASE
***NO BASE COURSE SHALL BE PLACED ON MUCK, PIPE CLAY, ORGANIC MATTER, OR OTHER UNSUITABLE MATERIAL
****ANY ROADS CONSTRUCTED IN AREAS IN EXCESS OF 30% SHALL REQUIRE CONSULTATION WITH A LICENSED GEOTECHNICAL ENGINEER. PRIOR TO FINAL SUBDIVISION APPROVAL OR RELEASE OF GUARANTEE OF IMPROVEMENTS, A REPORT BY THE GEOTECHNICAL ENGINEER SHALL BE REQUIRED CERTIFYING THAT THE RECOMMENDATIONS WERE FOLLOWED DURING CONSTRUCTION.

1 20' WIDE MAIN ROAD CROSS SECTION SCALE=NTS

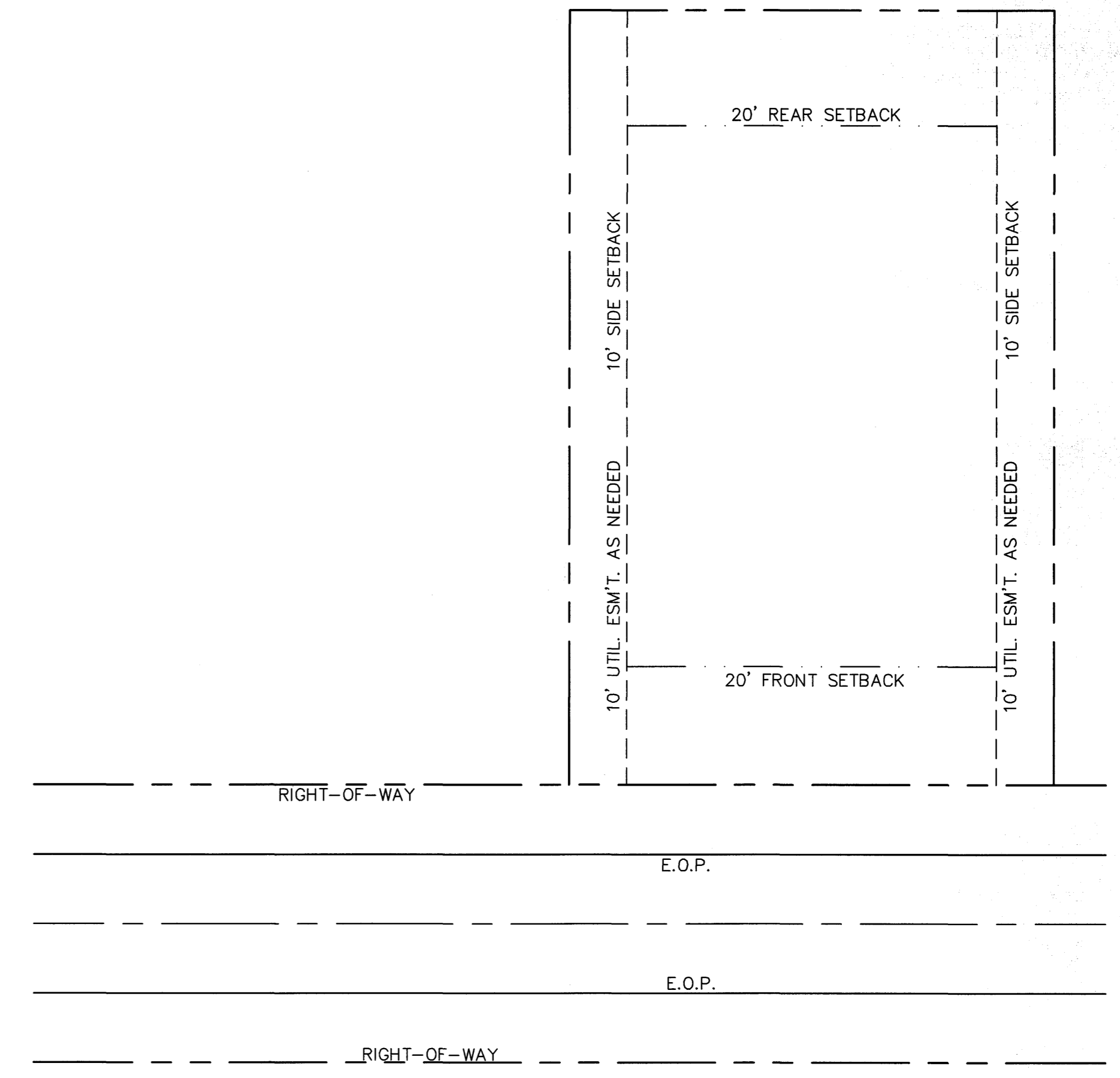
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2 SHARED DRIVE CROSS SECTION SCALE=NTS

STANDARD LOT



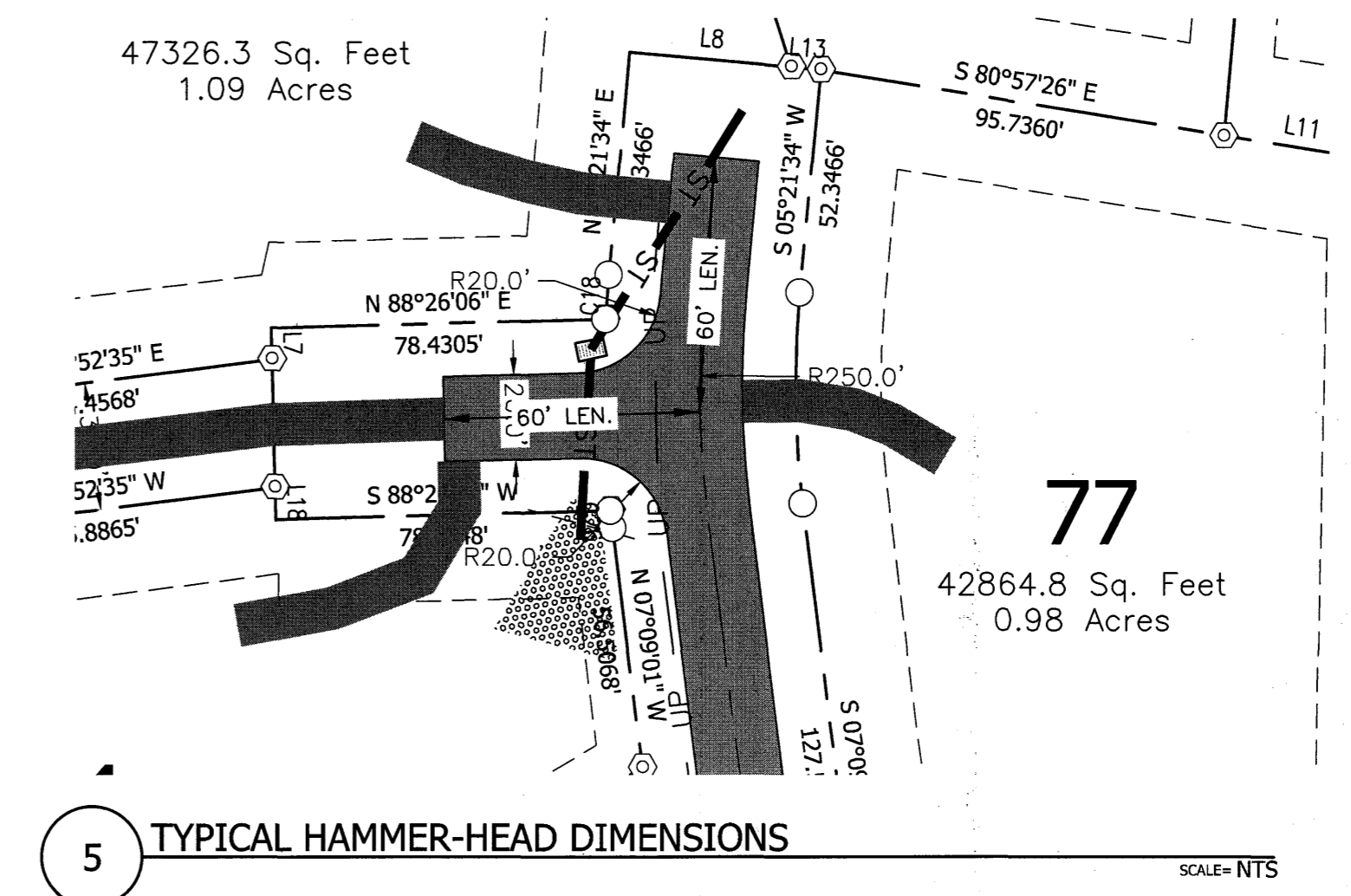
3 TYPICAL LOT DIMENSIONS SCALE=NTS

LINE	BEARING	DISTANCE	CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
L1	S 13°41'11" E	11.25'	C1	13.26'	172.50'	4°24'20"	S 17°33'09" W	13.26'
L2	N 77°01'56" E	17.39'	C2	103.60'	177.50'	33°26'30"	S 03°02'04" W	102.14'
L3	N 05°26'23" W	0.01'	C3	49.67'	227.50'	1°23'35"	S 00°53'44" E	49.57'
L4	N 13°41'11" W	14.11'	C4	42.81'	477.50'	5°08'11"	S 09°43'07" E	42.79'
L5	S 03°14'44" E	22.11'	C5	127.50'	97.50'	7°48'33"	S 49°41'31" E	116.45'
L6	N 86°48'16" E	2.15'	C6	27.01'	97.50'	1°52'15"	N 84°58'03" E	26.82'
L7	N 01°27'28" W	7.43'	C7	28.75'	177.50'	9°16'53"	S 81°40'22" W	28.72'
L8	S 84°38'26" E	37.99'	C8	8.27'	142.50'	3°19'36"	S 78°41'44" W	8.27'
L9	S 77°55'56" W	17.76'	C9	162.19'	127.50'	7°25'59"	N 16°41'10" W	151.47'
L10	S 86°48'16" W	32.23'	C10	42.80'	277.50'	8°50'10"	N 57°32'45" W	42.75'
L11	S 89°27'28" E	36.07'	C11	23.33'	227.50'	6°00'25"	N 16°45'06" E	23.32'
L12	S 86°48'16" W	17.47'	C12	106.54'	222.50'	27°26'05"	N 00°01'51" E	105.52'
L13	S 84°38'26" E	7.01'	C13	38.04'	222.50'	9°16'53"	N 81°40'22" E	38.00'
L14	N 22°18'36" E	44.84'	C14	28.05'	16.00'	100°26'41"	N 36°32'09" E	24.59'
L15	S 67°41'24" E	48.57'	C15	26.42'	127.50'	11°52'23"	S 02°44'27" W	26.37'
L16	N 01°48'17" E	3.05'	C16	225.53'	322.50'	44°04'04"	S 73°09'42" E	220.96'
L17	S 17°53'11" W	37.29'	C17	63.42'	172.50'	21°03'59"	S 42°35'40" E	63.07'
L18	N 01°27'28" W	7.42'	C18	10.41'	272.50'	2°11'17"	N 04°15'55" E	10.41'
L19	S 89°55'16" E	23.53'	C19	73.14'	327.50'	12°47'44"	S 77°07'38" W	72.99'
L20	S 13°49'01" W	11.27'	C20	65.68'	522.50'	7°12'10"	S 74°19'51" W	65.64'
L21	S 41°48'51" E	11.85'	C21	151.28'	272.50'	3°11'54"	N 77°34'47" W	149.40'
L22	S 21°57'00" E	7.09'	C22	91.20'	222.50'	1°31'08"	N 86°38'10" W	91.09'
L23	N 86°48'16" E	2.54'	C23	94.11'	327.50'	16°27'53"	N 88°14'33" W	93.79'
L24	N 03°11'44" W	22.11'	C24	40.96'	177.50'	1°31'22"	N 08°24'56" E	40.87'
L25	N 13°49'01" W	11.27'	C25	46.84'	522.50'	5°08'11"	N 09°43'07" W	46.83'
L26	N 00°39'20" E	24.45'	C26	4.04'	272.50'	0°50'57"	N 06°43'33" W	4.04'
L27	S 38°27'47" E	47.28'	C27	67.83'	127.50'	3°28'10"	S 09°43'07" W	66.10'
L28	N 82°16'10" E	27.84'	C28	71.75'	172.50'	23°48'58"	S 01°54'02" W	71.24'
L29	S 88°30'14" E	23.81'	C29	11.44'	127.50'	5°08'22"	S 11°14'50" W	11.43'
L30	S 38°15'33" E	49.20'	C30	17.33'	50.00'	19°51'51"	S 31°52'55" E	17.25'
L31	S 43°16'21" E	43.24'	C31	17.95'	120.00'	8°34'24"	S 17°39'48" E	17.94'
L32	S 73°04'42" E	42.83'	C32	93.79'	120.00'	44°44'54"	S 09°00'51" W	91.42'
L33	S 57°22'12" E	38.82'	C33	92.26'	372.50'	14°11'27"	S 87°06'20" E	92.02'
L34	N 01°27'28" W	30.15'	C34	40.85'	177.50'	1°31'08"	S 86°38'10" E	40.76'
L35	S 85°10'31" E	45.41'	C35	51.22'	172.50'	17°00'45"	N 05°18'38" E	51.03'
L36	N 55°03'52" E	7.17'	C36	53.04'	127.50'	23°49'58"	N 01°54'02" E	52.65'
L37	S 41°48'51" E	32.63'	C37	93.93'	172.50'	3°11'56"	N 08°35'01" E	92.78'
L38	N 67°41'24" W	48.57'	C38	12.38'	226.18'	3°08'10"	S 03°37'51" W	12.38'
L39	N 41°48'51" W	44.48'	C39	126.42'	226.18'	32°01'31"	S 21°12'41" W	124.78'
L40	S 55°03'52" W	7.15'	C40	17.62'	127.50'	7°54'59"	S 33°24'42" W	17.60'
L41	N 77°55'56" E	22.50'	C41	71.16'	100.00'	40°46'24"	N 75°27'05" E	69.67'
L42	N 77°55'56" E	22.50'	C42	73.91'	100.00'	42°20'52"	S 62°59'17" E	72.24'
L44	S 48°05'57" E	0.19'	C43	48.73'	172.50'	1°31'11"	N 29°18'36" E	48.57'
L45	S 00°57'42" E	35.19'	C44	24.09'	177.50'	7°46'39"	N 33°28'52" E	24.08'
L46	S 10°42'27" W	46.13'	C45	54.26'	477.50'	6°30'38"	N 73°59'05" E	54.23'
L47	S 11°26'20" E	23.92'	C46	97.97'	372.50'	15°04'11"	N 78°15'52" E	97.69'
L48	S 10°58'27" W	25.40'	C47	142.74'	172.50'	47°24'39"	S 08°21'21" E	138.70'
L49	S 70°35'44" E	20.10'	C48	81.83'	172.50'	27°10'50"	N 02°35'37" E	81.07'
L50	N 79°17'18" E	21.40'	C49	21.39'	25.00'	49°01'15"	N 13°30'50" E	20.74'
L51	S 48°03'39" E	7.85'	C50	46.56'	115.00'	23°11'56"	N 26°25'29" E	46.25'
L52	S 48°03'39" E	21.40'	C51	79.39'	142.50'	31°55'21"	N 45°13'54" W	78.37'
L53	S 06°33'11" E	30.66'	C52	95.62'	142.50'	38°26'54"	N 80°25'02" W	93.84'
L54	S 43°54'54" E	39.89'						
L55	S 33°03'40" E	38.48'						
L56	N 12°04'04" W	45.00'						
L57	S 03°10'13" E	44.40'						
L58	S 54°44'45" E	48.03'						
L59	S 57°44'17" E	37.74'						

4 LINE/ CURVE TABLES & LOT FRONTAGE CALCS SCALE=NTS

SOVEREIGN OAKS - PHASE 3 LOT CALCS

Lot #	Lot % Slope	Min. Lot Frontage	Lot Frontage
70	4.17%	N/A	
71	12.12%	N/A	
72	13.29%	N/A	
73	11.60%	N/A	
74	20.17%	58.68	75.12
75	17.38%	N/A	
76	24.14%	74.56	114.41
77	11.06%	N/A	
78	12.19%	N/A	
79	12.23%	N/A	
80	13.12%	N/A	
81	17.51%	N/A	
82	24.00%	74	229.41
83	26.69%	84.76	235.83
84	24.95%	77.8	133.08
85	16.80%	N/A	
86	32.76%	109.04	122.81
87	22.25%	67	243.73
88	21.09%	62.36	93.63
89	29.05%	94.2	161.01
90	14.60%	N/A	
91	14.00%	N/A	
92	29.20%	94.8	244.5
93	21.10%	62.4	275.2
94	19.90%	57.6	335.25
95	17.63%	N/A	
96	10.61%	N/A	



5 TYPICAL HAMMER-HEAD DIMENSIONS SCALE=NTS

Project No: 433816
C-5.1

SOVEREIGN OAKS PHASE 3
BUNCOMBE COUNTY NORTH CAROLINA

Brooks Engineering Associates
ENGINEERING ASSOCIATES
Planning • Engineering • Surveying • Environmental Services

FOR CONSTRUCTION

REVISIONS/SUBMISSIONS
1 SUBMITTAL TO PLANNING BOARD

Date: 6/17/2016

Reviewed: MCB
Scale: 1"=50'
Drawn: MIG
Checked: JHK
Date: 6-17-2016

17 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
www.brooksea.com

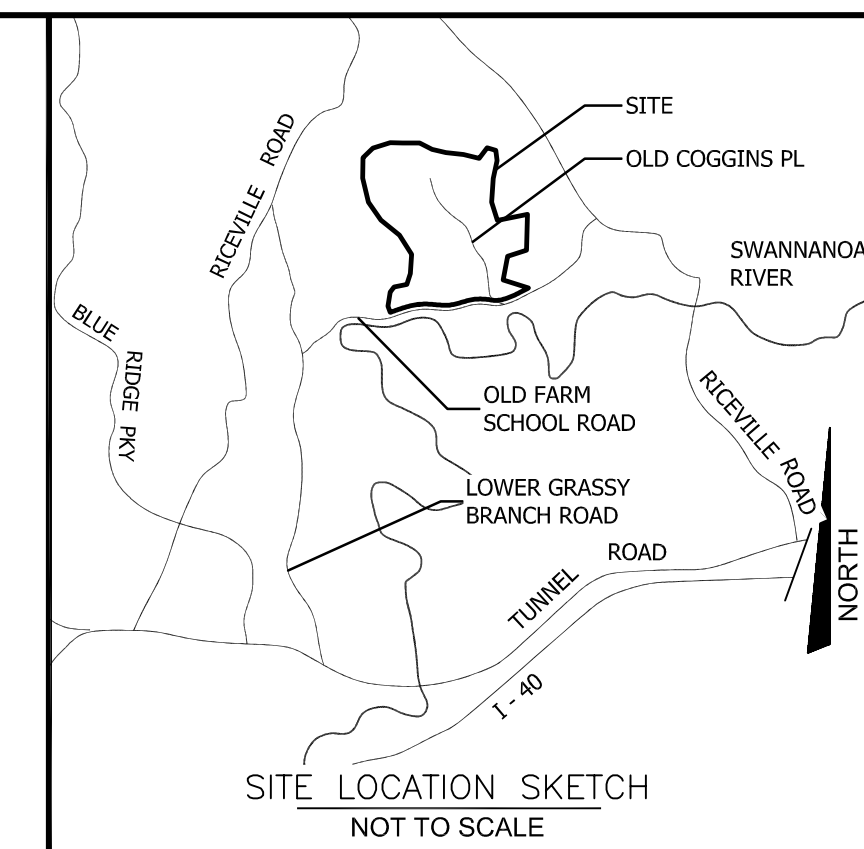
Drawing Title: SITE DETAILS

STATE OF NORTH CAROLINA
 COUNTY OF BUNCOMBE
 I, _____ Review Officer of Buncombe County,
 certify that the map or plat to which this certification is affixed
 meets all statutory requirements for recording.

Review Officer _____

Date: _____

North Carolina, Buncombe County
 REGISTERED THIS THE ____ DAY OF _____
 AT _____ M, RECORDED IN BOOK _____, PAGE _____
 BY: _____ REGISTER OF DEEDS
 _____ DEPUTY/ASSISTANT



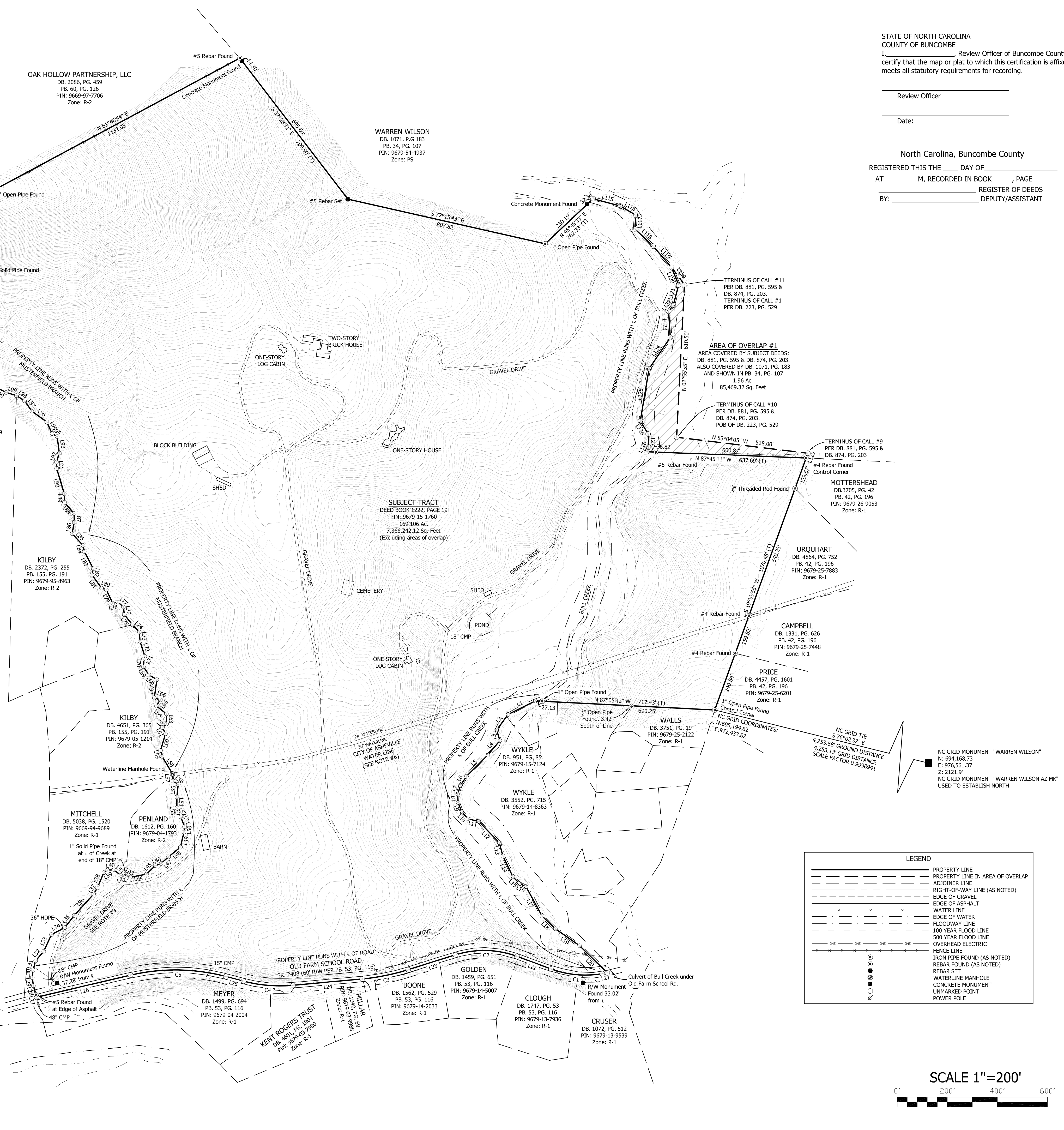
AREA OF OVERLAP #2
 AREA COVERED BY SUBJECT DEEDS:
 DB. 881, PG. 595 & DB. 874, PG. 203.
 ALSO COVERED BY DB. 4873, PG. 598
 AND SHOWN IN PB. 46, PG. 40
 0.27 Ac.
 11,766.49 Sq. Feet

AREA OF OVERLAP #1
 AREA COVERED BY SUBJECT DEEDS:
 DB. 881, PG. 595 & DB. 874, PG. 203.
 ALSO COVERED BY DB. 1071, PG. 183
 AND SHOWN IN PB. 34, PG. 107
 1.96 Ac.
 85,469.32 Sq. Feet

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 63°37'16" W	121.51'	L66	N 72°22'04" W	25.18'
L2	S 36°33'35" W	76.79'	L67	N 08°10'36" E	73.63'
L3	S 16°29'46" E	45.04'	L68	N 59°01'00" W	37.47'
L4	S 39°58'31" W	74.80'	L69	N 33°38'19" W	39.49'
L5	S 45°01'46" W	120.61'	L70	N 00°53'22" W	29.97'
L6	S 33°43'34" W	42.75'	L71	N 29°34'46" E	12.67'
L7	S 18°00'56" W	36.85'	L72	N 17°49'58" W	63.09'
L8	S 02°47'13" E	33.67'	L73	N 04°04'29" W	37.11'
L9	S 21°24'21" E	40.67'	L74	N 43°54'54" W	39.89'
L10	S 41°41'50" E	36.33'	L75	N 38°29'08" W	51.97'
L11	S 75°51'08" E	45.16'	L76	N 06°33'11" W	30.66'
L12	S 44°04'20" E	117.45'	L77	N 48°03'39" W	29.05'
L13	S 15°12'32" E	54.79'	L78	S 79°17'18" W	21.40'
L14	S 25°26'41" E	92.54'	L79	N 25°57'58" W	59.06'
L15	S 44°47'18" E	37.84'	L80	N 70°03'54" W	20.10'
L16	S 64°41'53" E	28.65'	L81	N 35°47'38" W	64.74'
L17	S 28°35'47" E	134.32'	L82	N 10°56'27" E	25.40'
L18	S 46°16'38" E	73.10'	L83	N 27°20'32" W	78.00'
L19	S 55°06'49" E	118.21'	L84	N 11°26'20" W	23.92'
L20	S 45°31'18" E	154.84'	L85	N 42°48'37" W	64.71'
L21	S 80°25'29" W	20.13'	L86	N 10°42'27" E	46.13'
L22	N 69°44'25" W	145.00'	L87	N 00°57'42" W	35.19'
L23	S 72°31'37" W	197.71'	L88	N 41°01'24" W	58.76'
L24	S 84°50'58" W	277.14'	L89	N 01°08'37" W	34.38'
L25	N 75°12'22" E	73.77'	L90	N 16°55'12" W	105.66'
L26	S 76°47'46" W	385.99'	L91	N 01°29'22" W	25.34'
L27	N 15°24'20" W	10.70'	L92	N 17°53'11" E	37.29'
L28	N 15°24'20" W	37.28'	L93	N 07°38'06" W	66.89'
L29	N 07°51'53" W	32.21'	L94	N 58°55'16" W	23.53'
L30	N 06°05'30" E	30.88'	L95	N 24°25'15" W	50.67'
L31	N 15°31'12" E	37.74'	L96	N 54°22'59" W	74.13'
L32	N 40°21'20" E	50.04'	L97	N 34°50'03" W	50.18'
L33	N 24°42'11" E	73.59'	L98	N 57°22'12" W	38.82'
L34	N 62°35'36" E	60.04'	L99	N 73°08'42" W	42.83'
L35	N 37°55'15" E	61.19'	L100	N 63°54'29" W	50.45'
L36	N 42°14'50" E	115.65'	L101	N 43°16'21" W	43.24'
L37	N 30°17'55" E	31.32'	L102	N 38°15'33" W	49.20'
L38	N 22°39'41" E	63.68'	L103	N 54°30'27" W	55.51'
L39	N 57°35'11" E	18.12'	L104	N 68°30'14" W	23.81'
L40	N 80°04'30" E	25.67'	L105	S 82°10'10" W	27.84'
L41	S 48°35'51" E	36.11'	L106	N 50°31'02" W	61.66'
L42	N 78°46'59" E	18.18'	L107	N 36°27'47" W	47.28'
L43	S 62°15'01" E	21.97'	L108	N 57°44'17" W	37.74'
L44	N 79°24'44" E	65.91'	L109	N 54°44'45" W	48.03'
L45	N 45°29'22" E	49.31'	L110	N 03°10'13" W	44.40'
L46	N 80°11'42" E	24.32'	L111	N 38°40'18" W	24.124'
L47	N 48°35'13" E	40.25'	L112	N 33°03'53" W	152.81'
L48	N 50°39'36" E	61.17'	L113	S 32°32'51" E	214.50'
L49	N 13°22'35" E	61.51'	L114	S 58°03'06" E	135.07'
L50	N 05°12'28" E	22.14'	L115	S 75°09'09" E	112.51'
L51	N 21°12'47" W	41.83'	L116	S 59°36'28" E	72.20'
L52	N 36°56'50" W	21.52'	L117	S 04°31'33" W	55.04'
L53	N 06°59'30" W	18.34'	L118	S 46°45'53" E	100.41'
L54	N 00°26'36" W	44.23'	L119	S 40°52'59" E	112.17'
L55	N 06°34'57" E	49.95'	L120	S 22°23'58" E	75.93'
L56	N 55°52'38" W	25.24'	L121	S 15°05'16" W	63.75'
L57	N 04°00'58" W	27.82'	L122	S 37°41'19" W	30.46'
L58	N 30°45'00" W	81.91'	L123	S 03°39'30" E	105.12'
L59	N 14°41'37" W	24.32'	L124	S 34°10'24" W	151.00'
L60	N 16°29'47" E	69.34'	L125	S 09°28'47" W	211.28'
L61	N 25°31'24" W	27.99'	L126	S 30°56'27" E	60.70'
L62	N 48°16'58" E	22.25'	L127	S 02°39'33" E	52.48'
L63	N 01°32'46" W	40.05'	L128	S 25°07'30" W	20.18'
L64	N 51°48'26" W	51.11'	L129	N 19°55'55" E	20.17'
L65	N 32°57'56" E	29.05'	L130	N 36°58'23" W	86.08'

CURVE	CHORD BEARING	CHORD LENGTH	RADIUS	ARC LENGTH
C1	N 84°39'28" W	205.94'	400.00'	208.29'
C2	N 88°52'44" W	245.75'	380.00'	250.25'
C3	S 78°38'23" W	187.41'	880.00'	187.77'
C4	N 85°13'38" W	198.36'	570.00'	199.37'
C5	N 89°12'20" W	379.78'	785.00'	383.58'

- PLAT NOTES:
- The bearings on this plat are NC Grid (NAD 83) bearings, and distances shown are horizontal ground distances unless otherwise noted.
 - Total area of Subject Tract (excluding areas of overlap): 169.10 Acres or 7,366,178.11 square feet (determined by coordinate computation method).
 - Area of Overlap #1: 1.96 Acres or 85,469.32 square feet.
 - Area of Overlap #2: 0.27 Acres or 11,766.49 square feet.
 - Subject Parcel is zoned as R-2 per Buncombe County Zoning Ordinance.
 - By graphic determination, the portions of the Subject Tract are located in "Zone A" per FIRM map number 3700669003 dated January 6, 2010 & 3700679003 dated January 6, 2010.
 - Buncombe County GIS was used to determine adjacent owner information.
 - Underground utilities were not marked at the time of the survey.
 - Above ground utilities are located based on visible structures.
 - City of Asheville waterlines were located in a previous survey conducted by Brooks Engineering Associates, PA, job #372712. Easement for 36" waterline recorded in DB. 874, PG. 287.
 - Adjacent Mitchell (DB. 5038, PG. 1520) and Penland (DB. 1612, PG. 160) both access their properties via gravel road located on Subject Tract. Could not locate a right-of-way agreement for Mitchell (DB. 5038, PG. 1520). Penland (DB. 1612, PG. 160) has right-of-way mentioned in deed. No mention of said right-of-ways are found in Subject Tract deeds.
 - This plat was prepared without the benefit of a title report which may reveal additional conveyances, easements, rights-of-way or building restrictions. A North Carolina licensed attorney-at-law should be consulted.
 - Topographic information shown herein provided by WNC Professional Engineers & Surveyors.

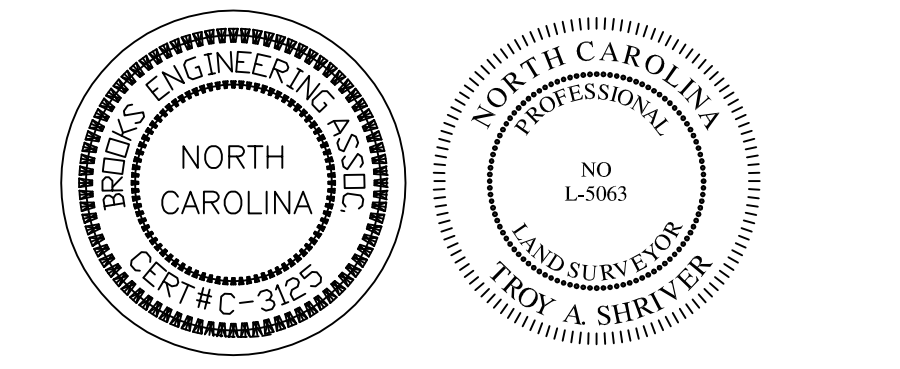


- Troy A. Shriver, Professional Land Surveyor certify to one or more of the following as indicated:
 - A. That this plat is of a survey that creates a subdivision of land within a county or municipality that has an ordinance that regulates parcels of land;
 - B. That this plat is a survey that is located in an area of a County or municipality that has no ordinance that regulates parcels of land;
 - C. Any one of the following:
 - That the survey is of an existing parcel or parcels of land and does not create a new street or change an existing street.
 - That the survey is of an existing building or other structure, or natural feature, such as a water course.
 - That the survey is a control survey.
 - D. That the survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exception to the definition of a subdivision;
 - E. That the information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (A) through (D) above.

I, Troy A. Shriver, certify that this plat was drawn by me from an actual survey made under my supervision (deed description recorded in Deed Book 881, Page 595 & Deed Book 874, Page 203); that the boundaries not surveyed are clearly indicated as drawn from information found in Book N/A, Page N/A; that the ratio of precision as calculated is 1:10000; that this plat was prepared in accordance with G.S. 47-30 as amended.

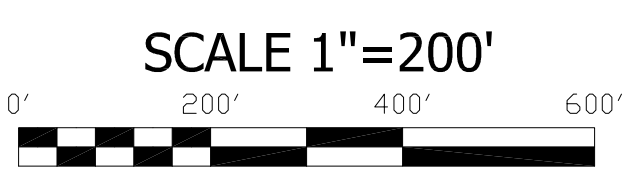
Witness my hand and seal this _____ day of _____ A.D. 2015.

Signature _____
 Professional Land Surveyor
 Certificate Number L-5063



LEGEND

---	PROPERTY LINE
---	PROPERTY LINE IN AREA OF OVERLAP
---	ADJOINING LINE
---	RIGHT-OF-WAY LINE (AS NOTED)
---	EDGE OF GRAVEL
---	EDGE OF ASPHALT
---	WATER LINE
---	EDGE OF WATER
---	FLOODWAY LINE
---	100 YEAR FLOOD LINE
---	500 YEAR FLOOD LINE
---	OVERHEAD ELECTRIC
---	FENCE LINE
○	IRON PIPE FOUND (AS NOTED)
●	REBAR FOUND (AS NOTED)
○	REBAR SET
○	WATERLINE MANHOLE
○	CONCRETE MONUMENT
○	UNMARKED POINT
○	POWER POLE

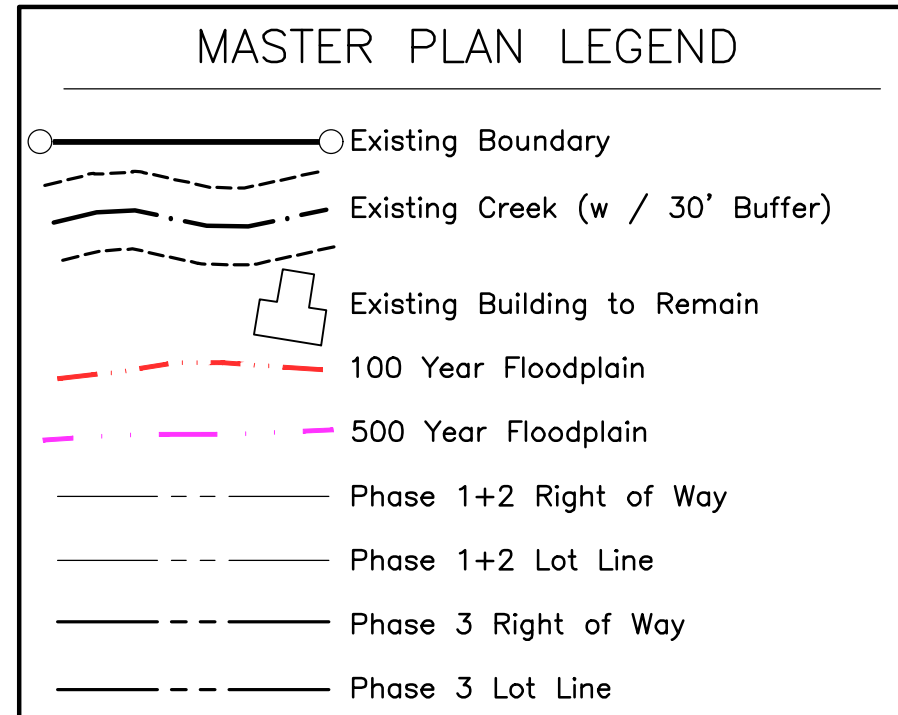
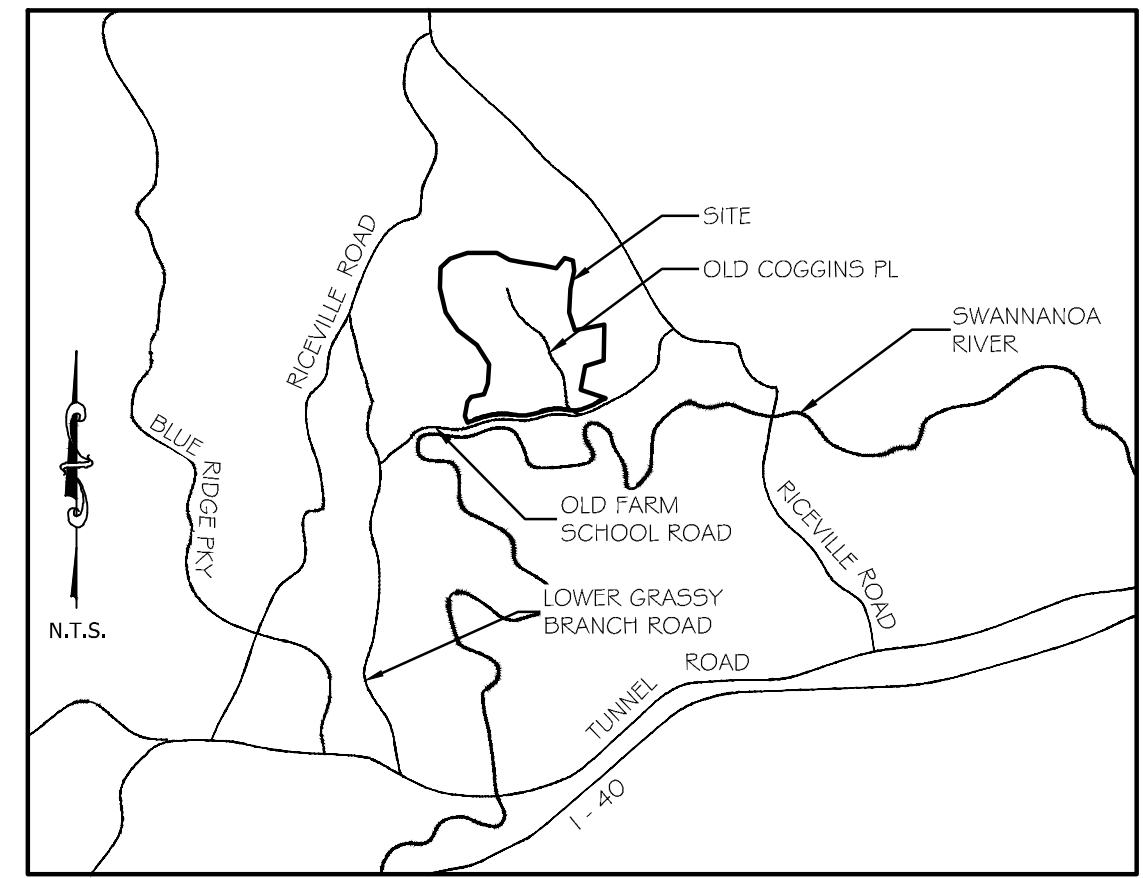
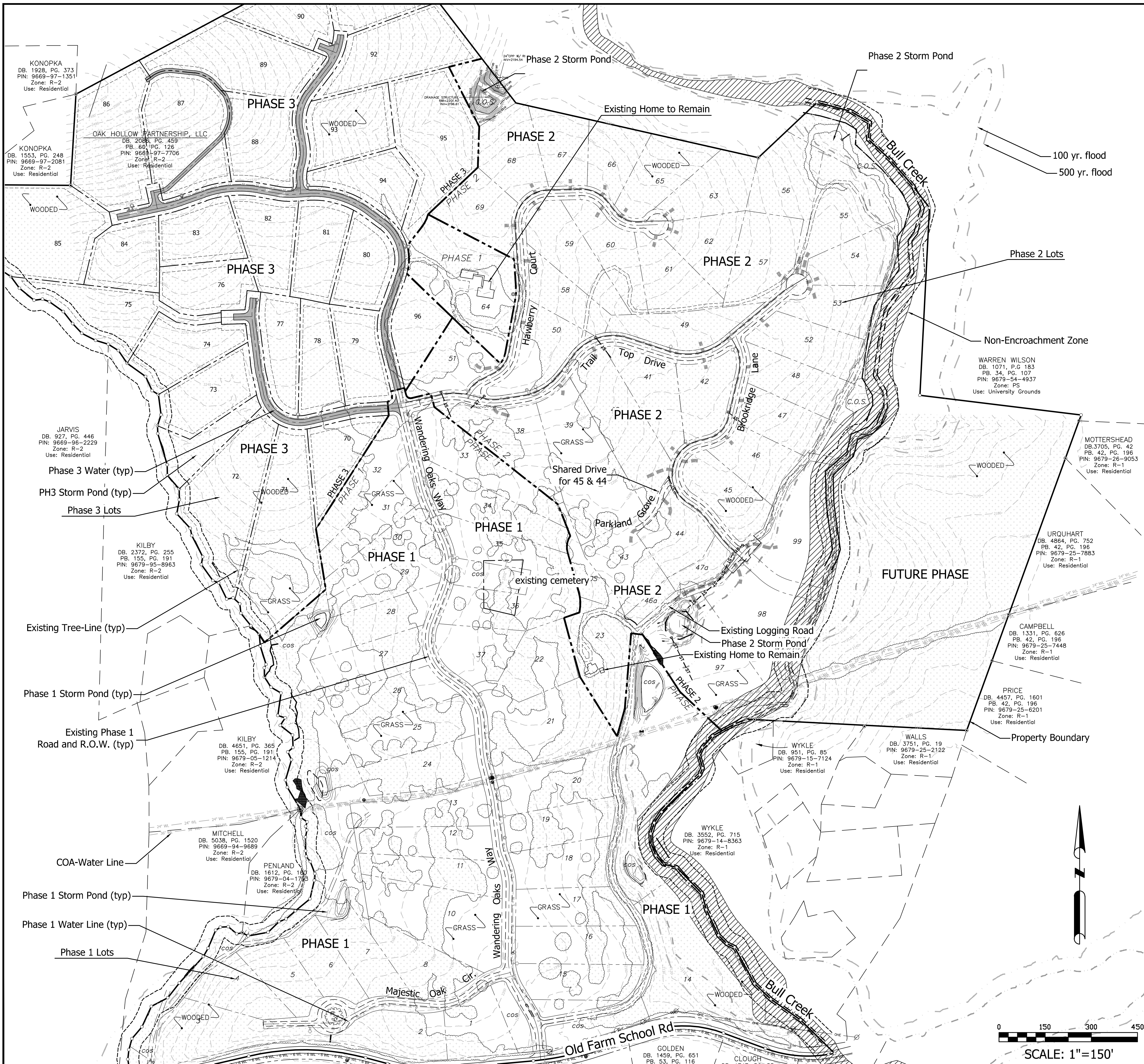


Survey For:
CASE ENTERPRISES, LLC
 Current Owner:
CRAIG COGGINS

Tract 1 of Deed Book 1222, Page 19
 Deed Reference: Deed Book 881, Page 595 &
 Deed Book 874, Page 203
 Tax PIN: 9679-15-1760
 Swannanoa Township Buncombe County, NC
 January 28, 2015 Scale: 1" = 200'

BROOKS ENGINEERING ASSOCIATES
 17 ARLINGTON STREET
 ASHEVILLE, N.C. 28801
 Phone: (828) 232-4700
 Fax: (828) 232-1331

DRAWN BY: TAS CHECKED BY: PES



MASTER PLAN NOTES

Subdivision Name:	SOVEREIGN OAKS
Total Project Area:	169,106 Ac.
PIN No.:	9679-16-0279
Existing Zoning:	R-2
Township:	Swannanoa
Allowed Number of Units per Zoning:	2,028 (12 / acre)
Proposed Number of Residential units:	99 units
Total Density:	0.59 units / acre
Max. Building Height:	35'
Water:	CITY OF ASHEVILLE
Water Supply Watershed:	N/A
Sewer:	Septic Systems
Length of Private Two-Way Roads:	8,430 linear feet
Length of Shared Drives:	4,500 linear feet
Total Length of Roads / Drives:	12,930 linear feet
Disturbed Area:	35 ACRES
(Infrastructure and houses)	
Average Natural Slope:	19.4%
% of Property over 35% in Slope:	9.7% (16.4 ac)
(Property is NOT a Drastic Variation Hillside property)	

Note: Portions of this site lie within the 100yr floodplain.
Note: Construction estimated to begin May 2015.

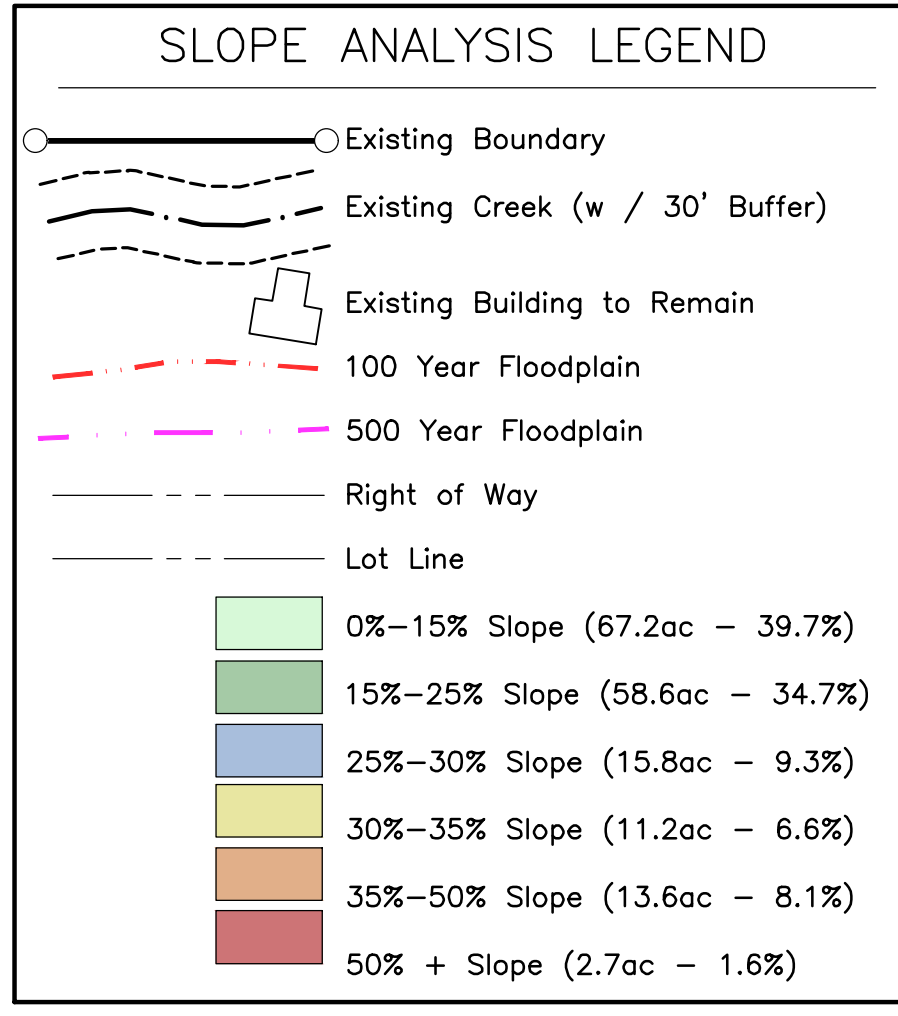
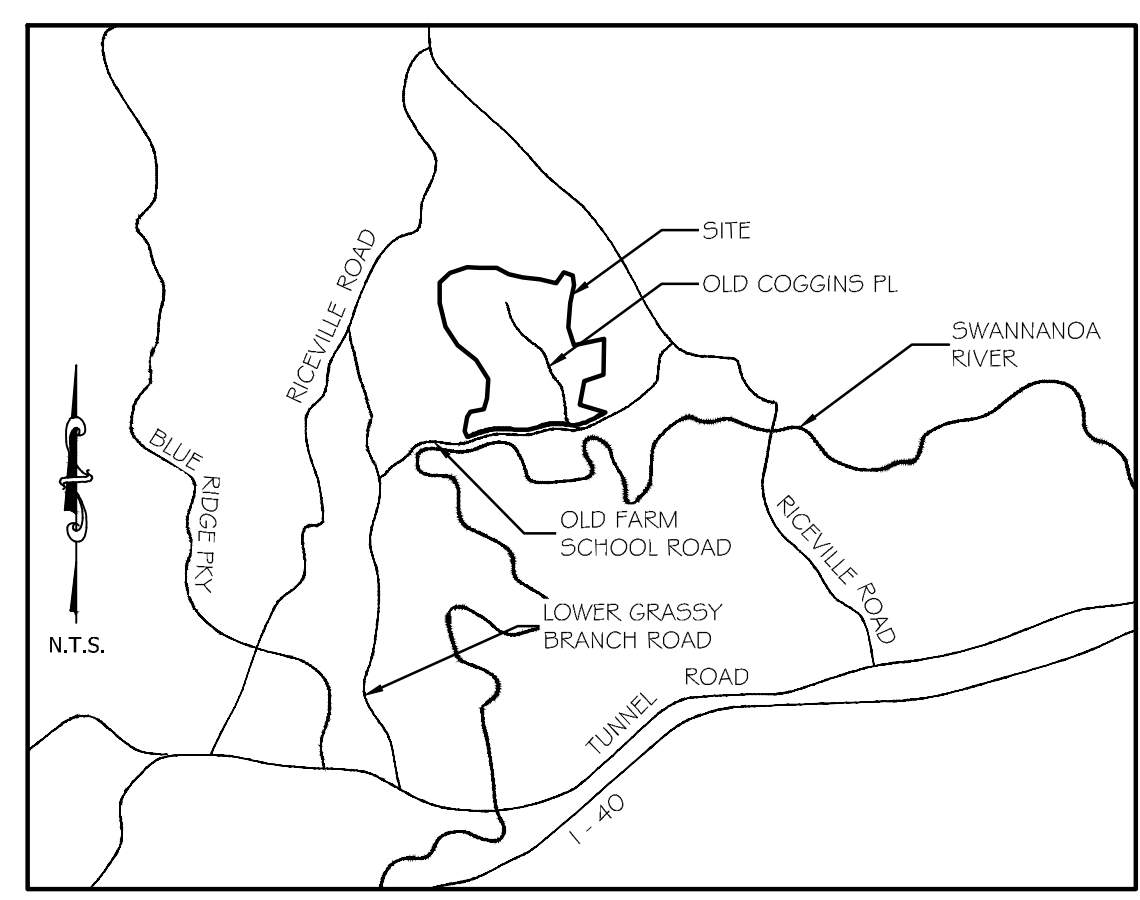
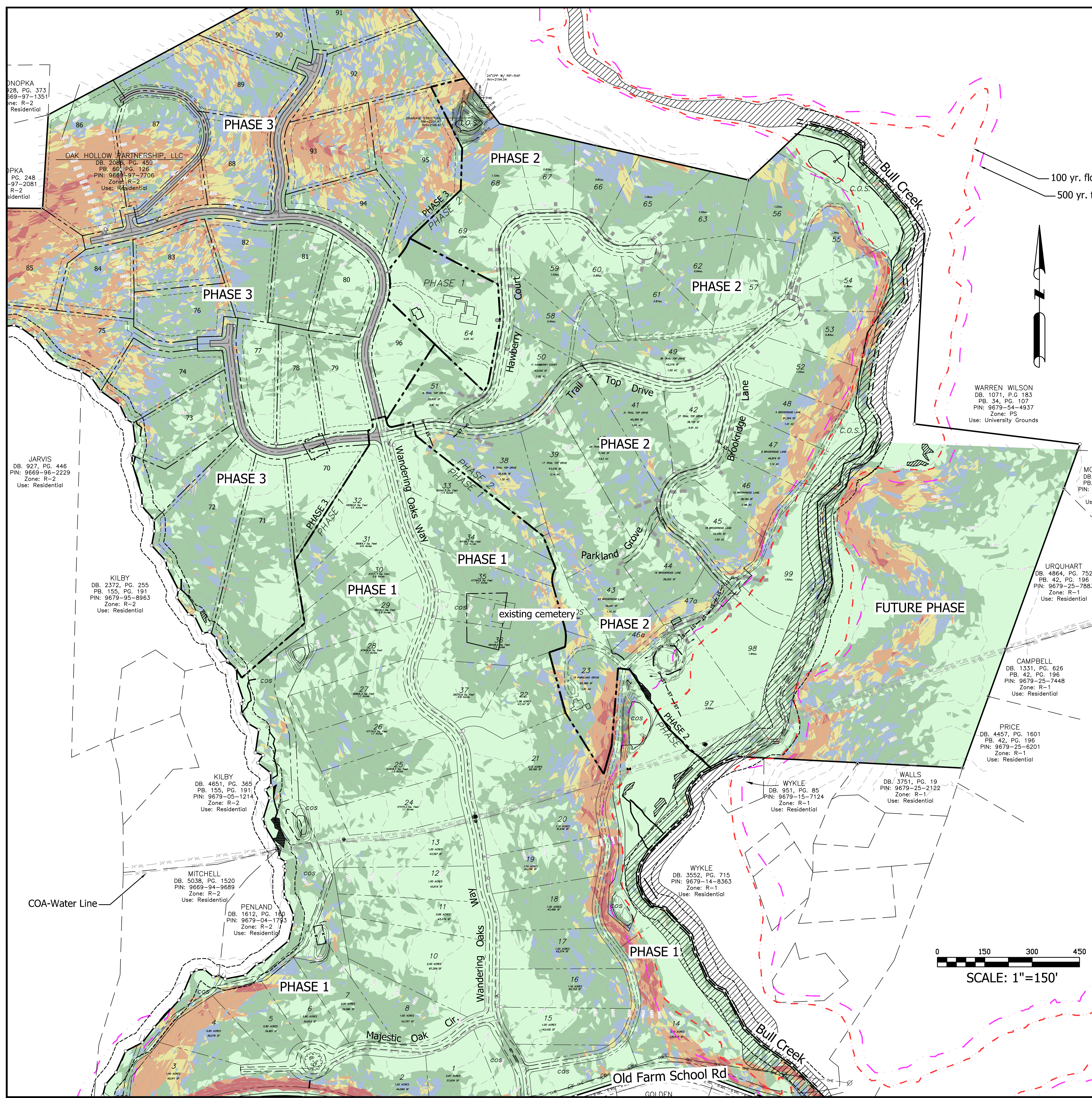
DEVELOPMENT NOTES

DEVELOPER	COGGINS FARMS, LLC DAVID CASE 54 BARTLETT STREET ASHEVILLE, NC 28801 828-774-5274
ENGINEER	JOHN KINNAIRD, PE BROOKS ENGINEERING ASSOCIATES, PA ASHEVILLE, NC 28801 828-232-4700
SURVEYOR	PAUL SEXTON, PE RLS BROOKS ENGINEERING ASSOCIATES, PA ASHEVILLE, NC 28801 828-232-4700

DEVELOPMENT TIMETABLE

THE PROJECT WILL BEGIN IN THE SPRING OF 2015, AND COMPLETED IN THE SUMMER OF 2020. THE PROJECT WILL BE DEVELOPED IN THREE PHASES. INFRASTRUCTURE SHALL BE CONSTRUCTED FROM THE MAIN ENTRANCE AND PROCEED NORTHWARD THROUGH THE PROPERTY.

Project No: 433816	Drawing Title: MP-1.1	BUNCOMBE COUNTY NORTH CAROLINA	 BROOKS ENGINEERING ASSOCIATES Planning • Engineering • Surveying • Environmental Services •	Reviewed: MCB Scale: 1"=150' Drawn: DJD Checked: JHK Date: 05-17-2016 17 Adlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksaa.com
				SOVEREIGN OAKS MASTER PLANS
SOVEREIGN OAKS MASTER PLANS			NOT FOR CONSTRUCTION	REVISIONS/SUBMISSIONS No. 1 Date



MASTER PLAN NOTES

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(Infrastructure and houses)	
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% of Property over 35% in Slope:	9.7% (16.4 ac)
(Property is NOT a Drastic Variation Hillside property)	

Note: Portions of this site lie within the 100yr floodplain.
Note: Construction estimated to begin May 2015.

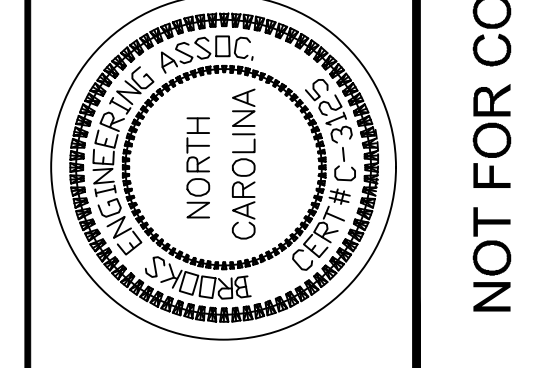
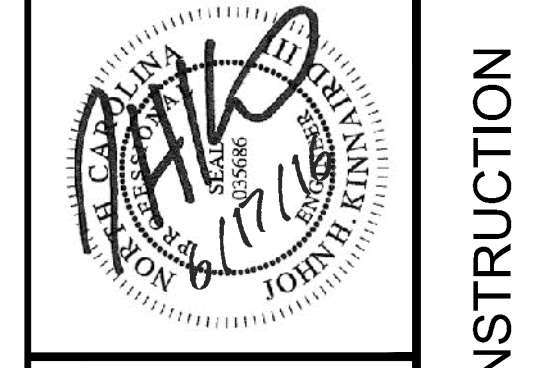
DEVELOPMENT NOTES

DEVELOPER	COGGINS FARMS, LLC DAVID CASE 54 BARTLETT STREET ASHEVILLE, NC 28801 828-774-5274
ENGINEER	JOHN KINNAIRD, PE BROOKS ENGINEERING ASSOCIATES, PA ASHEVILLE, NC 28801 828-232-4700
SURVEYOR	PAUL SEXTON, PE RLS BROOKS ENGINEERING ASSOCIATES, PA ASHEVILLE, NC 28801 828-232-4700

DEVELOPMENT TIMETABLE

THE PROJECT WILL BEGIN IN THE SPRING OF 2015, AND COMPLETED IN THE SUMMER OF 2020. THE PROJECT WILL BE DEVELOPED IN THREE PHASES. INFRASTRUCTURE SHALL BE CONSTRUCTED FROM THE MAIN ENTRANCE AND PROCEED NORTHWARD THROUGH THE PROPERTY.

Date	
REVISIONS/SUBMISSIONS	
No.	1



Reviewed: MCB
Scale: 1"=150'
Drawn: DJD
Checked: JHK
Date: 10-16-15

17 Adlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
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BROOKS ENGINEERING ASSOCIATES

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SOVEREIGN OAKS
MASTER PLANS

NORTH CAROLINA
BUNCOMBE COUNTY

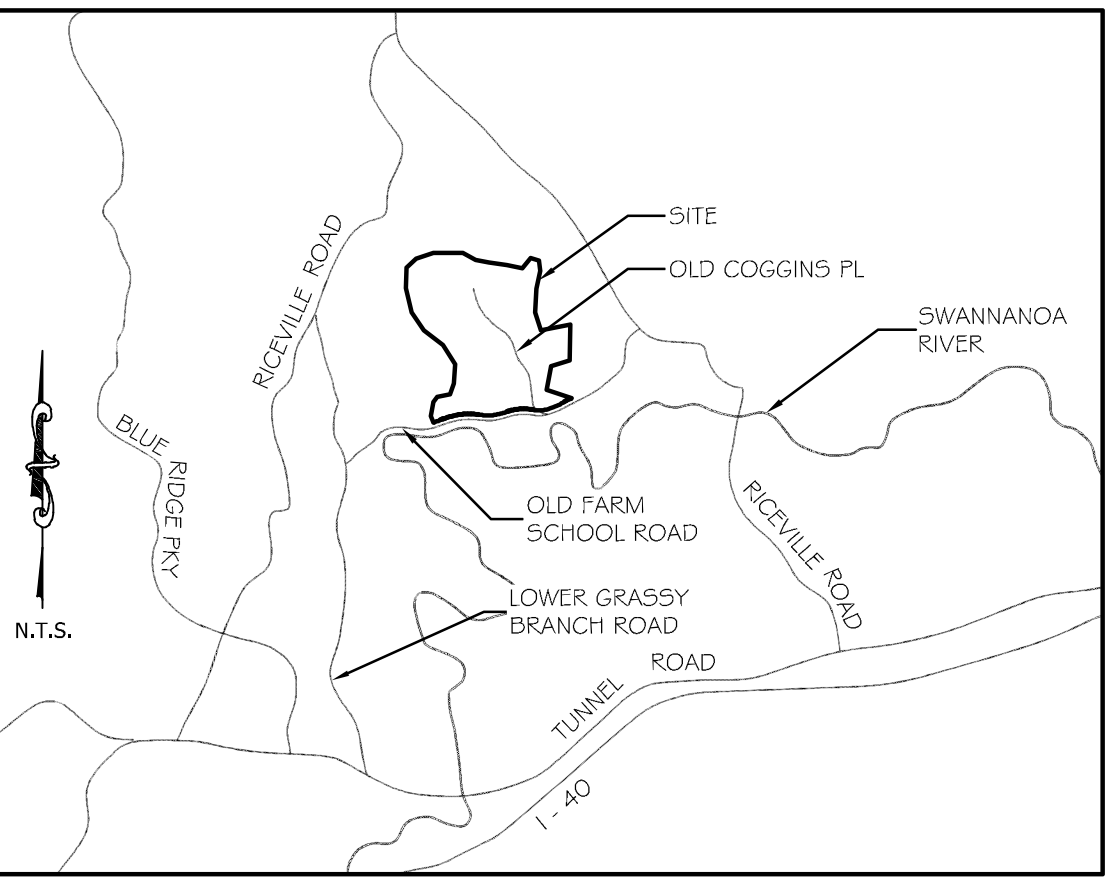
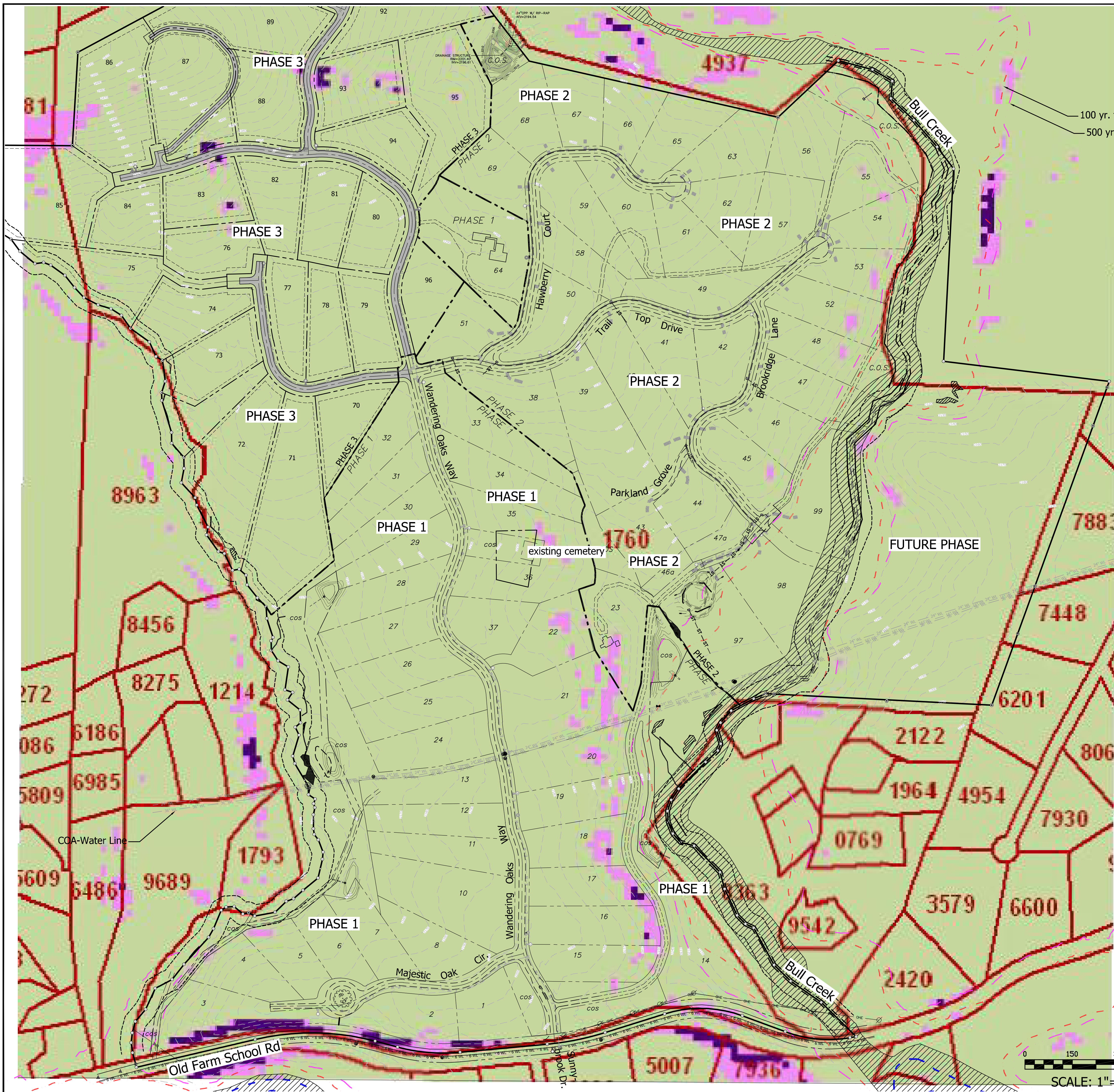
Project No:
433816

MP-1.2

Drawing Title:
MASTER PLAN WITH SLOPE ANALYSIS

NOT FOR CONSTRUCTION

Revision/Submission number with a triangle indicates changes made on this sheet.



MASTER PLAN LEGEND

- Existing Boundary
- Existing Creek (w / 30' Buffer)
- Existing Building to Remain
- 100 Year Floodplain
- 500 Year Floodplain
- Phase 1+2 Right of Way
- Phase 1+2 Lot Line
- Phase 3 Right of Way
- Phase 3 Lot Line

MASTER PLAN NOTES

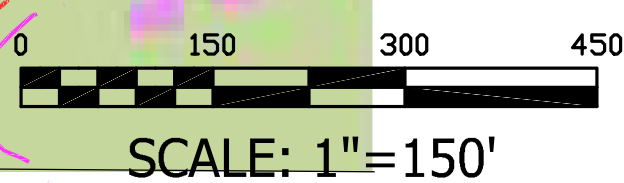
Subdivision Name:	SOVEREIGN OAKS
Total Project Area:	169,106 Ac.
PIN No.:	9679-16-0279
Existing Zoning:	R-2
Township:	Swannanoa
Allowed Number of Units per Zoning:	2,028 (12 / acre)
Proposed Number of Residential units:	99 units
Total Density:	0.59 units / acre
Max. Building Height:	35'
Water:	CITY OF ASHEVILLE
Water Supply Watershed:	N/A
Sewer:	Septic Systems
Length of Private Two-Way Roads:	8,430 linear feet
Length of Shared Drives:	4,500 linear feet
Total Length of Roads / Drives:	12,930 linear feet
Disturbed Area:	35 ACRES
(Infrastructure and houses)	
Average Natural Slope:	19.4%
% of Property over 35% in Slope:	9.7% (16.4 ac)
(Property is NOT a Drastic Variation Hillside property)	
Note: Portions of this site lie within the 100yr floodplain.	
Note: Construction estimated to begin May 2015.	

DEVELOPMENT NOTES

DEVELOPER	COGGINS FARMS, LLC DAVID CASE 54 BARTLETT STREET ASHEVILLE, NC 28801 828-774-5274
ENGINEER	JOHN KINNAIRD, PE BROOKS ENGINEERING ASSOCIATES, PA ASHEVILLE, NC 28801 828-232-4700
SURVEYOR	PAUL SEXTON, PE RLS BROOKS ENGINEERING ASSOCIATES, PA ASHEVILLE, NC 28801 828-232-4700

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	REVISIONS/SUBMISSIONS				
No.	1	Date			
NOT FOR CONSTRUCTION					
Reviewed:	MCB	Scale:	1"=150'	Date:	10-16-2015
Designed:	JHK	Drawn:	DJD	Checked:	JHK
SOVEREIGN OAKS MASTER PLANS					
PLANNING • ENGINEERING • SURVEYING • ENVIRONMENTAL SERVICES •					
NORTH CAROLINA BUNCOMBE COUNTY					
Project No:	433816	MP-1.3		Drawing Title:	MASTER PLAN WITH STABILITY MAP

Buncombe County Planning Board Meeting
Recommended Staff Conditions
July 18, 2016
SUB2013-00372 (Sovereign Oaks Master Plan)
SUB2016-00251 (Sovereign Oaks Phase III)

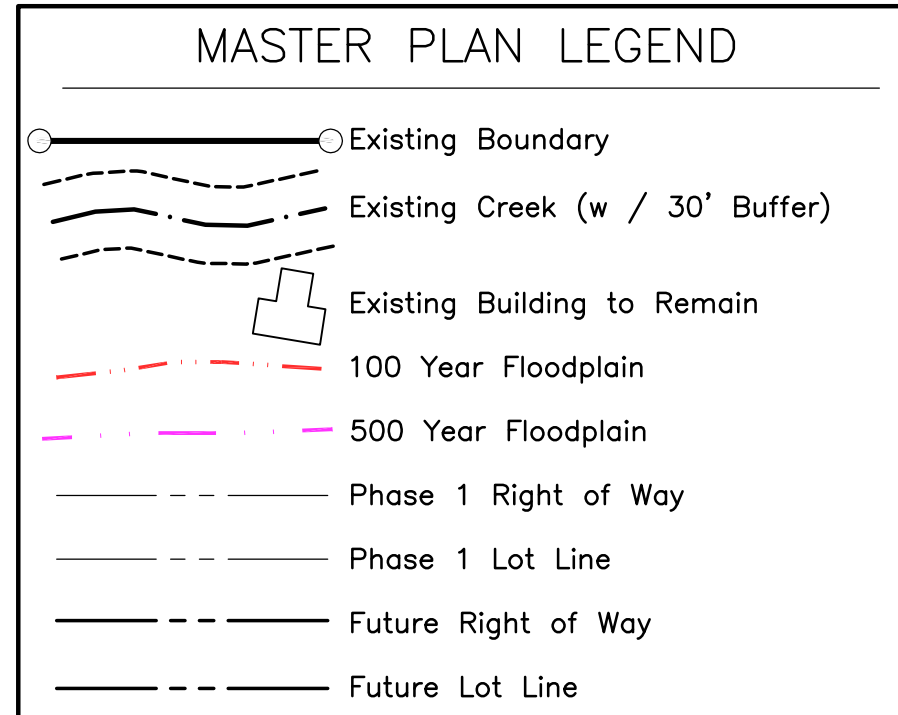
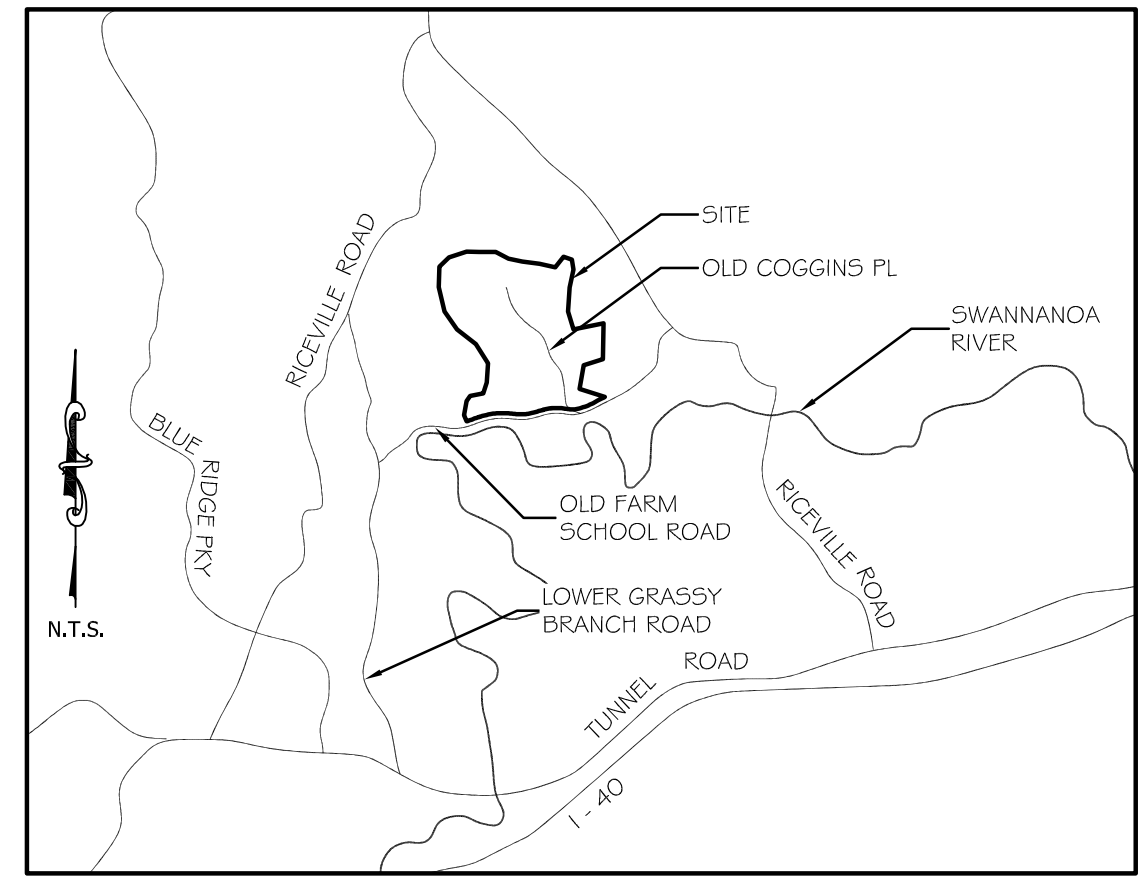
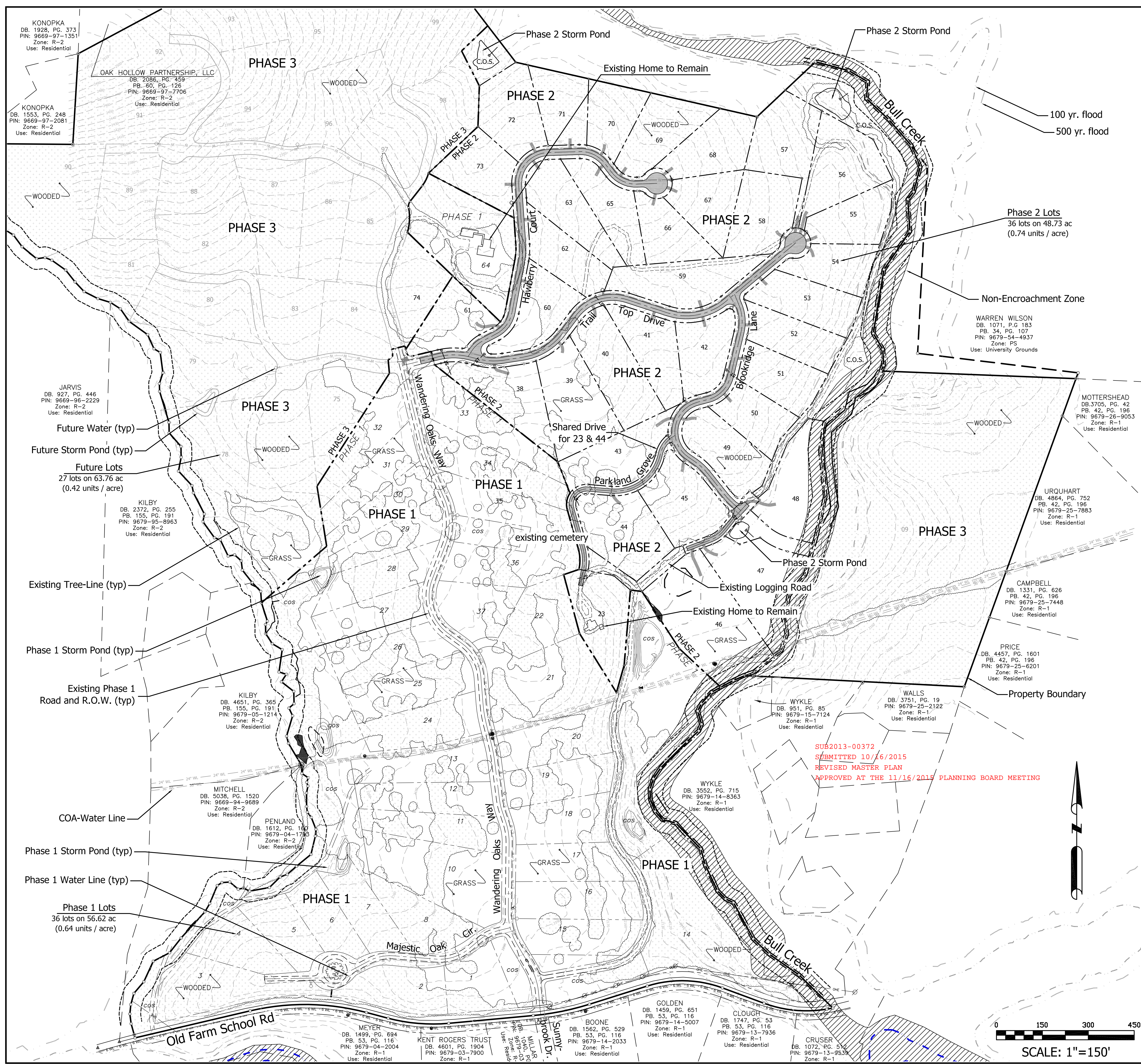
SUB2013-00372

There are no recommended staff conditions for the revised Master Plan.

SUB2016-00251

If approved by the Buncombe County Planning Board, the applicant shall provide the following information on a revised set of plans (if necessary) submitted to the Buncombe County Department of Planning and Development:

1. Provide proof of approval of E-911 addressing
2. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
3. Provide a written statement from the Buncombe County Stormwater Administrator stating that the approved Stormwater Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.*
4. Provide proof of approval of system design for City of Asheville water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
5. Revise T-turnaround of Road C so it is 10% grade or under.
6. Revise driveway location for lot 88 so it is either served by Wandering Oak Way or Road C.
7. Indicate lot slope perpendicular to the roads for each lot or indicate that lot slope perpendicular to the road is less than 18%.
8. Provide proof of consultation with a geotechnical engineer for road construction in areas of a tract in excess of 30 percent natural slope and for all areas designated as High Hazard or Moderate Hazard on the Buncombe County Slope Stability Index Map prepared by the North Carolina Geological Survey.



MASTER PLAN NOTES

Subdivision Name:	SOVEREIGN OAKS
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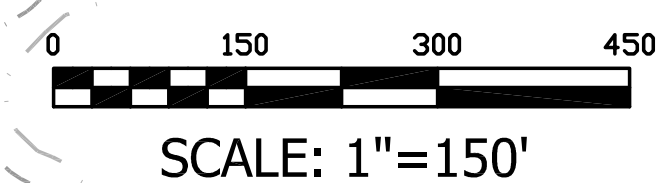
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Note: Construction estimated to begin May 2015.

DEVELOPMENT NOTES

DEVELOPER	COGGINS FARMS, LLC DAVID CASE 54 BARTLETT STREET ASHEVILLE, NC 28801 828-774-5274
ENGINEER	JOHN KINNAIRD, PE BROOKS ENGINEERING ASSOCIATES, PA ASHEVILLE, NC 28801 828-232-4700
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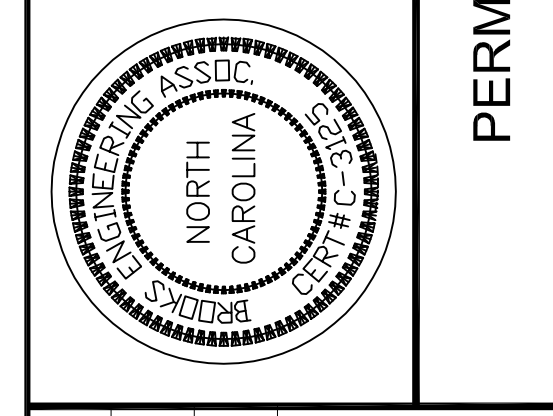
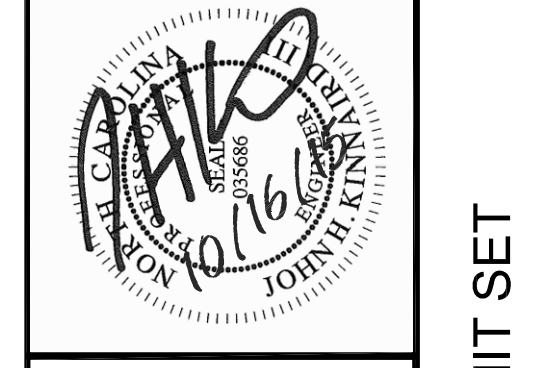
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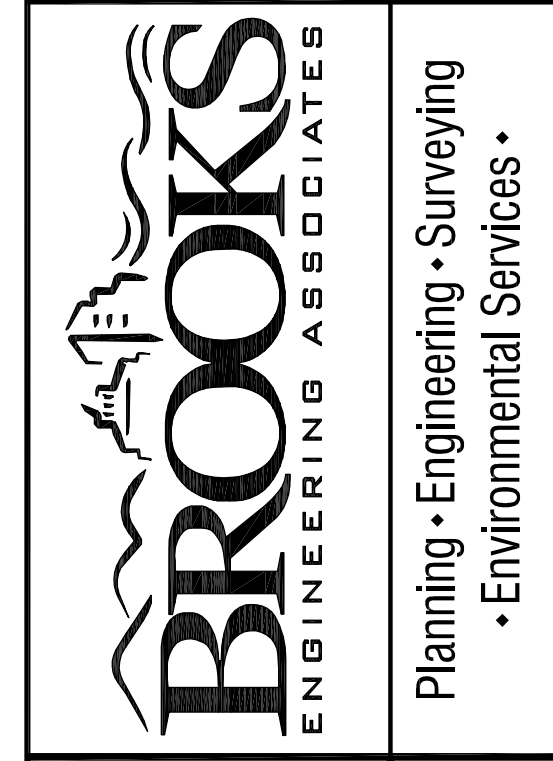
ATTACHMENT E

Date	10/16/2015
REVISIONS/SUBMISSIONS	
No.	1
	SUBMITTAL TO BUNCOMBE CO.



Reviewed: MCB
Scale: 1"=150'
Drawn: DJD
Checked: JHK
Date: 10-16-2015

17 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
www.brookssea.com



SOVEREIGN OAKS
MASTER PLANS

BUNCOMBE COUNTY NORTH CAROLINA

Project No: 412115
MP-1.1

Drawing Title: MASTER PLAN

Revision/Submission number with a triangle indicates changes made on this sheet.

PERMIT SET

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• Environmental Services •

MASTER PLAN