

**Buncombe County Planning Board  
June 20, 2016**

The Buncombe County Planning Board met on June 20, 2016 in the meeting room at 30 Valley Street. Members present were Gene Bell, Nancy Waldrop, David Rittenberg, Joan Walker, Bob Taylor, and Parker Sloan. Also present were Michael Frue and Vince Hyatt, Staff Attorneys; Jon Creighton, Planning Director; and Gillian Phillips, Debbie Truempy, and Shannon Capezzali, Planning staff.

**Call to Order**

Gene Bell called the meeting to order at 9:31 am.

**Approval of Agenda**

Joan Walker made a motion to approve the agenda. The motion was seconded by David Rittenberg and passed unanimously.

**Approval of Minutes (May 16, 2016)**

David Rittenberg made a motion to approve the minutes. The motion was seconded by Nancy Waldrop and the motion passed unanimously.

**Public Hearing**

***ZPH2016-00031: Application to rezone two parcels at 9743-24-8619 (30 Cole Road) and 9743-24-5707 (located at the intersection of Kennedy Road and Clarks Chapel Road) from R-3 Residential to CS Commercial Service.***

Debbie Truempy reviewed the proposed rezoning request. Randall and Sue Hintz, and Daniel Bowman were present to represent the application and provided additional information to the Board about the proposed use of the two sites for a pottery business and for equipment storage for a grading and excavation business. David Rittenberg expressed concern about the compatibility of the proposed zoning to the surrounding area and the impact on property values.

Gene Bell opened public comment:

- Tim Holcombe of Clarks Chapel Road stated that most commercial businesses are on the other side of the highway, providing a separation from the residential area. The existing glass works business looks like a residential home. He does not support the rezoning request due to concerns about compatibility and traffic.

Chairman Bell closed the public hearing, as there was no one else wishing to speak.

David Rittenberg made a motion to deny the rezoning request. The motion to deny was seconded by Bob Taylor. The motion did not pass based on the 3/3 vote.

Parker Sloan made a motion to approve the rezoning request. The motion was seconded by Nancy Waldrop and passed 4/2.

***SUB2016-00 108: Warren Sugg of Civil Design Concepts sought approval of a 25 lot major subdivision located at 9664-48-2498 (southeast of the intersection of Williams Road and Sequoyah Hills Drive).***

The Board was provided with the submitted site plan (Attachment A) and proposed staff conditions (Attachment B). Gillian Phillips reviewed the proposed subdivision for the Board. Warren Sugg from Civil Design Concepts was present to represent the application. Staff conditions include water line and E-911 approval, erosion and stormwater, FEMA flood information and individual driveways to be listed on the plat, and the inclusion of a statement concerning no base course placed on muck. Warren Sugg answered questions from the Board.

David Rittenberg made a motion to grant preliminary approval to the subdivision with the proposed staff conditions. The motion was seconded by Nancy Waldrop and passed unanimously.

***SUB2016-00219: Gary Davis of Davis CivilSolutions sought major subdivision approval for a 141 lot subdivision located on tax lot PIN 9634-14-6580 (adjacent to 139 Avery Creek Rd.)***

The Board was provided with the submitted site plan (Attachment C) and proposed staff conditions (Attachment D). Gillian Phillips reviewed the proposed subdivision for the Board. Gary Davis from Davis CivilSolutions was present to represent the application. Staff conditions include city water and sewer, E-911 approval, erosion and stormwater, FEMA flood information to be listed on plat, existing adjacent uses listed on plat, indicate shared driveway less than 20% grade on plat, NCDOT driveway permits, a public road maintenance plan, NCDOT subdivision road approval, and Army Corps approval of wetland development. Gary Davis answered questions from the Board about the wetland, steep slope areas, and control of the site. Fred Spiegel, the developer, provided information about the surrounding area, open spaces, and duplex development.

Joan Walker made a motion to grant preliminary approval to the subdivision with the proposed staff conditions. The motion was seconded by Nancy Waldrop and passed unanimously.

### **Presentations and Discussion**

Jon Creighton stated that NCDOT was not available for today's meeting and staff will continue working to schedule a time for Greg Benton to come meet with the Planning Board.

Michael Frue provided information to the Board about a recent case law decision as it applies to quasi-judicial hearings. Michael will be working with Planning staff to review the County's current procedures for subdivision variance approvals. Variance approvals will need to be done using a quasi-judicial hearing to include swearing in witnesses and other requirements.

### **Adjourn**

The meeting was adjourned at 10:31am.



SUB2016-00108 Submitted 5/10/2016  
 Approved with conditions by the Planning Board on 6/20/16

1. Provide proof of approval of system design for City of Asheville water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
2. Provide proof of approval of E-911 addressing
3. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
4. Provide a written statement from the Buncombe County Stormwater Administrator stating that a Stormwater Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.*
5. Provide FEMA flood plain information on the submitted plat.
6. Indicate individual driveways on the submitted plat
7. Indicate no base course shall be placed on muck, pipe clay, organic matter or other unsuitable matter.

# COUNTRY WALK

## FLETCHER, NORTH CAROLINA

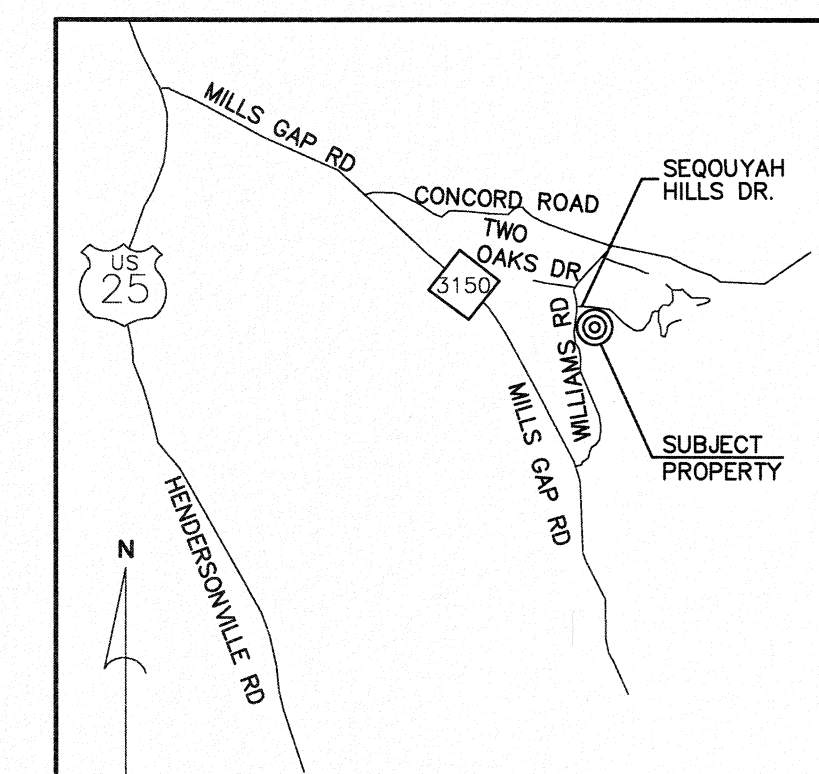
MARCH 8, 2016

PREPARED FOR:  
**JACKSON RESIDENTIAL PARTNERS, LLC**  
 P.O. BOX 1157  
 ARDEN, NC 28704  
**KEN JACKSON**  
 (828) 684-8800

### INDEX OF SHEETS

Sheet No.	Title
C000	COVER SHEET
	PRELIMINARY SUBDIVISION SURVEY (PROVIDED BY OTHERS)
C101	EXISTING CONDITIONS PLAN
C201	SITE PLAN
C301	ROUGH GRADING & EROSION CONTROL PLAN
C501	STORM DRAINAGE PLAN
C601	WATER PLAN
C801	ROAD PROFILE

DEVELOPMENT DATA	
OWNER/DEVELOPER:	JACKSON RESIDENTIAL PARTNERS, LLC P.O. BOX 1157 ARDEN, NC 28704
CONTACT:	KEN JACKSON (828)684-8800
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NORTH CAROLINA 28801
CONTACT:	WARREN SUGG, P.E. (828) 252-5388
SURVEYOR:	ED HOLMES & ASSOCIATES LAND SURVEYORS, PA 200 RIDGEFIELD COURT, SUITE 215 ASHEVILLE, NC 28806
CONTACT:	ROBERT C. BROWN, PLS (828)225-6562



VICINITY MAP  
(NOT TO SCALE)



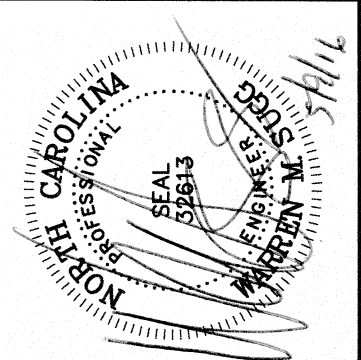
Know what's below.  
Call before you dig.

168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 252-5388  
FAX (828) 252-5385

SUITE 6  
WAYNESVILLE, NC 28786  
PHONE (828) 452-4410  
FAX (828) 458-5465

**CDC** Civil Design Concepts, PA  
www.civildesignconcepts.com  
NCBELS LICENSE # C-2184

NO.	DATE	DESCRIPTION	BY
1.	03/09/16	BOA INITIAL SUBMITTAL	RWW
2.	05/09/16	BOA CUP SUBMITTAL	JFS



COVER FOR:  
**COUNTRY WALK**  
 JACKSON RESIDENTIAL PARTNERS, LLC - BUNCOMBE, NORTH CAROLINA

DATE: 03/14/2016  
 DRAWN BY: RWW  
 CDC PROJECT NO.: 11601  
 SHEET  
**C000**





ANITA LYNN OWENBY  
PIN 9664482498  
D.B. 4586, PG. 742

ABBREVIATION LEGEND

D.B.	DEED BOOK
PG.	PAGE
P.B.	PLAT BOOK
N.	NORTHING
E.	EASTING
EL.	ELEVATION
PIN	PARCEL IDENTIFIER NUMBER

SYMBOL LEGEND

(Symbol)	UNMARKED POINT
(Symbol)	5/8" REBAR WITH YELLOW CAP SET
(Symbol)	CONCRETE RIGHT-OF-WAY MONUMENT FOUND
(Symbol)	NGCS MONUMENT FOUND
(Symbol)	CORNER MONUMENT FOUND (AS DESCRIBED)
(Symbol)	FIRE HYDRANT
(Symbol)	WATER VALVE
(Symbol)	UTILITY POLE WITH GUY WIRE
(Symbol)	LOT NUMBER PER P.B. 59, PG. 61
(Symbol)	LOT NUMBER PER P.B. 102, PG. 113

LINE TYPE LEGEND

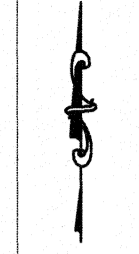
(Symbol)	DEED LINE (NOT SURVEYED)
(Symbol)	OVERHEAD UTILITY LINE
(Symbol)	EDGE OF ASPHALT PAVEMENT
(Symbol)	EDGE OF CONCRETE
(Symbol)	MAJOR CONTOUR LINE
(Symbol)	MINOR CONTOUR LINE
(Symbol)	FENCE (AS DESCRIBED)
(Symbol)	UNDERGROUND STORM LINE
(Symbol)	UNDERGROUND SEWER LINE
(Symbol)	UNDERGROUND GAS LINE
(Symbol)	UNDERGROUND WATER LINE
(Symbol)	RIGHT-OF-WAY LINE
(Symbol)	WOOD LINE

NGCS MONUMENT "MERRILL"  
N:86479.94  
E:965075.22  
NAD 83 (2011)

REGISTERED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_  
2016 AT \_\_\_\_\_ M, RECORDED IN BOOK \_\_\_\_\_  
AT PAGE \_\_\_\_\_

REGISTER OF DEEDS

BY \_\_\_\_\_ DEPUTY



SITE

STATE OF NORTH CAROLINA  
COUNTY OF BUNCOMBE

I, \_\_\_\_\_ REVIEW OFFICER OF BUNCOMBE COUNTY,  
CERTIFY THAT THIS MAP OR PLAT TO WHICH THIS CERTIFICATION IS  
AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

Vicinity Map  
(not to scale)

CERTIFICATE OF OWNERSHIP AND DEDICATION:

I HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY  
SHOWN AND DESCRIBED HEREON, AND THAT I (WE) HEREBY ADOPT THIS  
PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, AND DEDICATE  
ALL ROAD RIGHTS-OF-WAY AND OTHER SITES AND EASEMENTS TO THE  
PUBLIC USE AS NOTED IN THE DISCLOSURE OF PRIVATE ROADWAYS,  
WHERE APPLICABLE.

OWNER(S) \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES
- This survey creates a subdivision of land.
  - This property may be subject to rights-of-way, easements, reservations and restrictions, written and unwritten, recorded and unrecorded, not discovered during the course of this survey.
  - The certification shown hereon is not a certification of title, zoning or freedom from encumbrances.
  - Only above ground evidence of underground utilities was located. All underground utilities shown were based upon shown ground structures and paint markings. Call 1-800-721-7877 or 811 before digging.
  - The subject property does not lie in special flood hazard area according to the National Flood Insurance Program, Flood Insurance Rate Map 370096400J, effective date January 6, 2010.
  - All distances shown hereon are horizontal ground distances unless otherwise noted. To convert ground distances to grid distances multiply by a combined factor of 0.9997770.
  - Utility symbols are not to scale and are for graphical purposes only.
  - This survey is oriented to NC Grid North, NAD 83 (2011) via GNSS observations on site and on NGCS Monument "Merrill". All elevations shown are NAVD 88 elevations based upon the published elevation of Monument "Merrill".
  - All coordinates shown are NC Grid, NAD 83 (2011) coordinates.
  - Property is zoned R-2 Residential. Setbacks are as follows:  
If property is served by public sewer, front 10', side 7', rear 15'.  
If property is not served by public sewer, front 20', side 10', rear 20'.

ANITA LYNN OWENBY  
PIN 9664482498  
D.B. 4586, PG. 742

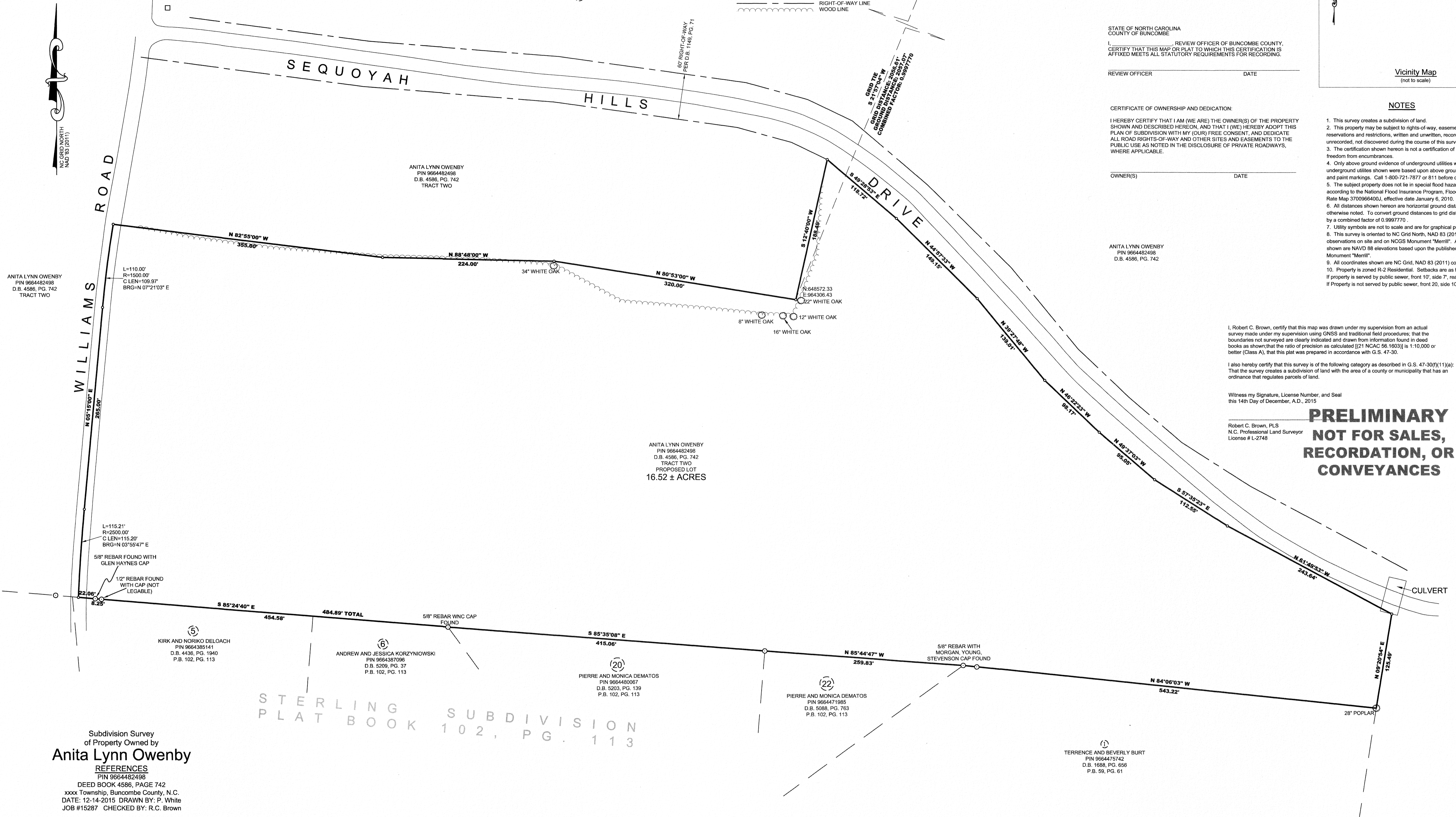
I, Robert C. Brown, certify that this map was drawn under my supervision from an actual survey made under my supervision using GNSS and traditional field procedures; that the boundaries not surveyed are clearly indicated and drawn from information found in deed books as shown; that the ratio of precision as calculated [(21 NCAC 56.1603)] is 1:10,000 or better (Class A), that this plat was prepared in accordance with G.S. 47-30.

I also hereby certify that this survey is of the following category as described in G.S. 47-30(f)(1)(a):  
That the survey creates a subdivision of land with the area of a county or municipality that has an ordinance that regulates parcels of land.

Witness my Signature, License Number, and Seal  
this 14th Day of December, A.D., 2015

Robert C. Brown, PLS  
N.C. Professional Land Surveyor  
License # L-2748

**PRELIMINARY  
NOT FOR SALES,  
RECORDATION, OR  
CONVEYANCES**



ANITA LYNN OWENBY  
PIN 9664482498  
D.B. 4586, PG. 742  
TRACT TWO  
PROPOSED LOT  
16.52 ± ACRES

(5) KIRK AND NORIKO DELOACH  
PIN 9664385141  
D.B. 4438, PG. 1940  
P.B. 102, PG. 113

(6) ANDREW AND JESSICA KORZYNIOWSKI  
PIN 9664387096  
D.B. 5209, PG. 37  
P.B. 102, PG. 113

(20) PIERRE AND MONICA DEMATOS  
PIN 9664450067  
D.B. 5203, PG. 139  
P.B. 102, PG. 113

(22) PIERRE AND MONICA DEMATOS  
PIN 9664471985  
D.B. 5088, PG. 783  
P.B. 102, PG. 113

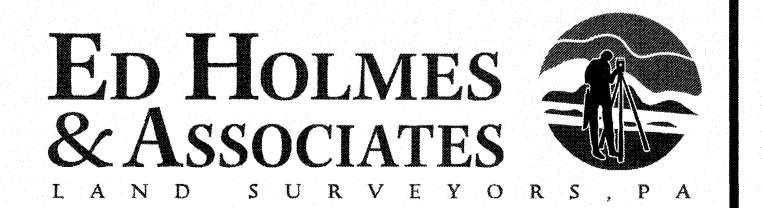
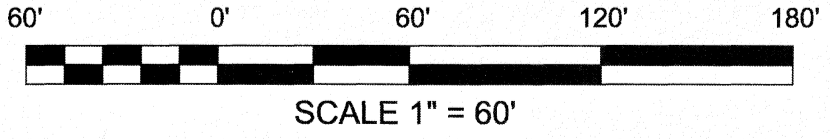
(1) TERENCE AND BEVERLY BURT  
PIN 9664475742  
D.B. 1688, PG. 656  
P.B. 59, PG. 61

STERLING SUBDIVISION  
PLAT BOOK 102, PG. 113

Subdivision Survey  
of Property Owned by  
**Anita Lynn Owenby**

REFERENCES  
PIN 9664482498  
DEED BOOK 4586, PAGE 742  
xxx Township, Buncombe County, N.C.  
DATE: 12-14-2015 DRAWN BY: P. White  
JOB #15287 CHECKED BY: R.C. Brown

Robert C. Brown, PLS  
Ed Holmes & Associates Land Surveyors, PA  
200 Ridgfield Court, Suite 215, Asheville, NC 28806  
Corporate Licensure No. C-2806  
828.225.6562





**NOTES**

- ALL SITEWORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY STANDARDS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS.
- CONTRACTOR TO VERIFY WITH ENGINEER THAT THE REQUIRED GRADING/LAND DISTURBANCE AND DRIVEWAY PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK MUST BE PERFORMED BY A NORTH CAROLINA LICENSED CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXACT LOCATION AND ELEVATION FOR ALL UTILITIES PRIOR TO CONSTRUCTION; AND TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES. THE LOCATION OF SOME UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATED. ALL BURIED UTILITIES HAVE NOT BEEN SHOWN ON THE PLANS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES CALLED OUT TO REMAIN DURING CONSTRUCTION. ANY DAMAGE INCURRED DURING OR RESULTING FROM CONSTRUCTION ACTIVITY IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION ACTIVITY IS TO BEGIN. THE CONTRACTOR SHALL NOTIFY ULOCO AT 1-800-632-4949 OR 811, 72 HOURS BEFORE CONSTRUCTION BEGINS.
- EROSION CONTROL IS FIELD PERFORMANCE BASED AND CONTRACTOR SHALL INSTALL AND MAINTAIN ANY EROSION CONTROL MEASURES NECESSARY TO ASSURE MAXIMUM PROTECTION OF THE SITE DURING DEMOLITION AND CLEARING.
- CONTRACTOR TO COORDINATE TIMING OF DEMOLITION AND CONSTRUCTION WITH OWNER TO ENSURE EXISTING FACILITIES REMAIN ACCESSIBLE.
- ALL DEBRIS, STRUCTURES AND UTILITIES TO BE DEMOLISHED AND REMOVED FROM THE PROJECT SITE ARE NOT SHOWN ON THIS PLAN. ANY ADDITIONAL DEBRIS, STRUCTURES AND UTILITIES ENCOUNTERED DURING CONSTRUCTION, WHICH IN THE OPINION OF THE ENGINEER SHOULD BE DEMOLISHED AND REMOVED, SHALL BE DISPOSED OF OFF-SITE AT THE CONTRACTOR'S EXPENSE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS.

**DEVELOPMENT DATA**

**OWNER/DEVELOPER:** JACKSON RESIDENTIAL PARTNERS, LLC  
P.O. BOX 1157  
ARDEN, NC 28704  
**CONTACT:** KEN JACKSON  
(828)684-8800

**CIVIL ENGINEER:** CIVIL DESIGN CONCEPTS, P.A.  
168 PATTON AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
**CONTACT:** WARREN SUGG, P.E.  
(828) 252-5388

**SURVEYOR:** ED HOLMES & ASSOCIATES LAND SURVEYORS, PA  
200 RIDGEFIELD COURT, SUITE 215  
ASHEVILLE, NC 28806  
**CONTACT:** ROBERT C. BROWN, PLS  
(828)225-6562

**PROJECT DATA**

**PIN:** 9664-48-2498  
**ADDRESS:** WILLIAMS ROAD, FLETCHER, NC  
**DEED BOOK/PAGE:** 4586/0742  
**SITE ACREAGE:** 16.52 ACRES  
**ZONING:** R-2 (BUNCOMBE COUNTY)  
**TOWNSHIP:** LIMESTONE

**SETBACKS:**  
**FRONT:** 10'  
**SIDES:** 7'  
**REAR:** 15'

**DISTURBED AREA:** 4.05 AC

**DENSITY:**

MAXIMUM NUMBER OF DWELLING UNITS PER ACRE = 12 (R-2)

**RESIDENTIAL UNITS**  
25 - SINGLE FAMILY LOTS

TOTAL PROPOSED DENSITY: 1.52 UNITS/ACRE

TOTAL AREA OF LOTS = 580,113 SQFT/ 13.31 ACRES  
OWENBY ROAD ROW = 72,641 SQFT/ 1.67 ACRES  
WILLIAMS ROAD ROW = 14,674 SQFT/ 0.33 ACRES  
AREA OF BMP = 47,449 SQFT/ 1.09 ACRES  
OPEN SPACE = 5,310 SQFT/ 0.12 ACRES

**ROADS:**

**OWENBY ROAD**      **LENGTH (LINEAR FEET)**  
1,558

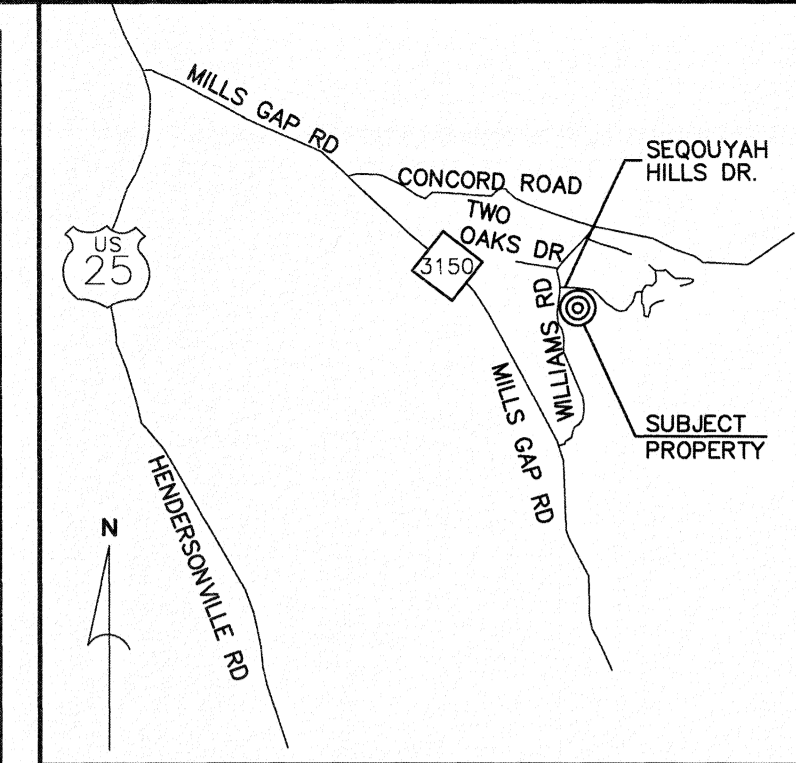
**TOTAL ROADS = 1,558 LF**

NO ROAD CORRIDOR EXCEEDS 90 FEET OF VERTICAL CHANGE IN CUT AND FILL

**SOIL GROUP:**

B

NOTE: CONTOUR INTERVALS ARE SHOWN ON 2 FT INTERVALS



**VICINITY MAP**  
(NOT TO SCALE)



168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 252-5388  
FAX (828) 252-5385

52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 28786  
PHONE (828) 252-5388  
FAX (828) 458-5485

**CDC** Civil Design Concepts, PA  
www.civildesignconcepts.com

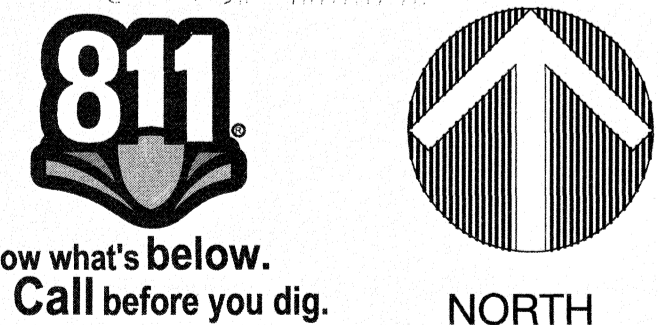
NCBELS LICENSE #: C-2184

NO.	DATE	DESCRIPTION	BY
1.	03/09/16	BOA INITIAL SUBMITTAL	
2.	05/09/16	BOA CUP SUBMITTAL	

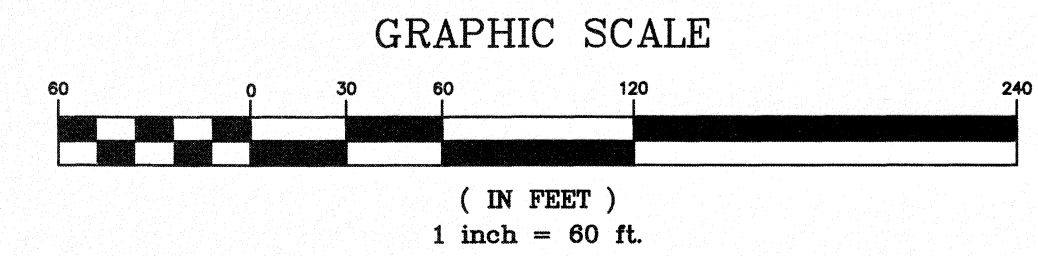
EXISTING CONDITIONS PLAN FOR:

**COUNTRY WALK**

JACKSON RESIDENTIAL PARTNERS, LLC - BUNCOMBE, NORTH CAROLINA



**EXISTING CONDITIONS PLAN**



DATE: 03/14/2016  
DRAWN BY: RWW  
CDC PROJECT NO.: 11601  
SHEET  
**C101**



**NOTES**

- ALL SITEWORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY STANDARDS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS.
- SINGLE PHASE CONSTRUCTION.
- ALL WORK MUST BE PERFORMED BY A NORTH CAROLINA LICENSED CONTRACTOR.
- PROPOSED LOTS WILL BE PROVIDED WITH UTILITIES VIA THE PROPOSED AND EXISTING RIGHT-OF-WAYS. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXACT LOCATION AND ELEVATION FOR ALL UTILITIES PRIOR TO CONSTRUCTION; AND TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES. THE LOCATION OF SOME UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATED. ALL BURIED UTILITIES HAVE NOT BEEN SHOWN ON THE PLANS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES (SHOWN TO REMAIN) AND NEWLY COMPLETED WORK DURING CONSTRUCTION. ANY DAMAGE INCURRED DURING OR RESULTING FROM CONSTRUCTION ACTIVITY IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
- PROPOSED ROADS TO BE PRIVATE. ROADS TO BE DESIGNED IN ACCORDANCE WITH NCDOT SUBDIVISION ROAD MINIMUM CONSTRUCTION STANDARDS FOR POTENTIAL TURNOVER TO NCDOT IN THE FUTURE. NCDOT DRIVEWAY PERMIT TO BE OBTAINED FOR ACCESS TO WILLIAMS ROAD. ALL ROAD STRIPING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICE (MUTCD).
- SUBDIVISION IS NOT A HILLSIDE DEVELOPMENT AS DEFINED BY SECTION 70-68. SUBDIVISION IS NOT A DRASTIC VARIATION HILLSIDE DEVELOPMENT. GEOTECHNICAL ENGINEER SHALL BE CONSULTED FOR ROAD CONSTRUCTION IN ANY AREAS IN EXCESS OF 30% NATURAL SLOPE.
- NO PORTION OF THE ROAD CONSTRUCTION IS WITHIN THE 30 PERCENT NATURAL SLOPE OR AREAS DESIGNATED AS HIGH HAZARD OR MODERATE HAZARD ON THE BUNCOMBE COUNTY SLOPE STABILITY INDEX MAP.
- THE PAVEMENT WIDTH AND BASE COURSE SHALL BE INCREASED WHERE THE ROAD CENTERLINE IS LESS THAN A 90-FOOT RADIUS. IF RADIUS IS 70 TO 90 FEET, INCREASE PAVEMENT WIDTH 25 PERCENT; IF RADIUS IS 60 TO 70 FEET, INCREASE PAVEMENT WIDTH 35 PERCENT; IF RADIUS IS 50 TO 60 FEET, INCREASE PAVEMENT WIDTH 45 PERCENT; IF RADIUS IS LESS THAN 50 FEET, INCREASE PAVEMENT WIDTH 50 PERCENT.
- APPROVED EROSION CONTROL AND STORMWATER MANAGEMENT PLAN TO BE OBTAINED PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION. EROSION CONTROL DEVICES WILL BE MAINTAINED FOR THE DEVELOPMENT OF THE PERIOD BY THE RESPONSIBLE PARTY.
- SUBDIVISION ROADS ARE CONTAINED WITHIN A CORRIDOR THAT DOES NOT EXCEED 90 FEET IN WIDTH ALONG 80% OF ITS TOTAL LENGTH; 20% OF THE LENGTH OF ROAD CORRIDOR IS NOT GRADED MORE THAN THE MAXIMUM WIDTH OF 135 FEET; AND THE CORRIDOR HEIGHT, AS DESIGNED AS THE HEIGHT OF A COMBINED CUT AND FILL SLOPE, DOES NOT EXCEED 60 FEET.
- SINGLE FAMILY LOT SLOPES PERPENDICULAR TO THE STREET WILL NOT EXCEED THE 18 PERCENT SLOPE WILL ADHERE TO ALL BUNCOMBE COUNTY STANDARDS.
- A PRELIMINARY SOILS INVESTIGATION THAT WILL EVALUATE THE FEASIBILITY OF DEVELOPING A SUBDIVISION SERVED BY INDIVIDUAL SEPTIC SYSTEMS, WHICH SHALL BE DONE BY A PROFESSIONAL SUCH AS A SOILS ENGINEER OR SOILS SCIENTIST, WILL BE CONDUCTED TO BE EXEMPT FROM MINIMUM LOT REQUIREMENTS WITH NO PUBLIC SEWER AND THE USE OF MINIMUM YARD SETBACK REQUIREMENTS FOR LOTS WITH PUBLIC SEWER.
- ALL FLAG LOTS HAVE A TAIL WIDTH 20 FT. OR GREATER.
- NO PROVISIONS AT THIS TIME FOR TV/CABLE, ELECTRICAL, AND GAS.

**DEVELOPMENT DATA**

**OWNER/DEVELOPER:** JACKSON RESIDENTIAL PARTNERS, LLC  
P.O. BOX 1157  
ARDEEN, NC 28704  
**CONTACT:** KEN JACKSON  
(828)684-8800

**CIVIL ENGINEER:** CIVIL DESIGN CONCEPTS, P.A.  
168 PATTON AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
**CONTACT:** WARREN SUGG, P.E.  
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WILLIAMS ROAD ROW = 14,674 SQFT / 0.33 ACRES  
AREA OF BMP = 47,449 SQFT / 1.09 ACRES  
OPEN SPACE = 5,310 SQFT / 0.12 ACRES

**ROADS:**

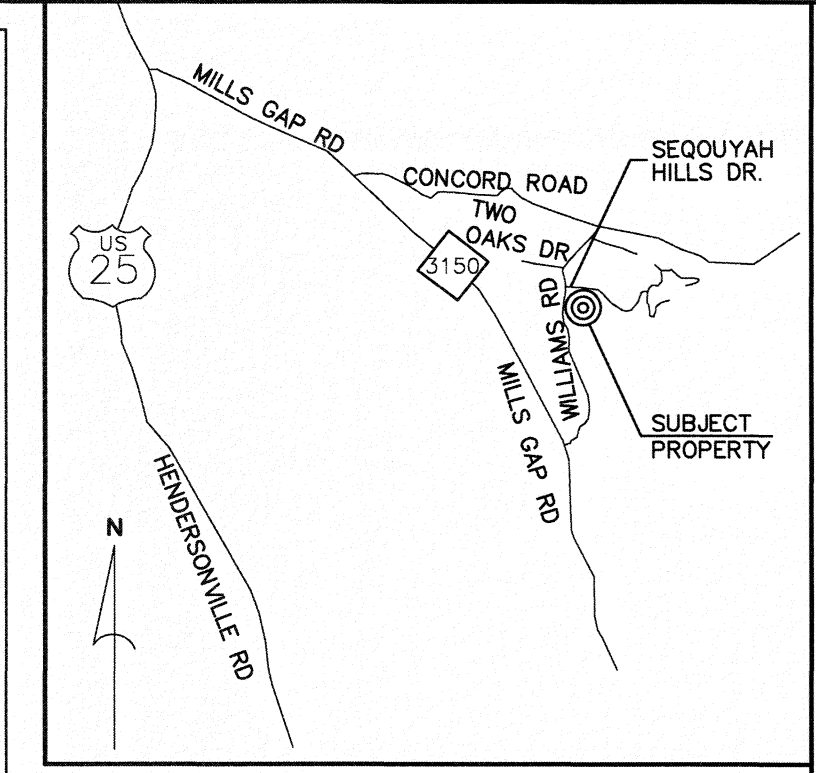
**OWENBY ROAD**      **LENGTH (LINEAR FEET)**  
1,558

**TOTAL ROADS = 1,558 LF**

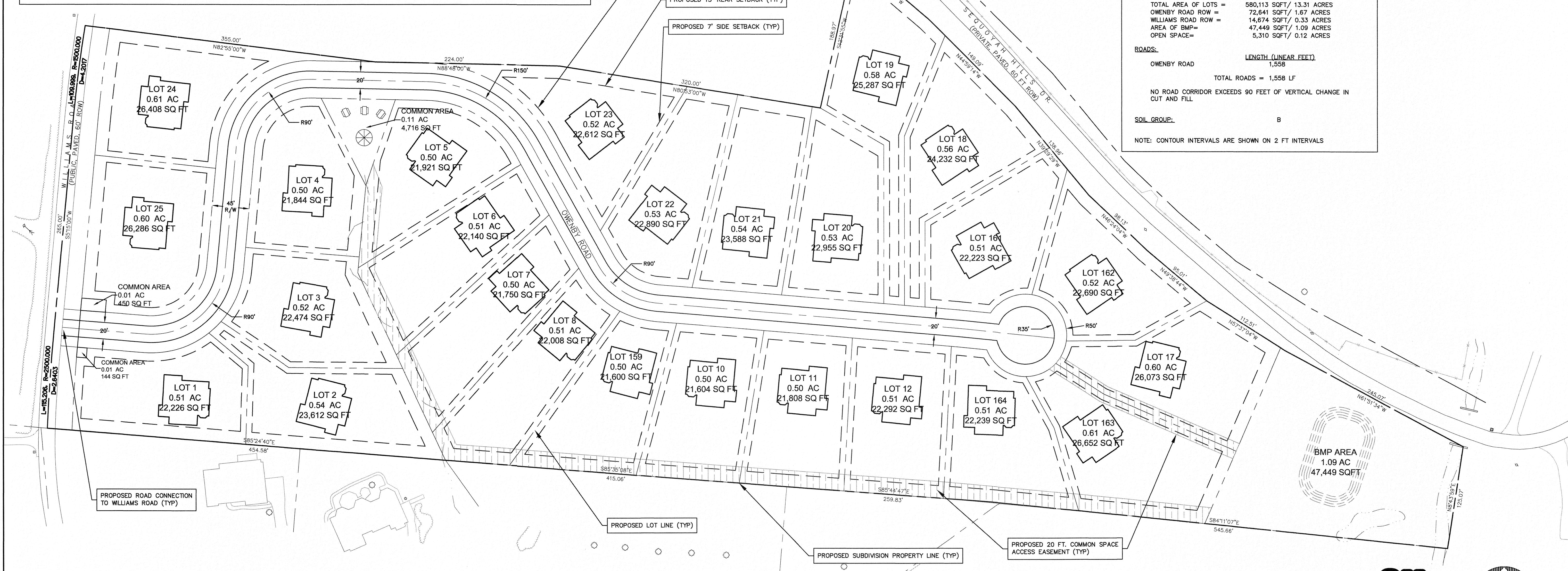
NO ROAD CORRIDOR EXCEEDS 90 FEET OF VERTICAL CHANGE IN CUT AND FILL

**SOIL GROUP:** B

NOTE: CONTOUR INTERVALS ARE SHOWN ON 2 FT INTERVALS

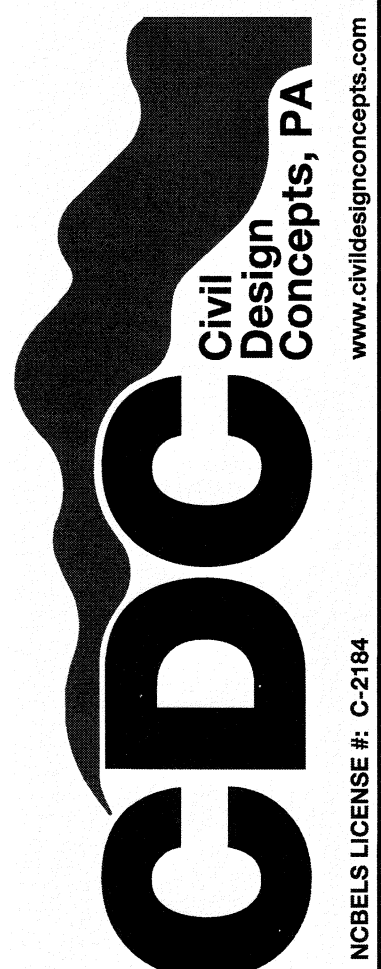


**VICINITY MAP**  
(NOT TO SCALE)

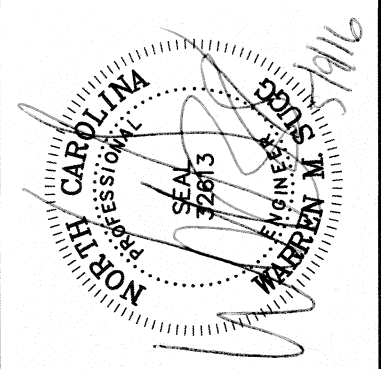


168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 252-5388  
FAX (828) 252-5385

52 WALKER STREET, SUITE 6  
WAYNESVILLE, NC 28786  
PHONE (828) 452-4410  
FAX (828) 456-5455



NO.	DATE	DESCRIPTION
1.	03/08/16	BDA INITIAL SUBMITTAL
2.	05/09/16	BDA CUP SUBMITTAL



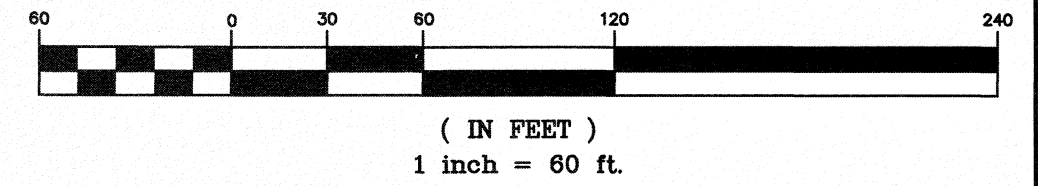
SITE PLAN FOR: **COUNTRY WALK**

JACKSON RESIDENTIAL PARTNERS, LLC - BUNCOMBE, NORTH CAROLINA



**SITE PLAN**

**GRAPHIC SCALE**



DATE: 03/14/2016  
DRAWN BY: RWW  
CDC PROJECT NO.: 11601

SHEET  
**C201**



**NOTES**

1. SEE GRADING, EROSION CONTROL, AND STORM DRAINAGE DETAIL SHEETS FOR ALL GENERAL NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL PLANS.
2. NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN.
3. SOIL TYPE B.

**DEVELOPMENT DATA**

**OWNER/DEVELOPER:** JACKSON RESIDENTIAL PARTNERS, LLC  
P.O. BOX 1157  
ARDEN, NC 28704  
KEN JACKSON  
(828)684-8800

**CIVIL ENGINEER:** CIVIL DESIGN CONCEPTS, P.A.  
168 PATTON AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
WARREN SUGG, P.E.  
(828) 252-5388

**SURVEYOR:** ED HOLMES & ASSOCIATES LAND SURVEYORS, PA  
200 RIDGEFIELD COURT, SUITE 215  
ASHEVILLE, NC 28806  
ROBERT C. BROWN, PLS  
(828)225-6562

**PROJECT DATA**

**FIN:** 9664-48-2498  
**ADDRESS:** WILLIAMS ROAD, FLETCHER, NC  
**DEED BOOK/PAGE:** 4586/0742  
**SITE ACREAGE:** 16.52 ACRES  
**ZONING:** R-2 (BUNCOMBE COUNTY)  
**TOWNSHIP:** LIMESTONE

**SETBACKS:**  
**FRONT:** 10'  
**SIDES:** 7'  
**REAR:** 15'

**DISTURBED AREA:** 4.05 AC

**DENSITY:**

MAXIMUM NUMBER OF DWELLING UNITS PER ACRE = 12 (R-2)

**RESIDENTIAL UNITS**  
25 - SINGLE FAMILY LOTS

TOTAL PROPOSED DENSITY: 1.52 UNITS/ACRE

TOTAL AREA OF LOTS = 580,113 SQFT/ 13.31 ACRES  
OWENBY ROAD ROW = 72,641 SQFT/ 1.67 ACRES  
WILLIAMS ROAD ROW = 14,674 SQFT/ 0.33 ACRES  
AREA OF BMP = 47,449 SQFT/ 1.09 ACRES  
OPEN SPACE = 5,310 SQFT/ 0.12 ACRES

**ROADS:**

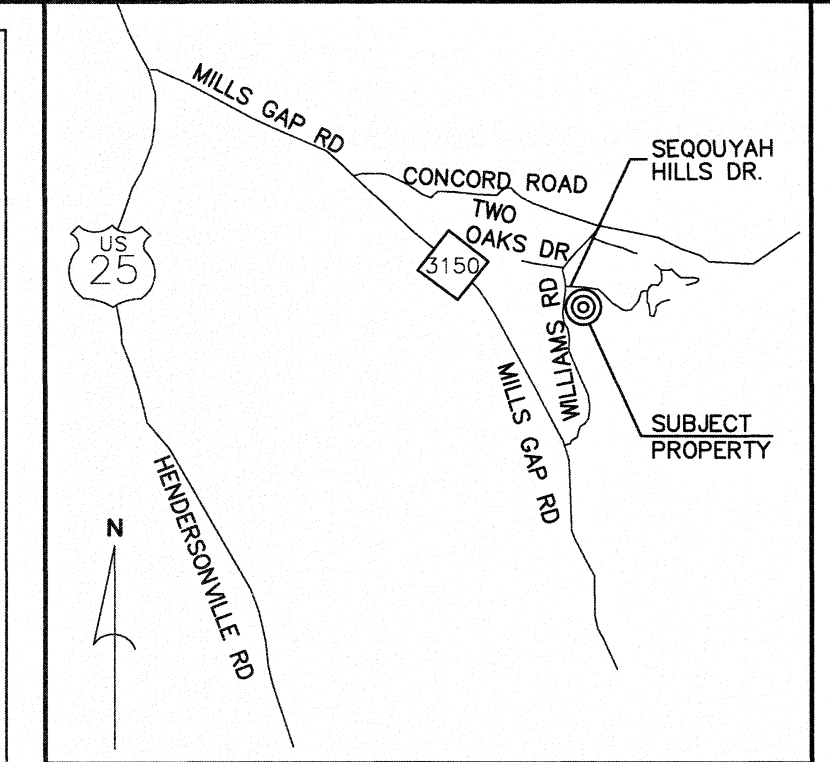
**LENGTH (LINEAR FEET)**  
OWENBY ROAD 1,558  
TOTAL ROADS = 1,558 LF

NO ROAD CORRIDOR EXCEEDS 90 FEET OF VERTICAL CHANGE IN CUT AND FILL

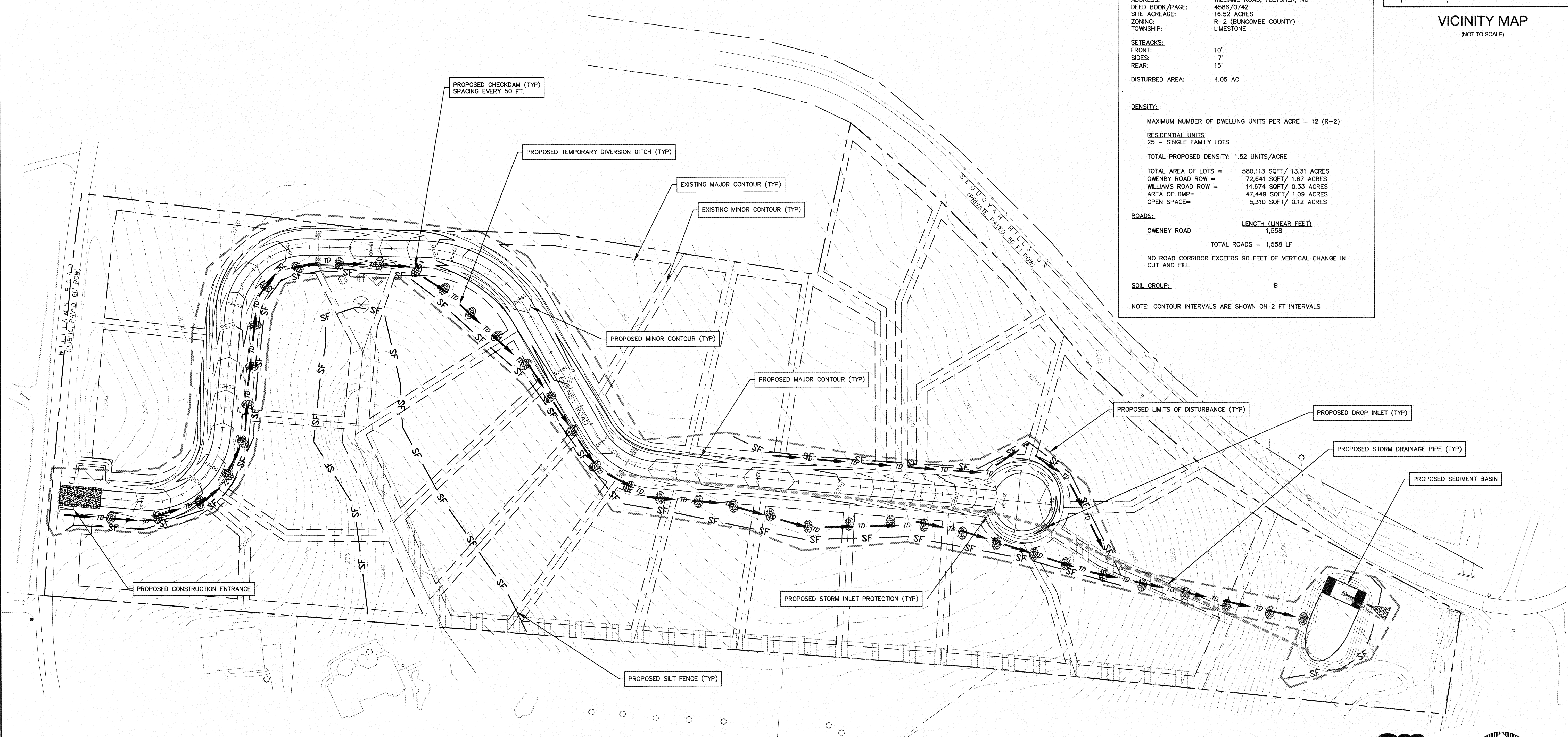
**SOIL GROUP:**

B

NOTE: CONTOUR INTERVALS ARE SHOWN ON 2 FT INTERVALS

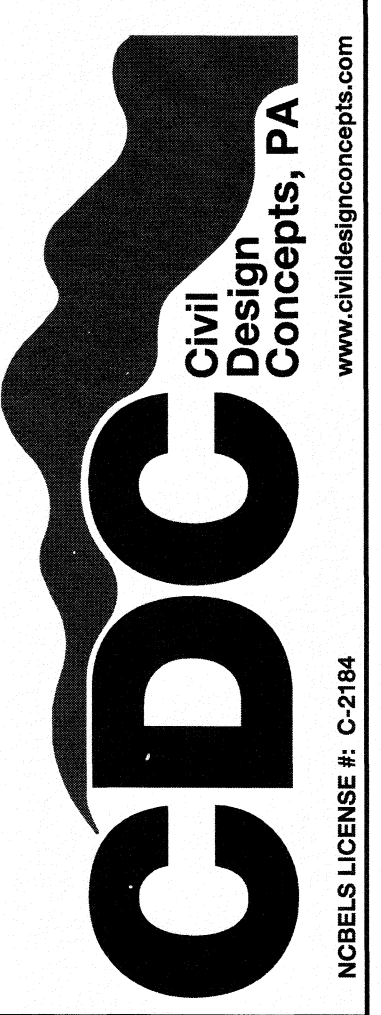


**VICINITY MAP**  
(NOT TO SCALE)

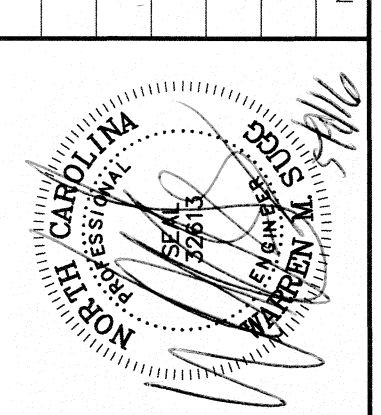


168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 452-4410  
FAX (828) 252-5388

52 WALNUT STREET - SUITE 9  
WAYNEVILLE, NC 28786  
PHONE (828) 452-4410  
FAX (828) 452-5388



NO.	DATE	DESCRIPTION
1.	07/05/16	BOA INITIAL SUBMITTAL
2.	05/05/16	BOA CUP SUBMITTAL



ROUGH GRADING & EROSION CONTROL PLAN FOR  
**COUNTRY WALK**  
JACKSON RESIDENTIAL PARTNERS, LLC - BUNCOMBE, NORTH CAROLINA



**ROUGH GRADING & EROSION CONTROL PLAN**  
GRAPHIC SCALE  
60 0 30 60 120 240  
( IN FEET )  
1 inch = 60 ft.

DATE: 03/14/2016  
DRAWN BY: RWW  
CDC PROJECT NO.: 11601  
SHEET  
**C301**



**NOTES**

- SEE GRADING, EROSION CONTROL, AND STORM DRAINAGE DETAIL SHEETS FOR ALL GENERAL NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL PLANS.
- NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN.
- SOIL TYPE B.

**DEVELOPMENT DATA**

OWNER/DEVELOPER: JACKSON RESIDENTIAL PARTNERS, LLC  
P.O. BOX 1157  
ARDEN, NC 28704  
CONTACT: KEN JACKSON  
(828)884-8800

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.  
168 PATTON AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
CONTACT: WARREN SUGG, P.E.  
(828) 252-5388

SURVEYOR: ED HOLMES & ASSOCIATES LAND SURVEYORS, PA  
200 RIDGEFIELD COURT, SUITE 215  
ASHEVILLE, NC 28806  
CONTACT: ROBERT C. BROWN, PLS  
(828)225-6562

**PROJECT DATA**

FIN: 9684-48-2498  
ADDRESS: WILLIAMS ROAD, FLETCHER, NC  
DEED BOOK/PAGE: 4586/0742  
SITE ACREAGE: 16.52 ACRES  
ZONING: R-2 (BUNCOMBE COUNTY)  
TOWNSHIP: LIMESTONE

**SETBACKS:**  
FRONT: 10'  
SIDES: 7'  
REAR: 15'

DISTURBED AREA: 4.05 AC

**DENSITY:**  
MAXIMUM NUMBER OF DWELLING UNITS PER ACRE = 12 (R-2)

**RESIDENTIAL UNITS**  
25 - SINGLE FAMILY LOTS

TOTAL PROPOSED DENSITY: 1.52 UNITS/ACRE

TOTAL AREA OF LOTS = 580,113 SQFT / 13.31 ACRES  
OWENBY ROAD ROW = 72,841 SQFT / 1.67 ACRES  
WILLIAMS ROAD ROW = 14,674 SQFT / 0.33 ACRES  
AREA OF BMP = 47,449 SQFT / 1.09 ACRES  
OPEN SPACE = 5,310 SQFT / 0.12 ACRES

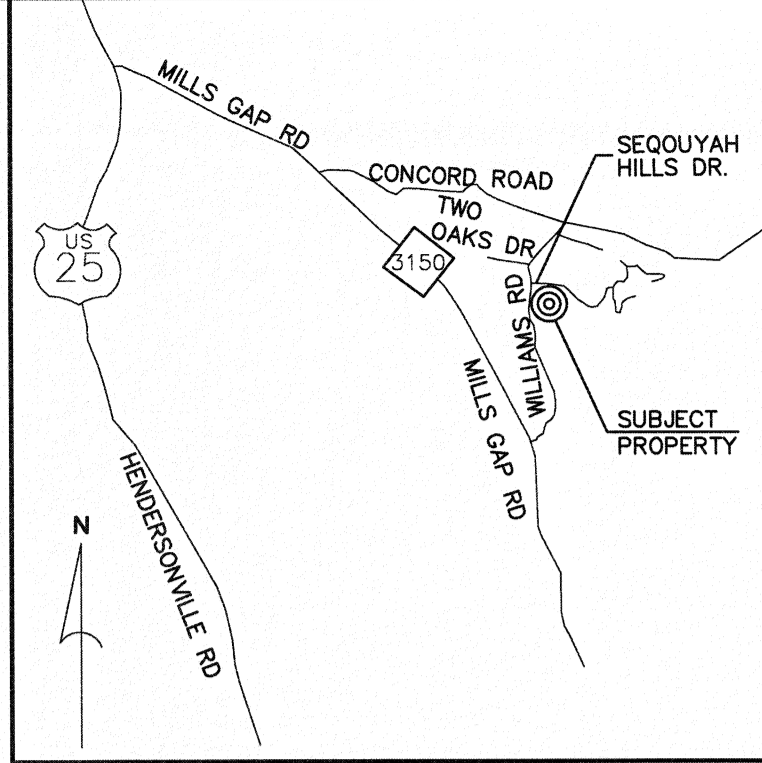
**ROADS:**

ROADS:	LENGTH (LINEAR FEET)
OWENBY ROAD	1,558
TOTAL ROADS	1,558 LF

NO ROAD CORRIDOR EXCEEDS 90 FEET OF VERTICAL CHANGE IN CUT AND FILL

**SOIL GROUP:** B

NOTE: CONTOUR INTERVALS ARE SHOWN ON 2 FT INTERVALS

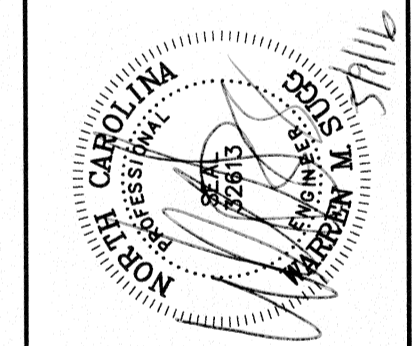


168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 482-4410  
FAX (828) 282-5388

52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 28786  
PHONE (828) 482-4410  
FAX (828) 482-5388

**CDC** Civil Design Concepts, PA  
www.civildesignconcepts.com  
NCBELTS LICENSE #: C-2184

NO.	DATE	DESCRIPTION	BY
1.	03/09/16	BOA INITIAL SUBMITTAL	RWW
2.	05/09/16	BOA CUP SUBMITTAL	JPS



STORM DRAINAGE PLAN FOR:

**COUNTRY WALK**

JACKSON RESIDENTIAL PARTNERS, LLC - BUNCOMBE, NORTH CAROLINA

**811**  
Know what's below.  
Call before you dig.

**NORTH**

**STORM DRAINAGE PLAN**

GRAPHIC SCALE

( IN FEET )  
1 inch = 60 ft.

DATE: 03/14/2016  
DRAWN BY: RWW  
CDC PROJECT NO.: 11601

SHEET

**C501**



**NOTES**

- SEE WATER DETAIL SHEETS FOR ALL GENERAL WATER NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL WATER PLANS.
- WATER METERS ARE TO BE PLACED MAXIMUM OF 5' OFF EDGE OF PAVEMENT/SIDEWALK. WHEN A UTILITY STRIP IS PRESENT, METERS SHALL BE INSTALLED WITHIN STRIP. WHEN SIDEWALK IS CONSTRUCTED AND NO STRIP IS AVAILABLE, SERVICE LINES CROSSING SIDEWALK SHALL BE CONSTRUCTED WITH PVC SLEEVE EXTENDING 6" ON EITHER SIDE OF SIDEWALK PER CITY OF ASHEVILLE STANDARDS AND SPECIFICATIONS.
- TYPICAL EASEMENTS FOR WATER LINES LOCATED OUTSIDE ESTABLISHED UTILITY EASEMENTS OR ROAD RIGHT-OF-WAYS SHALL BE A 20 FEET. THE ENTIRE WATER EASEMENT MUST BE CLEAR AND REMAINED CLEARED OF TREE PLANTINGS, EXISTING TREES, AND ANY PERMANENT STRUCTURES.

**DEVELOPMENT DATA**

**OWNER/DEVELOPER:** JACKSON RESIDENTIAL PARTNERS, LLC  
P.O. BOX 1157  
ARDEN, NC 28704  
**CONTACT:** KEN JACKSON  
(828)684-8800

**CIVIL ENGINEER:** CIVIL DESIGN CONCEPTS, P.A.  
168 PATTON AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
**CONTACT:** WARREN SUGG, P.E.  
(828) 252-5388

**SURVEYOR:** ED HOLMES & ASSOCIATES LAND SURVEYORS, PA  
200 RIDGEFIELD COURT, SUITE 215  
ASHEVILLE, NC 28806  
**CONTACT:** ROBERT C. BROWN, PLS  
(828)225-6562

**PROJECT DATA**

**FIN:** 9664-48-2498  
**ADDRESS:** WILLIAMS ROAD, FLETCHER, NC  
**DEED BOOK/PAGE:** 4586/0742  
**SITE ACREAGE:** 16.52 ACRES  
**ZONING:** R-2 (BUNCOMBE COUNTY)  
**TOWNSHIP:** LIMESTONE

**SETBACKS:**  
**FRONT:** 10'  
**SIDES:** 7'  
**REAR:** 15'

**DISTURBED AREA:** 4.05 AC

**DENSITY:**  
MAXIMUM NUMBER OF DWELLING UNITS PER ACRE = 12 (R-2)

**RESIDENTIAL UNITS:**  
25 - SINGLE FAMILY LOTS

**TOTAL PROPOSED DENSITY:** 1.52 UNITS/ACRE

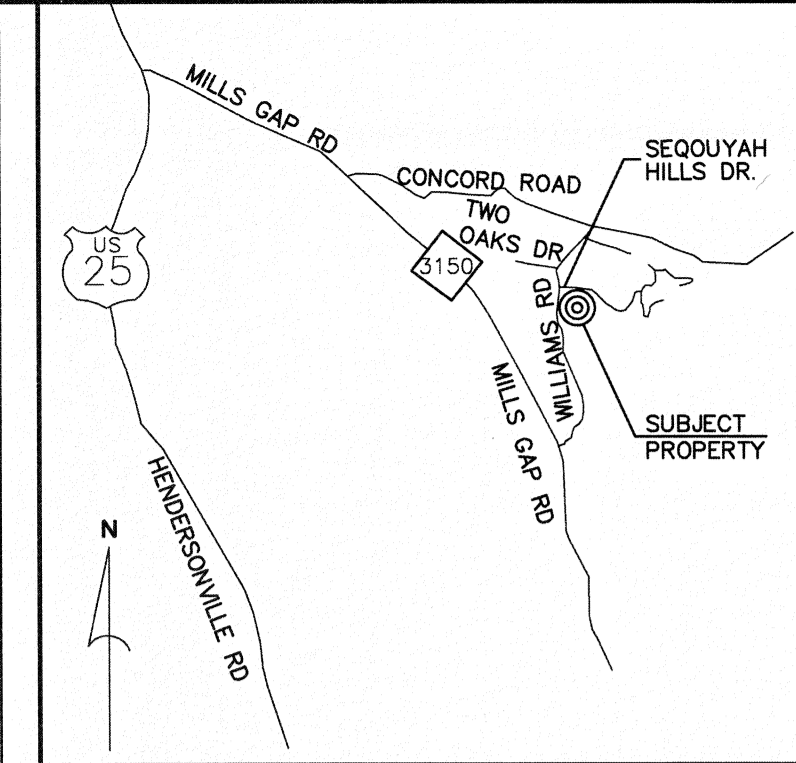
**TOTAL AREA OF LOTS =** 580,113 SQFT/ 13.31 ACRES  
**OWENBY ROAD ROW =** 72,641 SQFT/ 1.67 ACRES  
**WILLIAMS ROAD ROW =** 14,674 SQFT/ 0.33 ACRES  
**AREA OF BMP =** 47,449 SQFT/ 1.09 ACRES  
**OPEN SPACE =** 5,310 SQFT/ 0.12 ACRES

**ROADS:** **LENGTH (LINEAR FEET)**  
OWENBY ROAD 1,558  
**TOTAL ROADS =** 1,558 LF

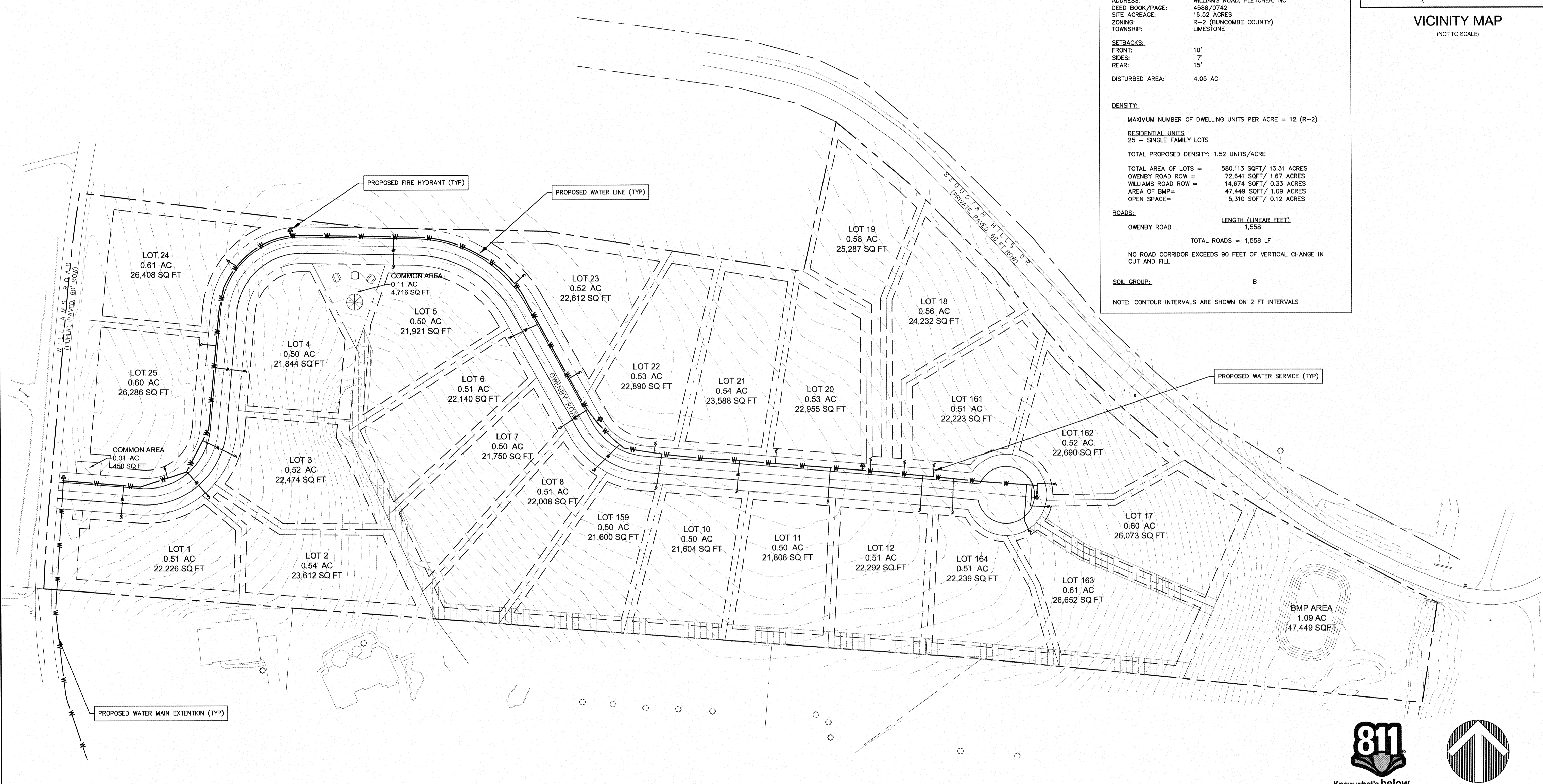
**NO ROAD CORRIDOR EXCEEDS 90 FEET OF VERTICAL CHANGE IN CUT AND FILL**

**SOIL GROUP:** B

**NOTE:** CONTOUR INTERVALS ARE SHOWN ON 2 FT INTERVALS



**VICINITY MAP**  
(NOT TO SCALE)



168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 252-5388  
FAX (828) 252-5386

52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 28786  
PHONE (828) 252-5388  
FAX (828) 498-5435

**CDC** Civil Design Concepts, PA  
www.civildesignconcepts.com  
NCBELS LICENSE #: C-2164

NO.	DATE	DESCRIPTION	BY
1.	03/09/16	BOA INITIAL SUBMITTAL	RWW
2.	05/09/16	BOA CUP SUBMITTAL	RWW

WATER PLAN FOR: **COUNTRY WALK**

JACKSON RESIDENTIAL PARTNERS, LLC - BUNCOMBE, NORTH CAROLINA

**811** Know what's below. Call before you dig.

**NORTH**

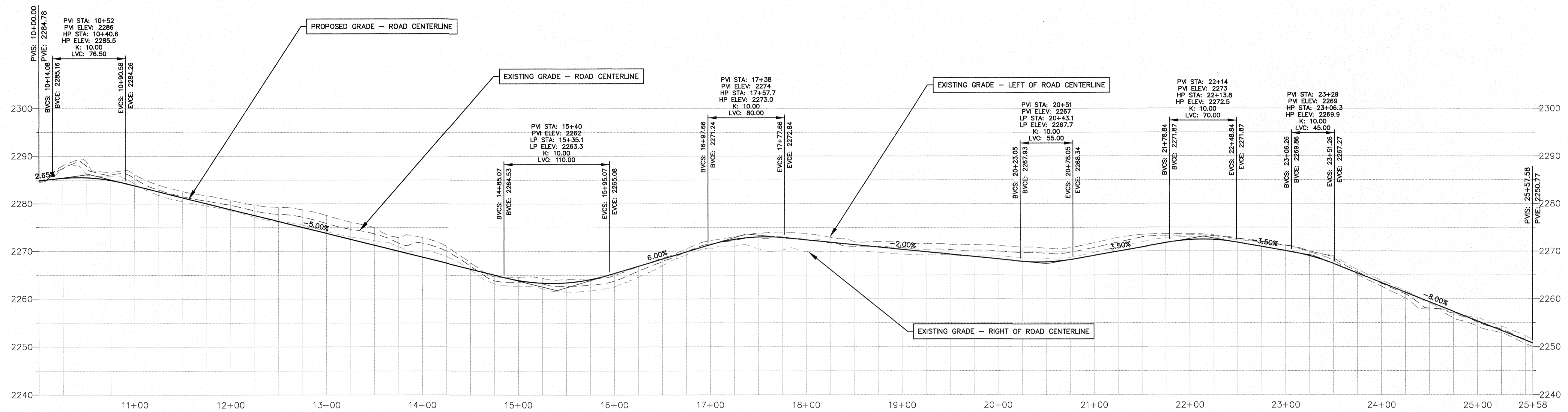
**WATER PLAN**

**GRAPHIC SCALE**

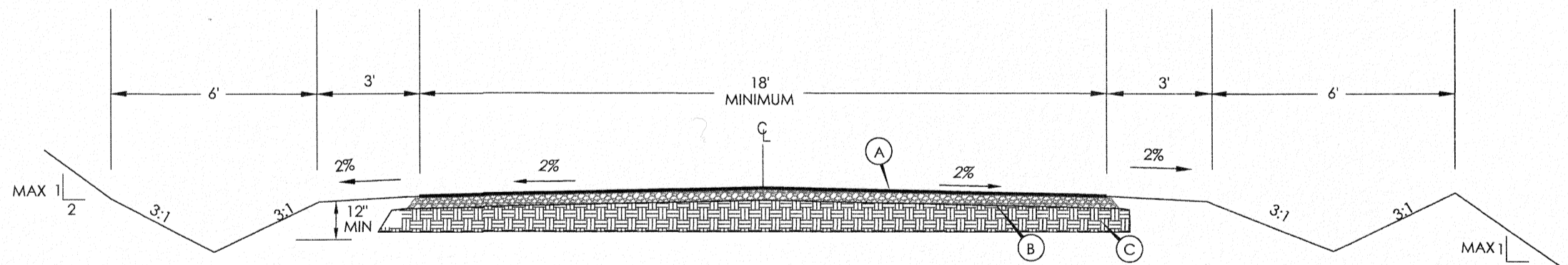
( IN FEET )  
1 inch = 80 ft.

DATE: 03/14/2016  
DRAWN BY: RWW  
CDC PROJECT NO.: 11601  
SHEET  
**C601**





OWENBY ROAD



- NOTE:
1. GEOTECHNICAL ENGINEER TO APPROVE PROPOSED ROAD CROSS SECTION STONE DEPTH PRIOR TO CONSTRUCTION IN ACCORDANCE WITH NCDOT SUBDIVISION STANDARDS; STONE DEPTH CAN REDUCE TO 6" WITH GEOTECHNICAL ENGINEER LETTER OF APPROVAL AND MEETS NCDOT SPECS)
  2. MINIMUM 8" COMPACTED SUBGRADE TO BE COMPACTED TO MINIMUM OF 98% STANDARD PROCTOR.
  3. ABC STONE TO BE COMPACTED TO MINIMUM 100% STANDARD PROCTOR.
  4. NO ROAD EXCEEDS 90 FEET OF VERTICAL CHANGE IN CUT AND FILL

- PAVEMENT SCHEDULE
- A 2" SF 9.5 B ASPHALT SURFACE COURSE
  - B 8" CRUSHED AGGREGATE BASE COURSE (CABC)
  - C COMPACTED SUBGRADE

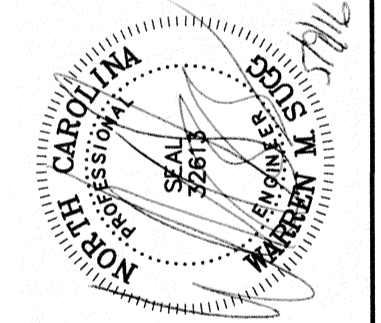
TYPICAL ROADWAY CROSS-SECTION  
NOT TO SCALE

ROAD PROFILES FOR  
**COUNTRY WALK**  
DATE: 03/14/2016  
DRAWN BY: RWW  
CDC PROJECT NO.: 11601  
SHEET

188 FAYTON AVENUE  
ASHEVILLE, NC 28901  
PHONE (828) 252-5888  
FAX (828) 252-5885



NO.	DATE	DESCRIPTION	BY
1.	03/08/16	BOA INITIAL SUBMITTAL	RWW
2.	05/09/16	BOA CUP SUBMITTAL	APS



ROAD PROFILES FOR  
**COUNTRY WALK**  
DATE: 03/14/2016  
DRAWN BY: RWW  
CDC PROJECT NO.: 11601  
SHEET

**C801**



# ATTACHMENT B

Buncombe County Planning Board Meeting  
Recommended Staff Conditions  
June 20, 2016  
**SUB2016-00108**  
Country Walk

If approved by the Buncombe County Planning Board, the applicant shall provide the following information on a revised set of plans (if necessary) submitted to the Buncombe County Department of Planning and Development:

1. Provide proof of approval of system design for City of Asheville water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
2. Provide proof of approval of E-911 addressing
3. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
4. Provide a written statement from the Buncombe County Stormwater Administrator stating that a Stormwater Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.*
5. Provide FEMA flood plain information on the submitted plat.
6. Indicate individual driveways on the submitted plat
7. Indicate no base course shall be placed on muck, pipe clay, organic matter or other unsuitable matter.

SUB2016-00219  
SUBMITTED 5/20/2016

# Site Development Plan For The Preserve at Avery's Creek

Approved with the following conditions at the 6/20/2016 Planning Board Meeting:

1. Provide proof of approval of system design for City of Asheville water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
2. Provide proof of approval of system design for MSD sewer lines. Proof of acceptance of the sewer lines into the MSD sewer system will be required prior to recordation of a final plat or release of a financial guarantee.
3. Provide proof of approval of E-911 addressing
4. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
5. Provide a written statement from the Buncombe County Stormwater Administrator stating that a Stormwater Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.*
6. Provide FEMA flood plain information on the submitted plat.
7. Indicate existing use of land within and adjacent to subdivision.
8. Provide NCDOT driveway permit.
9. Provide a public road maintenance plan.
10. Indicate on plans that the shared driveway is less than 20% grade.
11. Provide proof of Army Corps of Engineers approval if development occurs within wetlands.
12. Provide proof of approval of subdivision road design by NCDOT. Certification that roads are built to Buncombe County Subdivision Ordinance standards shall be required prior to recordation of the final plat. NCDOT shall review and sign off on final plat.

## BUNCOMBE COUNTY, NORTH CAROLINA

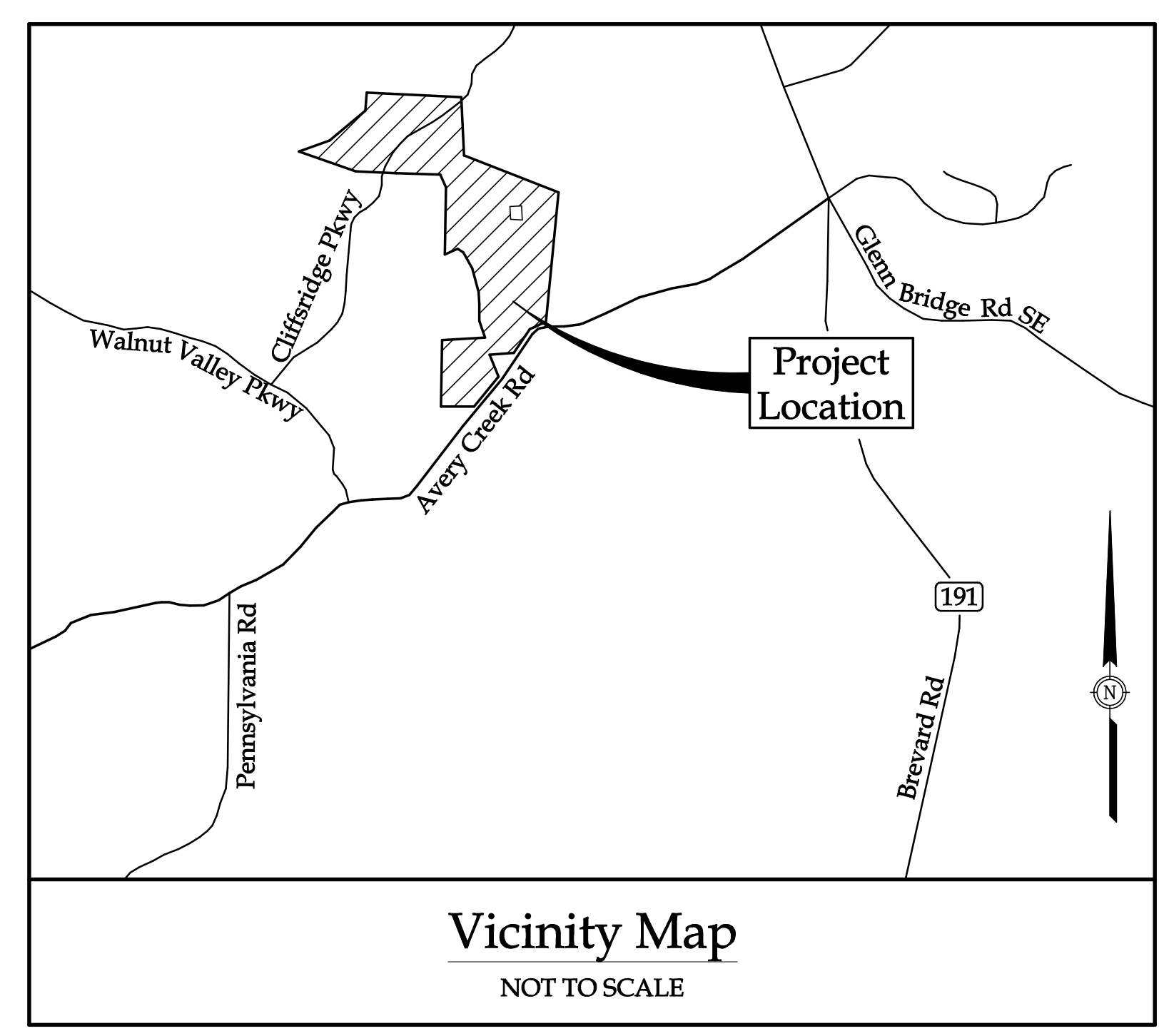
Owner/Developer: Avery's Creek LLC

Contact: Matt King  
828.242.0087  
23 Hyde Park Place  
Arden, NC 28704

PIN: 9634-14-6580  
9634-23-4768

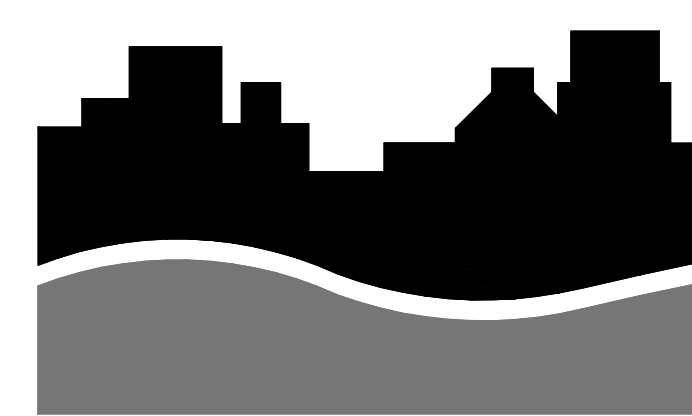
COA WPFY#: 15-16-036

MSD Project#: x



### Index of Drawings

G1. Cover Sheet	C22. Water Profiles
C1. Overall Existing Conditions	C23. Water Profiles
C2. Existing Conditions	C24. Water Profiles
C3. Existing Conditions	C25. Sewer Profiles
C4. Existing Conditions	C26. Sewer Profiles
C5. Existing Conditions	C27. Sewer Profiles
C6. Overall Layout	C27. Sewer Profiles
C7. Layout	D1. Details
C8. Layout	D2. Details
C9. Layout	D3. Details
C10. Overall Grading, Storm Water, and Erosion Control	D4. Details
C11. Grading, Storm Water, and Erosion Control	D5. Details
C12. Grading, Storm Water, and Erosion Control	D6. Details
C13. Grading, Storm Water, and Erosion Control	D7. Details
C14. Overall Utilities	D8. Details
C15. Utilities	D9. Details
C16. Utilities	D10. Details
C17. Utilities	D11. Details
C18. Utilities	D12. Details
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C20. Road Profiles	
C21. Water Profiles	



**Davis CivilSolutions, PA**  
Site/Infrastructure • Engineering/Planning  
134-A Charlotte Highway • Asheville, North Carolina 28803  
828.299.9449 PH • www.daviscivilsolutions.com

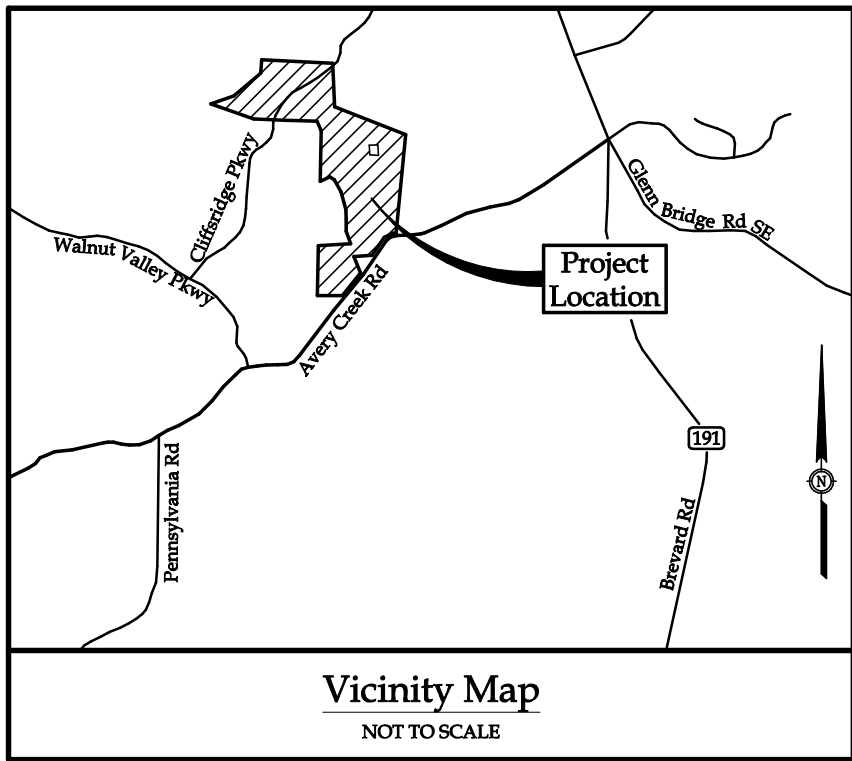
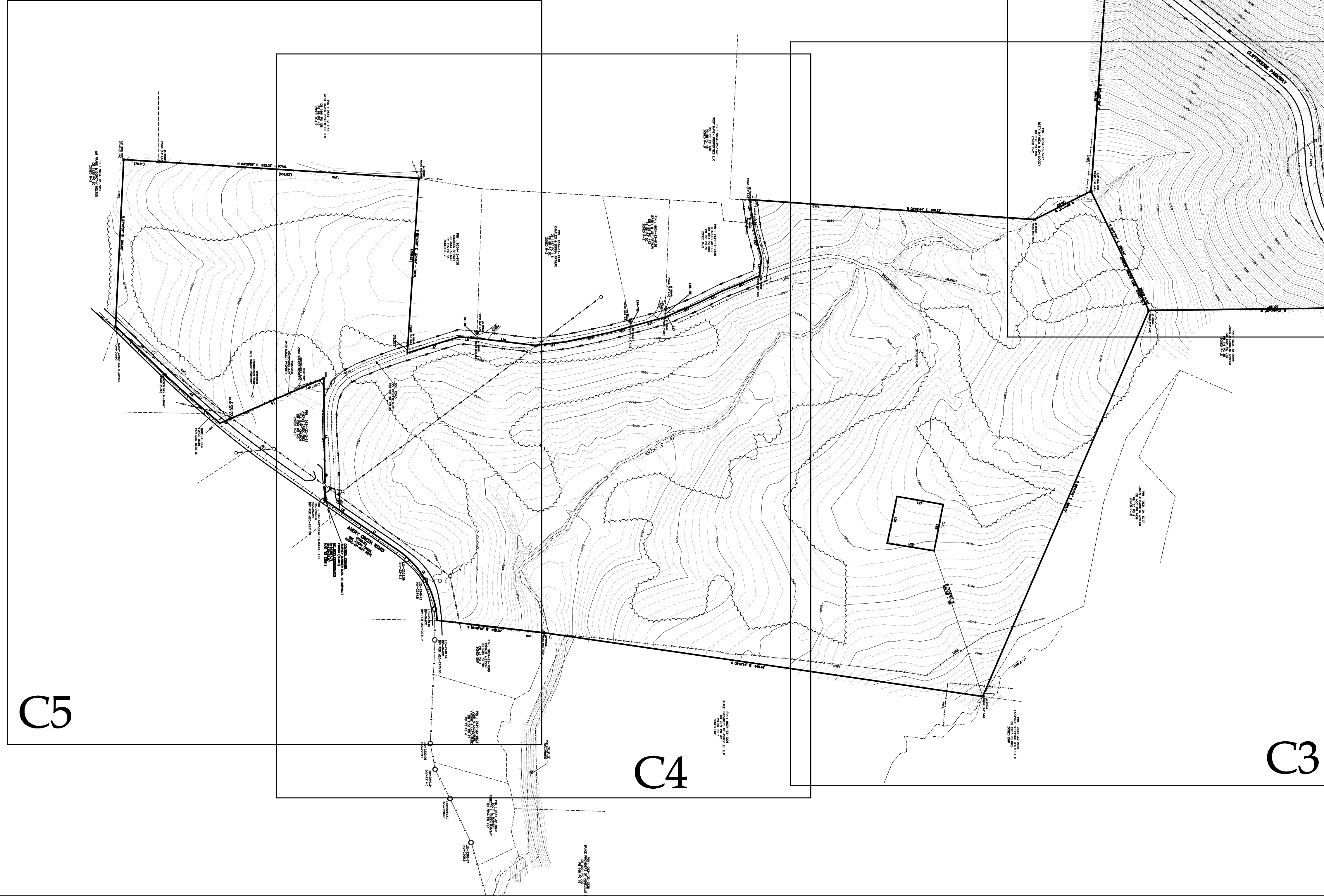
Preliminary  
SEAL  
12296  
For Review

April 15, 2016

Revision	Date	Description

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COPYRIGHT 2016 DAVIS CIVILSOLUTIONS, P.A. ALL RIGHTS RESERVED





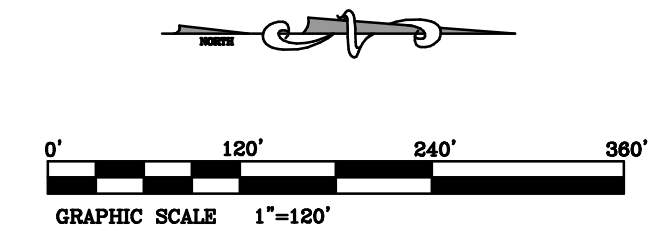
DEVELOPMENT DATA BLOCK	
OWNER/DEVELOPER:	AVERYS CREEK, LLC
CONTACT:	MATT KING
PHONE:	828.242.0087
ADDRESS:	23 HYDE PARK PLACE, ARDEN, NC 28704
PIN:	9634446580, 23-4768
PHYSICAL ADDRESS:	AVERY CREEK ROAD ARDEN, NC 28704
PROPERTY SIZE:	52.29 (TOTAL)
ZONING DISTRICT:	R-2, R-LD
SETBACKS:	10' FRONT, 15' REAR, 7' SIDES (R-2) 10' FRONT, 20' REAR, 10' SIDES (R-LD)

C2

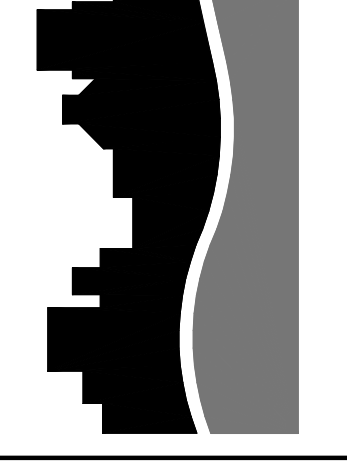
C5

C4

C3



**Davis CivilSolutions, PA**  
 Site/Infrastructure • Engineering/Planning  
 134-A Charlotte Highway • Asheville, North Carolina 28803  
 828.259.9449 FH • www.daviscivilsolutions.com



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**Preliminary**  
 For Review  
 PROFESSIONAL SEAL  
 12296  
 DEAN

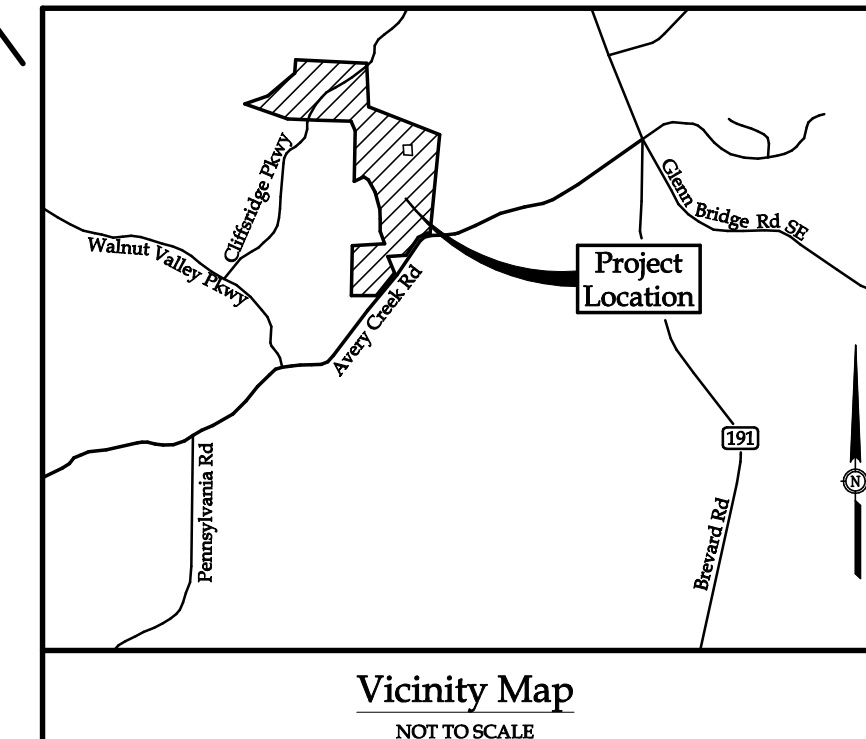
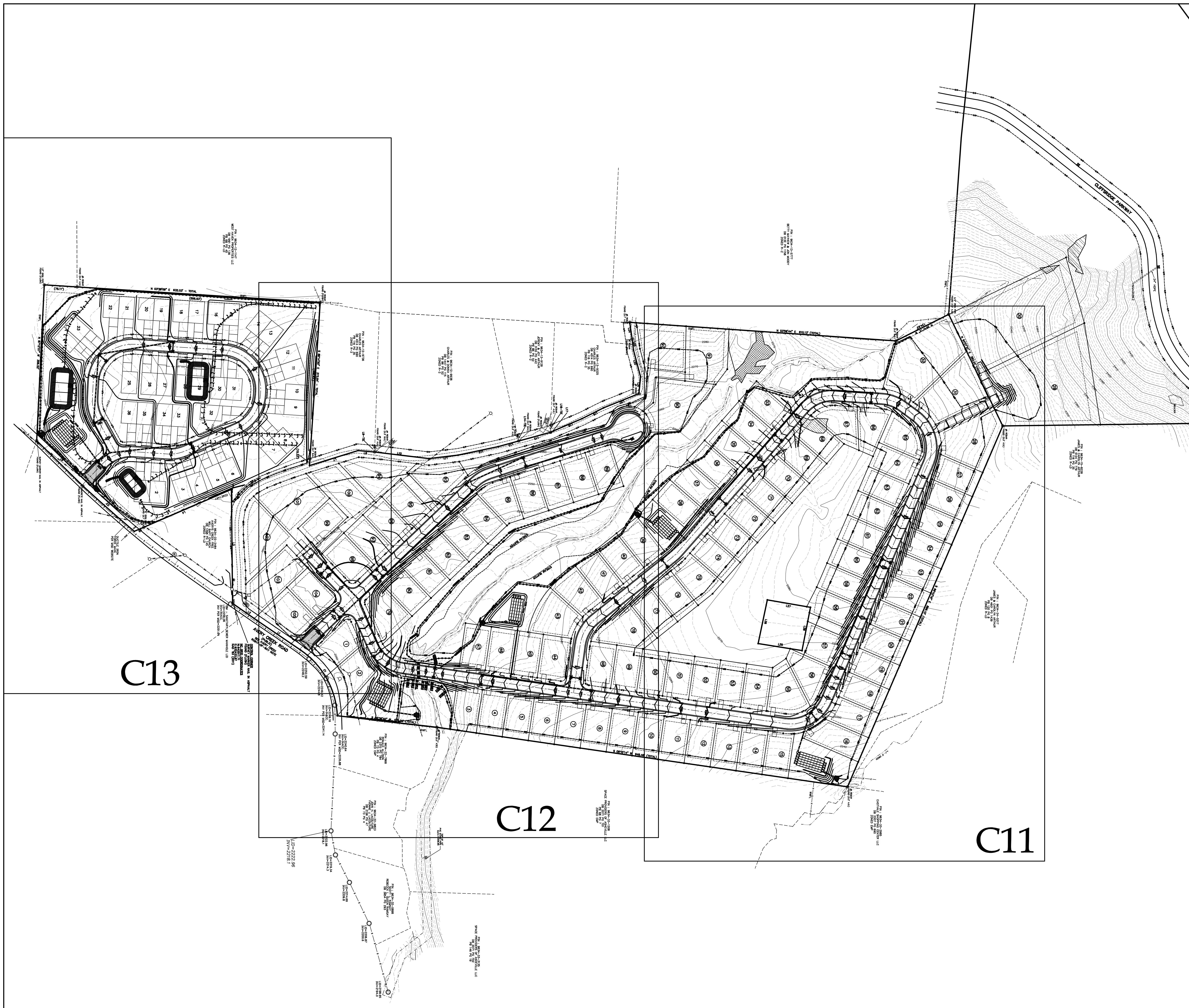
Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

Job No.: 151778  
 Date: 11/15/2016  
 Scale: 1"=100'  
 Revision:

Overall  
 Existing Conditions

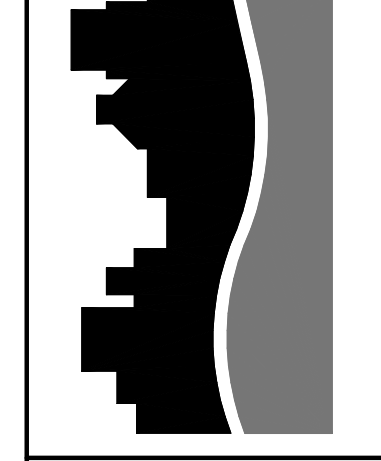
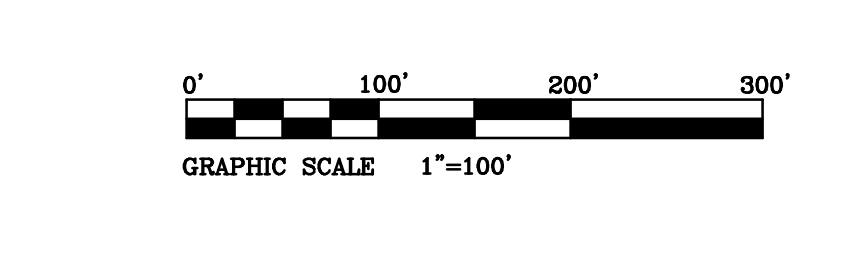
Sheet  
**C1**





DEVELOPMENT DATA BLOCK	
OWNER/DEVELOPER:	AVERY'S CREEK, LLC
CONTACT:	MATT KING
PHONE:	828.242.0087
ADDRESS:	23 HYDE PARK PLACE, ARDEN, NC 28704
PIN:	963446580, 23-4768
PHYSICAL ADDRESS:	AVERY CREEK ROAD ARDEN, NC 28704
PROPERTY SIZE:	52.06 AC, 0.23 AC - 52.29 (TOTAL)
ZONING DISTRICT:	R-2, R-LD
SETBACKS:	10' FRONT, 15' REAR, 7' SIDES (R-2) 10' FRONT, 20' REAR, 10' SIDES (R-LD)
# OF LOTS/SUITS:	SINGLE-FAMILY DETACHED = 105 SINGLE-FAMILY ATTACHED = 36 TOTAL = 141
IMPERVIOUS AND PERVIOUS AREAS:	<p>PRE DEVELOPMENT:</p> <p>IMPERVIOUS AREA = 14,941.05 SQ. FT. (0.34 AC) % SITE IMPERVIOUS = 0.66%</p> <p>PERVIOUS AREA = 2,262,818.35 SQ. FT. (51.95 AC) % SITE PERVIOUS = 99.34%</p> <p>POST DEVELOPMENT:</p> <p>IMPERVIOUS AREA = 43,438.77 SQ. FT. (9.90 AC) % SITE IMPERVIOUS = 18.94%</p> <p>PERVIOUS AREA = 18,46,333.63 SQ. FT. (42.38 AC) % SITE PERVIOUS = 80.06%</p> <p>INCREASE/DECREASE:</p> <p>INCREASE AREAS = 416,497.72 SQ. FT. (9.56 AC) % INCREASE = 18.28%</p>
LAND DISTURBANCE:	1,026,552.26 SQ. FT. (23.55 AC)
SOIL TYPES:	3.0% CkB2, 9.5% ChC2, 1.1% ChD2, 7.7% CkB, 2.6% CcC, 23.2% CcD, 0.2% Ede, 7.7% EwD, 23.2% EwE
VOLUMES:	<p>SUBDIVISION SECTION: FILL: 13,444.2 CU. YD. CUT: 12,106.08 CU. YD.</p> <p>DUPLEX SECTION: FILL: 6,195.60 CU. YD. CUT: 34,073.48 CU. YD.</p> <p>TOTAL: FILL: 19,339.72 CU. YD. CUT: 46,179.56 CU. YD.</p>
<p>THESE NUMBERS ARE RAW NUMBERS AND ARE PROVIDED ONLY FOR THE GENERAL ESTIMATION OF THE MAGNITUDE OF THE PROJECT. THEY DO NOT TAKE INTO ACCOUNT REMOVAL OF TOPSOIL, UNSUITABLE SOILS, ROCK, DEBRIS, ETC. NOR DO THEY TAKE INTO ACCOUNT PROPER COMPACTION OF FILL MATERIAL. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES BASED ON THE INFORMATION PROVIDED. THE VOLUMES LISTED SHALL NOT BE CONSIDERED ACTUAL ESTIMATED FOR THE WORK OF THE PROJECT.</p>	

NOTES:  
 SURROUNDING PROPERTIES ZONED R-2, R-LD, EMP.  
 PROPOSED SUBDIVISION IS NOT A DRASTIC HILLSIDE VARIATION DEVELOPMENT.  
 ROAD CONSTRUCTION IN AREAS OF SLOPE EXCEEDING 30% DO NOT EXIST. AREAS DESIGNATED AS HIGH AND MODERATE HAZARD EXIST ON SITE, LOCATED ON NORTHERN PARCEL (TRACT 1).  
 SUBDIVISION ROADS ARE CONTAINED WITHIN CORRIDORS THAT ARE LESS THAN 90 FEET IN WIDTH FOR THE ENTIRE LENGTH OF ALL PROPOSED ROADWAYS. MAXIMUM CORRIDOR LENGTH IS APPROX. 68'. NO AREAS WITHIN CORRIDORS EXCEED 60 FEET IN HEIGHT. MAXIMUM CORRIDOR HEIGHT IS APPROX. 10'.  
 NO LOT SLOPES PERPENDICULAR TO THE PROPOSED ROADWAY WITHIN THE PROPOSED SUBDIVISION EXCEED 15%.  
 NO BASE COURSE SHALL BE PLACED ON MUCK, PIPE CLAY, ORGANIC MATTER, OR OTHER UNSUITABLE MATTER.  
 PROPOSED SUBDIVISION IS LOCATED IN THE AVERY CREEK TOWNSHIP.



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**Preliminary**  
 For Review

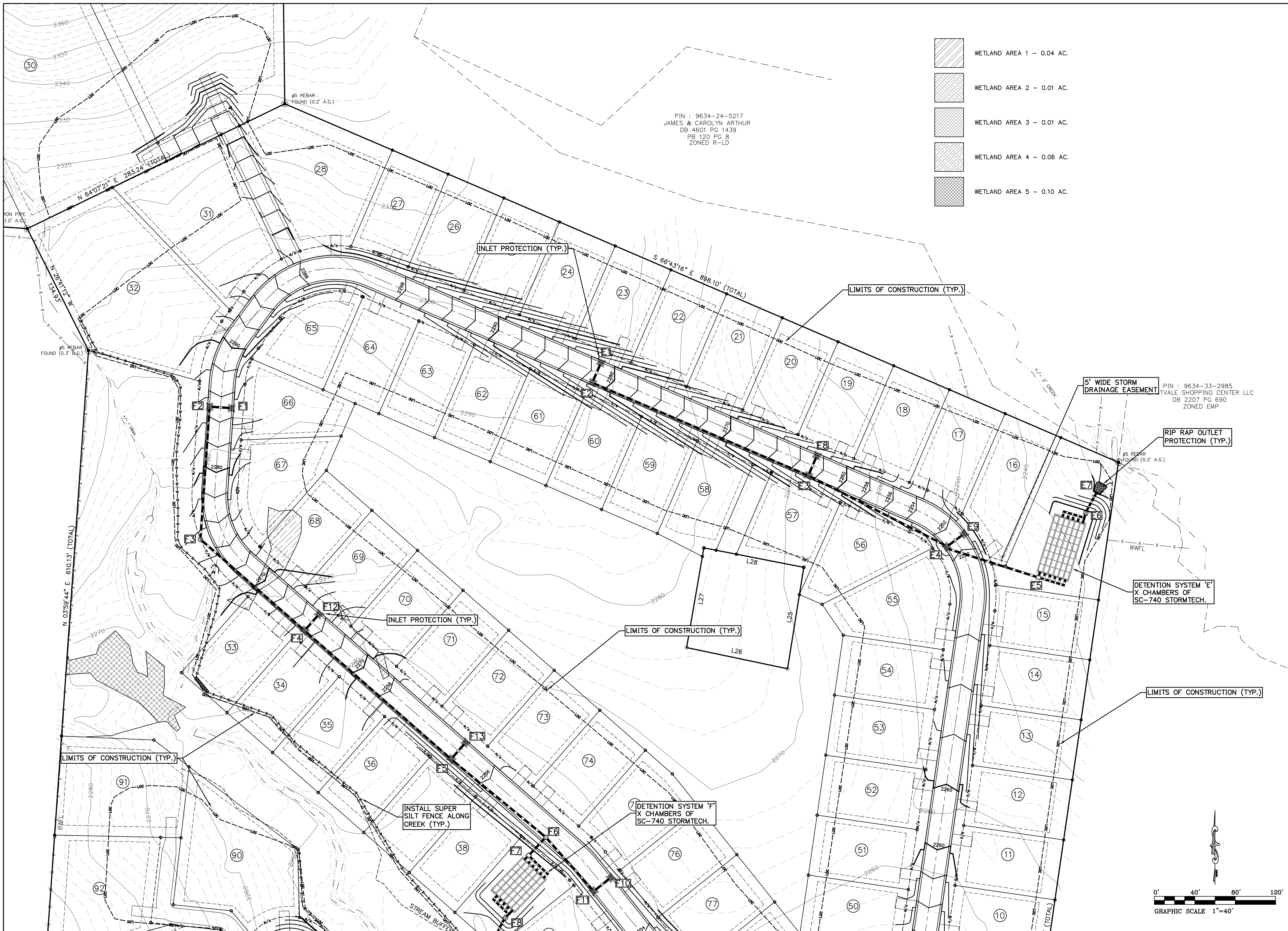
Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA



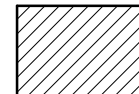
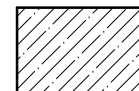
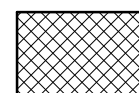
Job No.: 151778  
 Date: 11/15/2016  
 Scale: 1"=100'  
 Revision:

Overall Grading,  
 Storm Water,  
 Erosion Control

Sheet  
**C10**



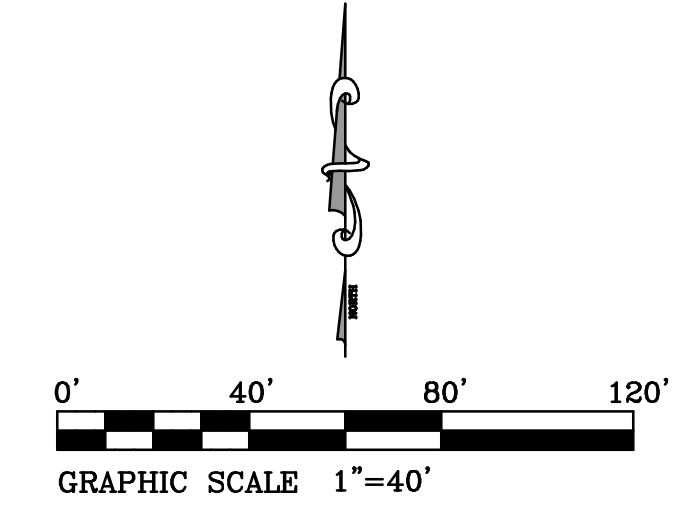


-  WETLAND AREA 1 - 0.04 AC.
-  WETLAND AREA 2 - 0.01 AC.
-  WETLAND AREA 3 - 0.01 AC.
-  WETLAND AREA 4 - 0.06 AC.
-  WETLAND AREA 5 - 0.10 AC.

PIN : 9634-24-5217  
 JAMES & CAROLYN ARTHUR  
 DB 4601 PG 1439  
 PB 120 PG 8  
 ZONED R-LD

PIN : 9634-33-2985  
 TVALE SHOPPING CENTER LLC  
 DB 2207 PG 690  
 ZONED EMP

15th No. 151778  
 Date: 11/15/2016  
 Scale: 1"=40'  
 Revision:



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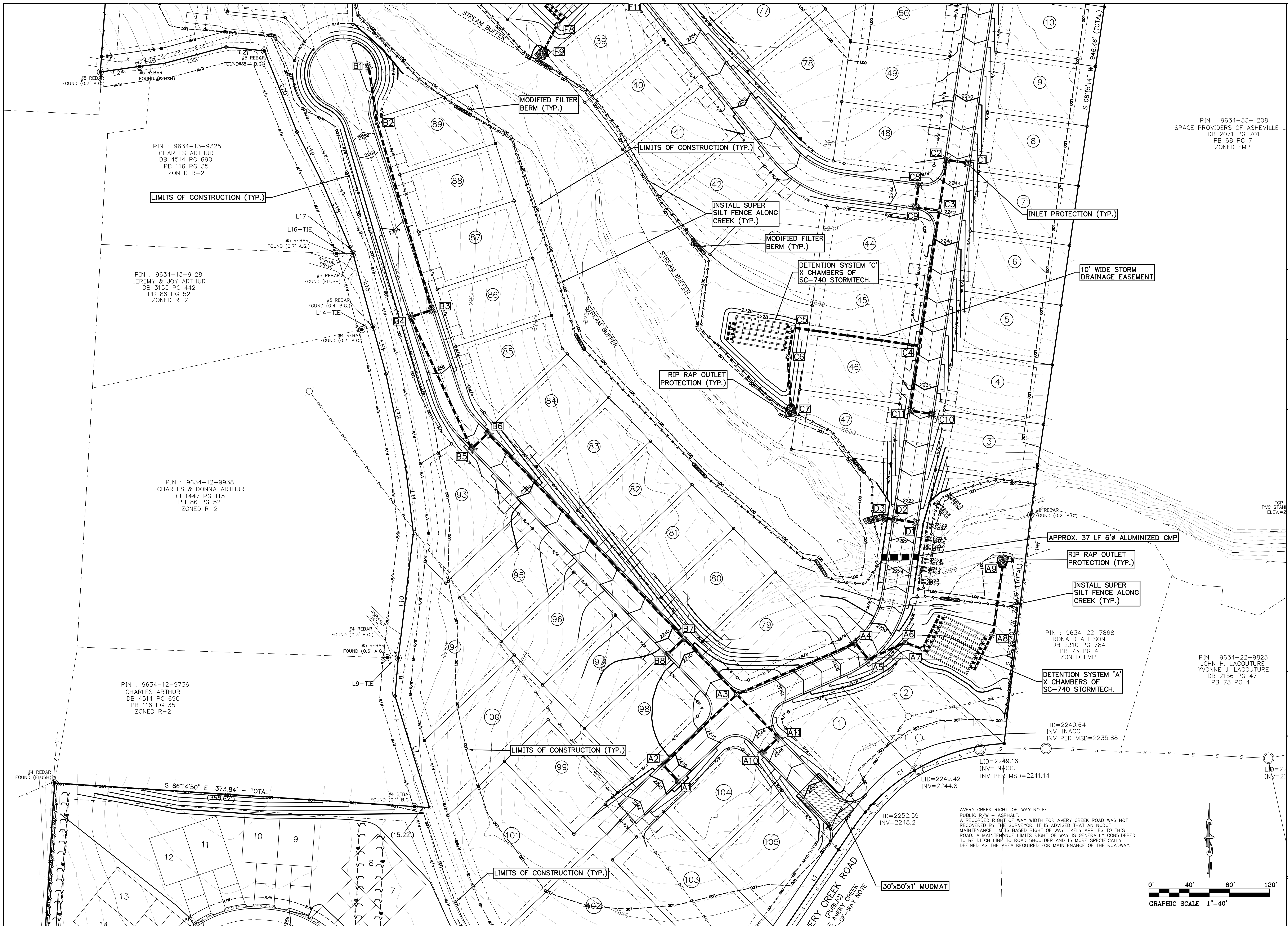
**Preliminary**  
 For Review

Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

Grading, Storm Water  
 and  
 Erosion Control

Sheet  
**C11**





PIN : 9634-13-9325  
 CHARLES ARTHUR  
 DB 4514 PG 690  
 PB 116 PG 35  
 ZONED R-2

PIN : 9634-13-9128  
 JEREMY & JOY ARTHUR  
 DB 3155 PG 442  
 PB 86 PG 52  
 ZONED R-2

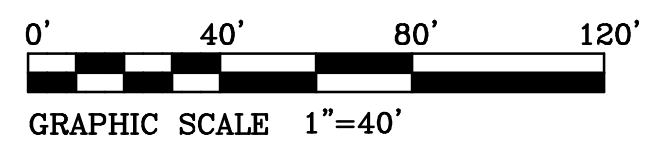
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 CHARLES & DONNA ARTHUR  
 DB 1447 PG 115  
 PB 86 PG 52  
 ZONED R-2

PIN : 9634-12-9736  
 CHARLES ARTHUR  
 DB 4514 PG 690  
 PB 116 PG 35  
 ZONED R-2

PIN : 9634-22-7868  
 RONALD ALLISON  
 DB 2310 PG 784  
 PB 73 PG 4  
 ZONED EMP

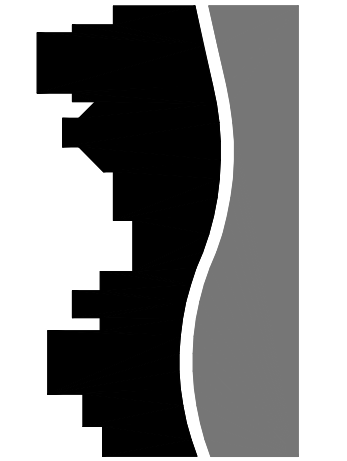
PIN : 9634-22-9823  
 JOHN H. LACOUTURE  
 YVONNE J. LACOUTURE  
 DB 2156 PG 47  
 PB 73 PG 4

AVERY CREEK RIGHT-OF-WAY NOTE:  
 PUBLIC R/W = ASPHALT.  
 A RECORDED RIGHT OF WAY WIDTH FOR AVERY CREEK ROAD WAS NOT  
 RECOVERED BY THE SURVEYOR. IT IS ADVISED THAT AN NCDOT  
 MAINTENANCE LIMITS BASED RIGHT OF WAY LIKELY APPLIES TO THIS  
 ROAD. A MAINTENANCE LIMITS RIGHT OF WAY IS GENERALLY CONSIDERED  
 TO BE DITCH LINE TO ROAD SHOULDER AND IS MORE SPECIFICALLY  
 DEFINED AS THE AREA REQUIRED FOR MAINTENANCE OF THE ROADWAY.



PIN : 9634-33-1208  
 SPACE PROVIDERS OF ASHEVILLE  
 DB 2071 PG 701  
 PB 68 PG 7  
 ZONED EMP

**Davis Civil Solutions, PA**  
 Site/Infrastructure • Engineering/Planning  
 134-A Charlotte Highway • Asheville, North Carolina 28803  
 828.259.9449 FH • www.daviscivilsolutions.com



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**Preliminary**  
 For Review

Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

15778  
 Date: 11/15/2016  
 Scale: 1"=40'  
 Revision:

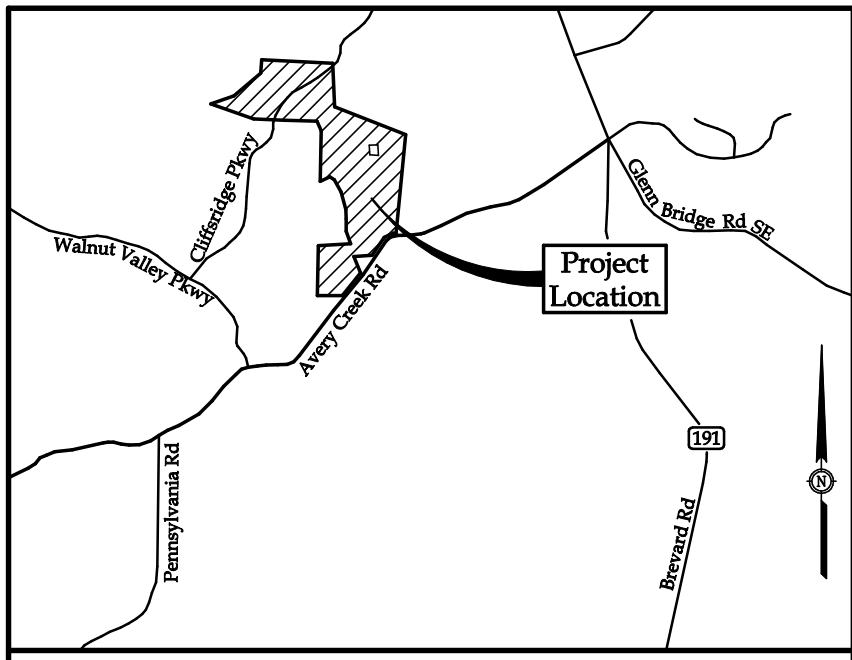
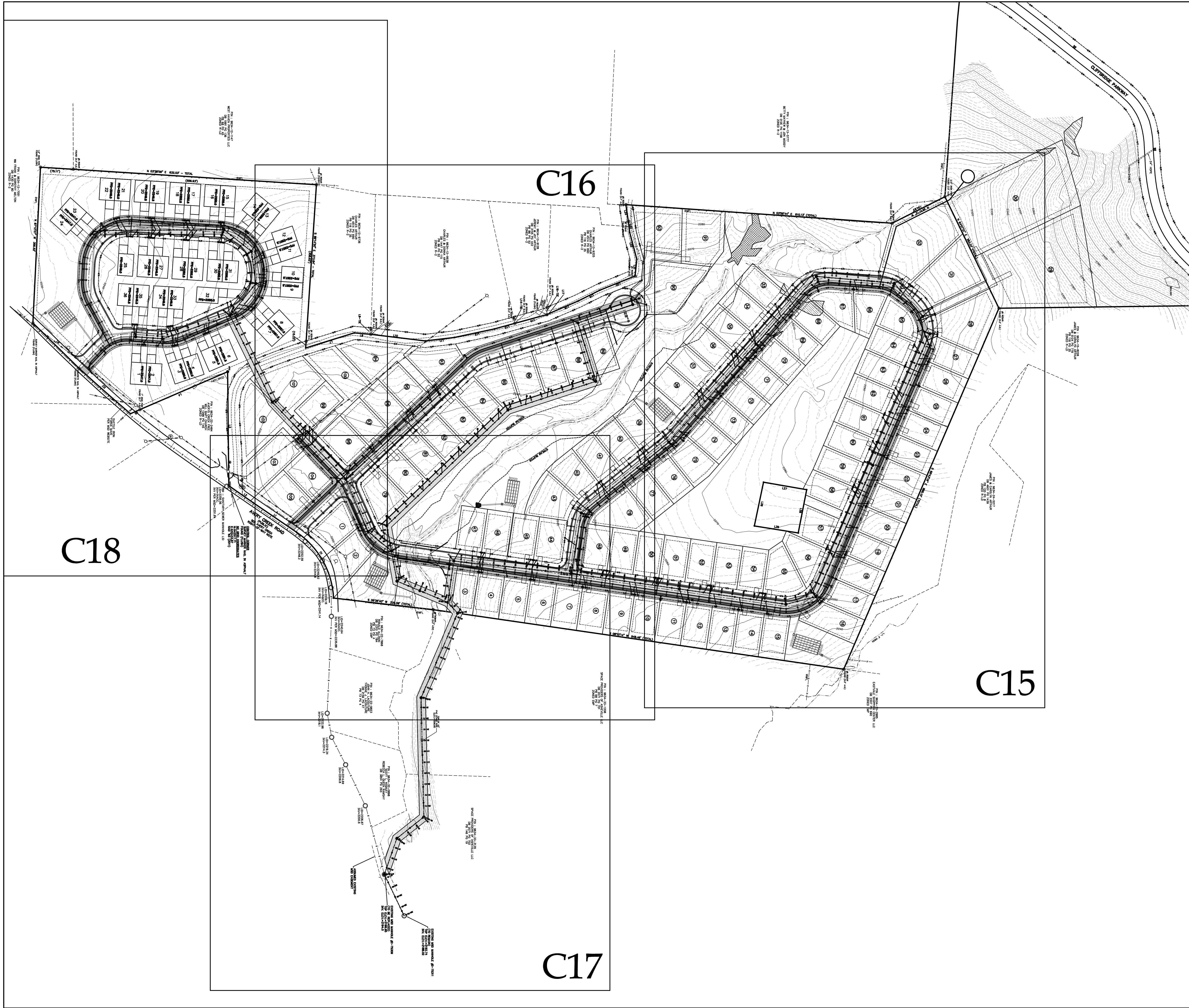
Grading, Storm Water  
 and  
 Erosion Control

Sheet  
**C12**









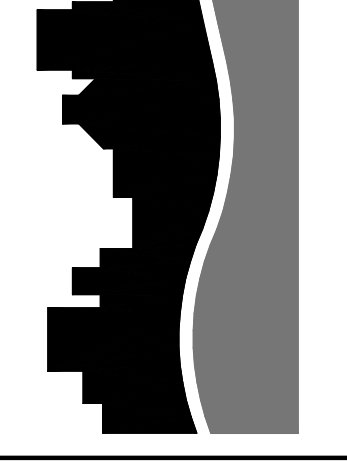
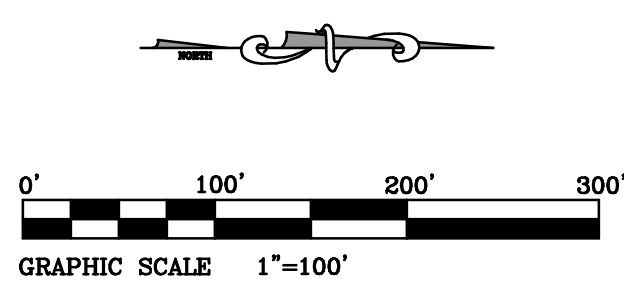
**Vicinity Map**  
NOT TO SCALE

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**DEVELOPMENT DATA BLOCK**

OWNER/DEVELOPER:	AVERY'S CREEK, LLC
CONTACT:	MATT KING
PHONE:	828.242.0087
ADDRESS:	23 HYDE PARK PLACE, ARDEN, NC 28704
PIN:	963446580, 23-4768
PHYSICAL ADDRESS:	AVERY CREEK ROAD ARDEN, NC 28704
PROPERTY SIZE:	52.06 AC, 0.23 AC - 52.29 (TOTAL)
ZONING DISTRICT:	R-2, R-LD
SETBACKS:	10' FRONT, 15' REAR, 7' SIDES (R-2) 10' FRONT, 20' REAR, 10' SIDES (R-LD)
# OF LOTS/SUITS:	
SINGLE-FAMILY DETACHED =	105
SINGLE-FAMILY ATTACHED =	36
TOTAL =	141

NOTES:  
SURROUNDING PROPERTIES ZONED R-2,  
R-LD, EMP.  
ALL LOTS SHOWN ON THIS SHEET ARE PROPOSED  
TO BE SERVED BY PUBLIC WATER AND SEWER.  
PROPOSED SUBDIVISION IS LOCATED IN THE  
AVERY CREEK TOWNSHIP.



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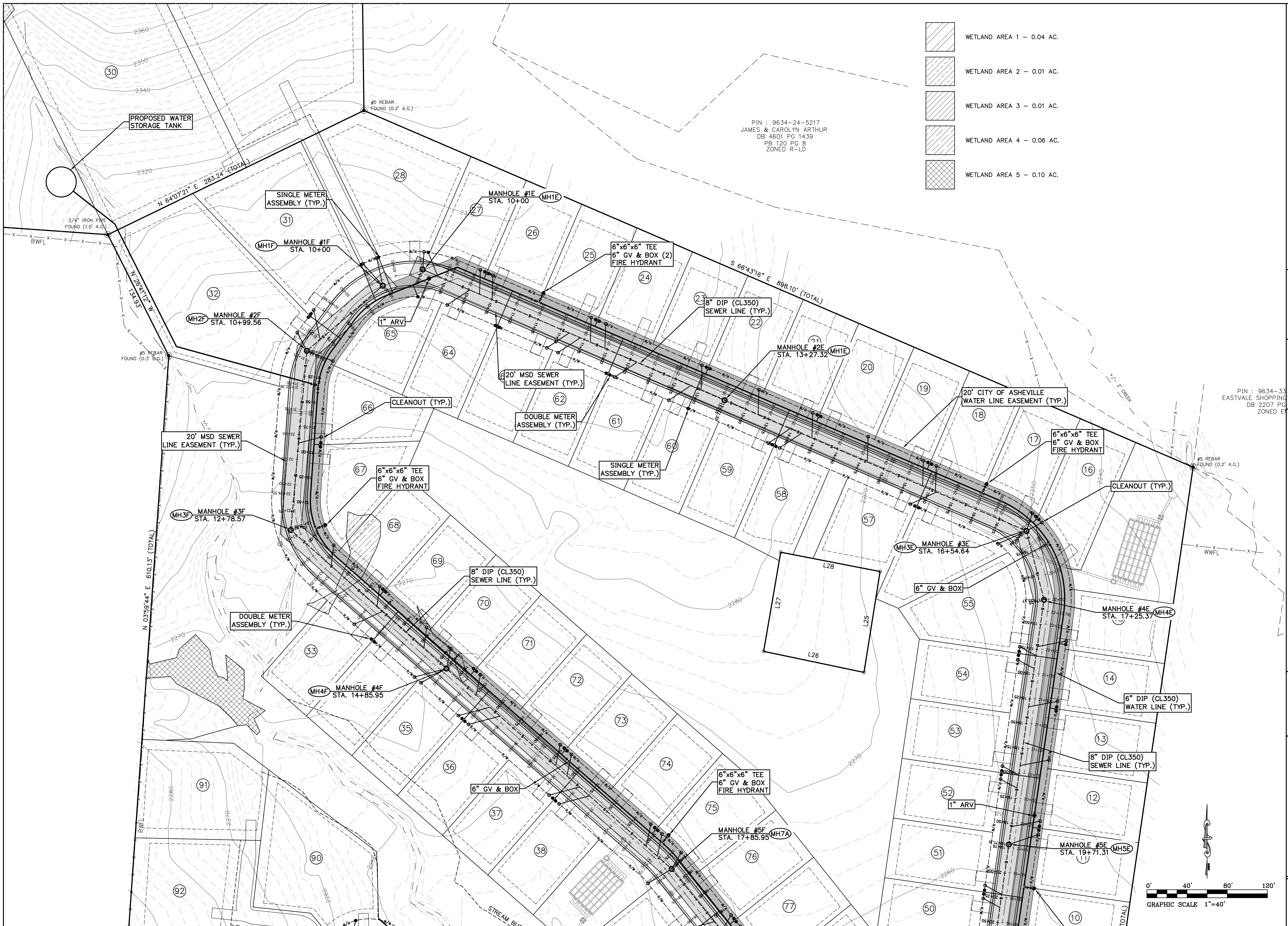
**Preliminary**  
For Review

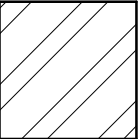
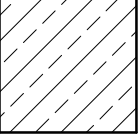
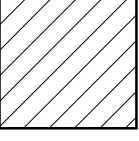
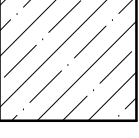
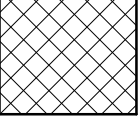
Site Development Plan For  
**The Preserve at Avery's Creek**  
BUNCOMBE COUNTY, NORTH CAROLINA

Job No.: 151778  
Date: 11/15/2016  
Scale: 1"=100'  
Revision:

**Overall Utilities**

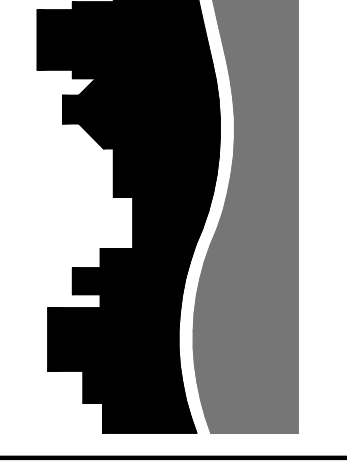




-  WETLAND AREA 1 - 0.04 AC.
-  WETLAND AREA 2 - 0.01 AC.
-  WETLAND AREA 3 - 0.01 AC.
-  WETLAND AREA 4 - 0.06 AC.
-  WETLAND AREA 5 - 0.10 AC.

PIN : 9634-24-5217  
 JAMES & CAROLYN ARTHUR  
 DB 4601 PG 1439  
 PB 120 PG 8  
 ZONED R-LD

PIN : 9634-33  
 EASTVALE SHOPPING  
 DB 2207 PG  
 ZONED E



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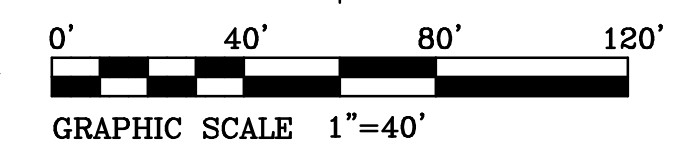
**Preliminary**  
 For Review

Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

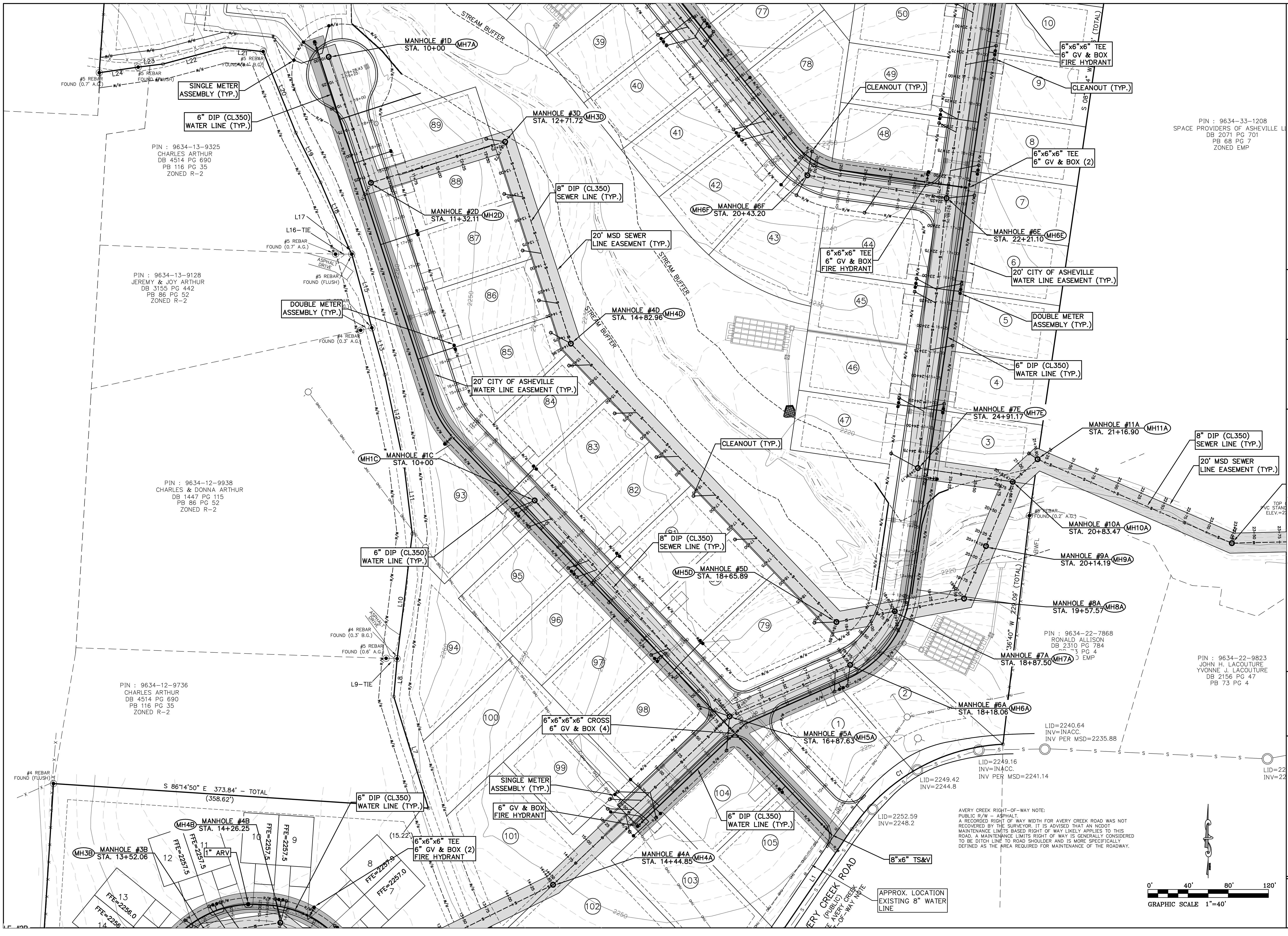
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 Date: 11/15/2016  
 Scale: 1"=40'  
 Revision:

Utilities

Sheet  
**C15**







PIN : 9634-13-9325  
 CHARLES ARTHUR  
 DB 4514 PG 690  
 PB 116 PG 35  
 ZONED R-2

PIN : 9634-13-9128  
 JEREMY & JOY ARTHUR  
 DB 3155 PG 442  
 PB 86 PG 52  
 ZONED R-2

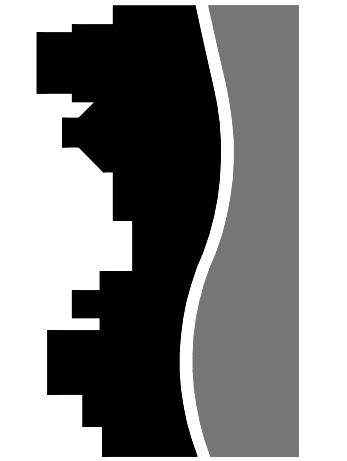
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 CHARLES & DONNA ARTHUR  
 DB 1447 PG 115  
 PB 86 PG 52  
 ZONED R-2

PIN : 9634-12-9736  
 CHARLES ARTHUR  
 DB 4514 PG 690  
 PB 116 PG 35  
 ZONED R-2

PIN : 9634-22-7868  
 RONALD ALLISON  
 DB 2310 PG 784  
 PB 3 PG 4  
 ZONED EMP

PIN : 9634-22-9823  
 JOHN H. LACOUTURE  
 YVONNE J. LACOUTURE  
 DB 2156 PG 47  
 PB 73 PG 4

PIN : 9634-33-1208  
 SPACE PROVIDERS OF ASHEVILLE LLC  
 DB 2071 PG 701  
 PB 68 PG 7  
 ZONED EMP



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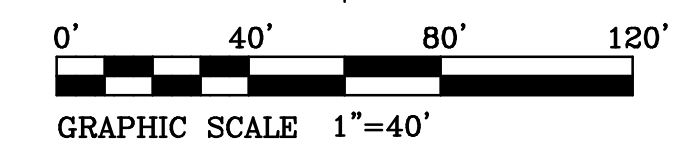
**Preliminary**  
 For Review

Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

104 No. 151778  
 Date: 11/15/2016  
 Scale: 1"=40'  
 Revision:

Utilities

Sheet  
**C16**



AVERY CREEK RIGHT-OF-WAY NOTE:  
 PUBLIC R/W - ASPHALT  
 A RECORDED RIGHT OF WAY WIDTH FOR AVERY CREEK ROAD WAS NOT RECOVERED BY THE SURVEYOR. IT IS ADVISED THAT AN NCDOT MAINTENANCE LIMITS BASED RIGHT OF WAY LIKELY APPLIES TO THIS ROAD. A MAINTENANCE LIMITS RIGHT OF WAY IS GENERALLY CONSIDERED TO BE DITCH LINE TO ROAD SHOULDER AND IS MORE SPECIFICALLY DEFINED AS THE AREA REQUIRED FOR MAINTENANCE OF THE ROADWAY.

APPROX. LOCATION EXISTING 8" WATER LINE



PIN : 9634-33-1208  
 SPACE PROVIDERS OF ASHEVILLE LLC  
 DB 2071 PG 701  
 PB 68 PG 7  
 ZONED EMP

PIN : 9634-33-3135  
 SPACE PROVIDERS OF ASHEVILLE LLC  
 DB 2071 PG 702  
 PB 146 PG 19

PIN : 9634-32-0898  
 SCOTT L. RAMSAY  
 REBECCA L. QUEEN RAMSAY  
 DB 3854 PG 293

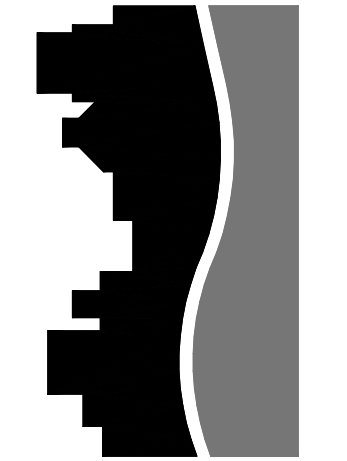
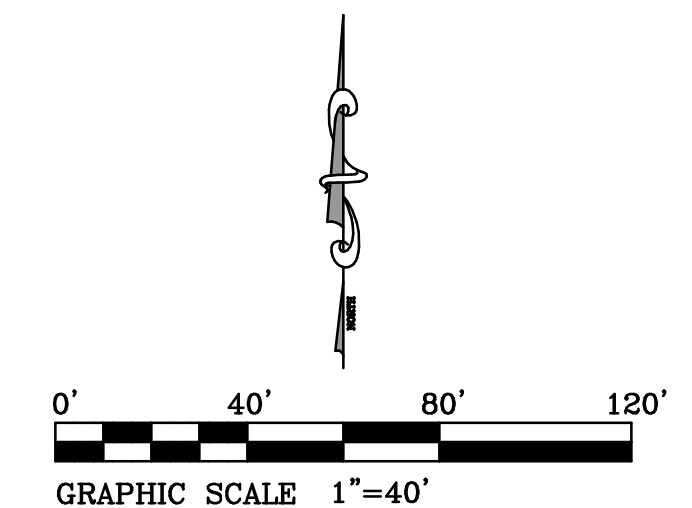
PIN : 9634-22-9823  
 JOHN H. LACOUTURE  
 YVONNE J. LACOUTURE  
 DB 2156 PG 47  
 PB 73 PG 4

PIN : 9634-22-7868  
 RONALD ALLISON  
 DB 2310 PG 784  
 PB 3 PG 4  
 ZONED EMP

AVERY CREEK RIGHT-OF-WAY NOTE:  
 PUBLIC R/W - ASPHALT.  
 A RECORDED RIGHT OF WAY WIDTH FOR AVERY CREEK ROAD WAS NOT  
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 ROAD. A MAINTENANCE LIMITS RIGHT OF WAY IS GENERALLY CONSIDERED  
 TO BE DITCH LINE TO ROAD SHOULDER AND IS MORE SPECIFICALLY  
 DEFINED AS THE AREA REQUIRED FOR MAINTENANCE OF THE ROADWAY.

CONTROL CORNER  
 SURVEY MARKER NAIL IN ASPHALT  
 FOUND (FLUSH)  
 NC GRID COORDINATES  
 N: 642517.71  
 E: 932433.87  
 NAD '83 (2011)

IBM - SANITARY SEWER MANHOLE LID  
 LID=2256.06  
 INV=INACC.  
 INV PER MSD=2251.64



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**Preliminary**  
 For Review

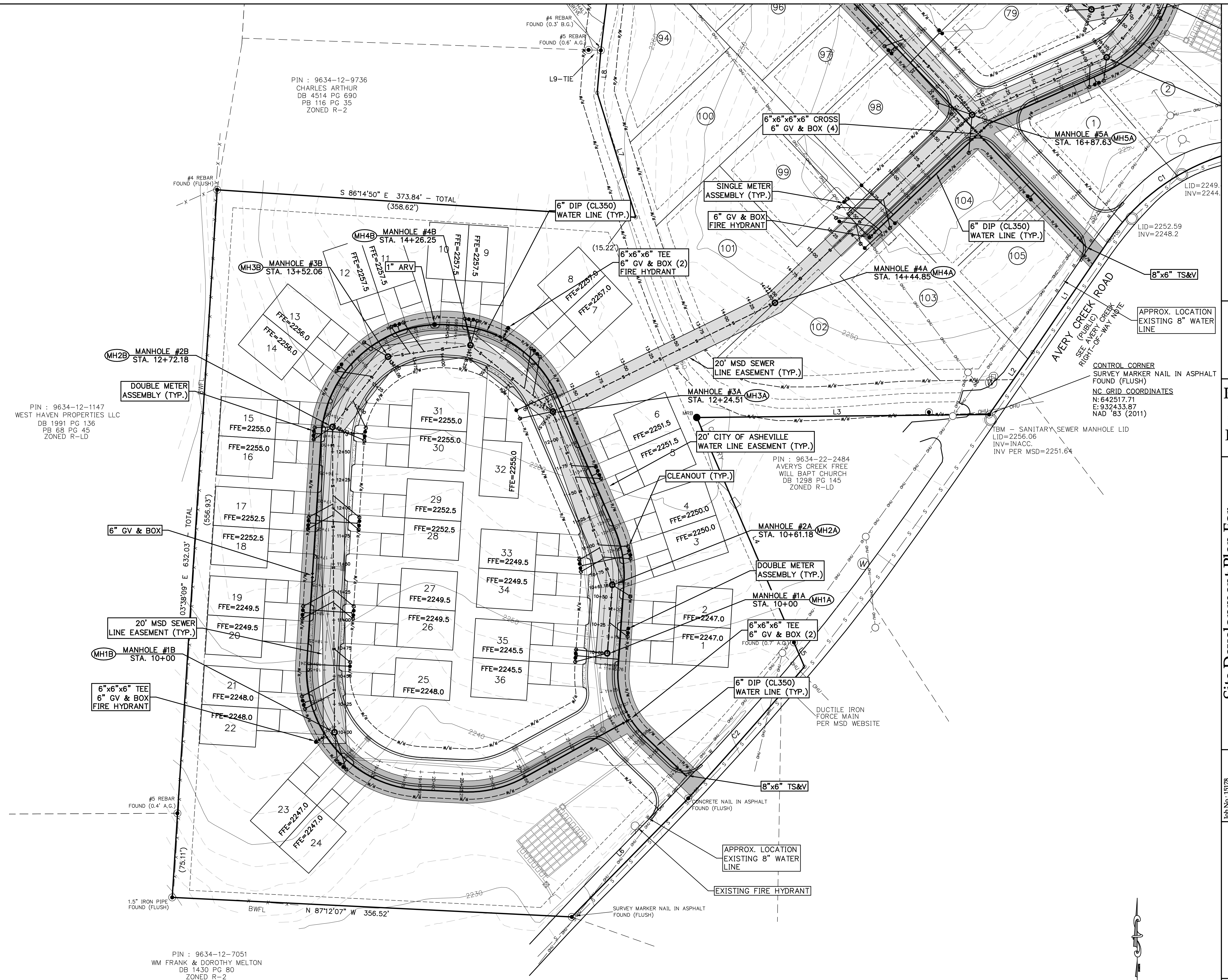
Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

Job No.: 151778  
 Date: 11/15/2016  
 Scale: 1"=40'  
 Revision:

Utilities

Sheet  
**C17**





PIN : 9634-12-9736  
 CHARLES ARTHUR  
 DB 4514 PG 690  
 PB 116 PG 35  
 ZONED R-2

PIN : 9634-12-1147  
 WEST HAVEN PROPERTIES LLC  
 DB 1991 PG 136  
 PB 68 PG 45  
 ZONED R-LD

PIN : 9634-12-7051  
 WM FRANK & DOROTHY MELTON  
 DB 1430 PG 80  
 ZONED R-2

PIN : 9634-22-2484  
 AVERYS CREEK FREE  
 WILL BAPT CHURCH  
 DB 1298 PG 145  
 ZONED R-LD

CONTROL CORNER  
 SURVEY MARKER NAIL IN ASPHALT  
 FOUND (FLUSH)  
 NC GRID COORDINATES  
 N: 642517.71  
 E: 932433.87  
 NAD '83 (2011)

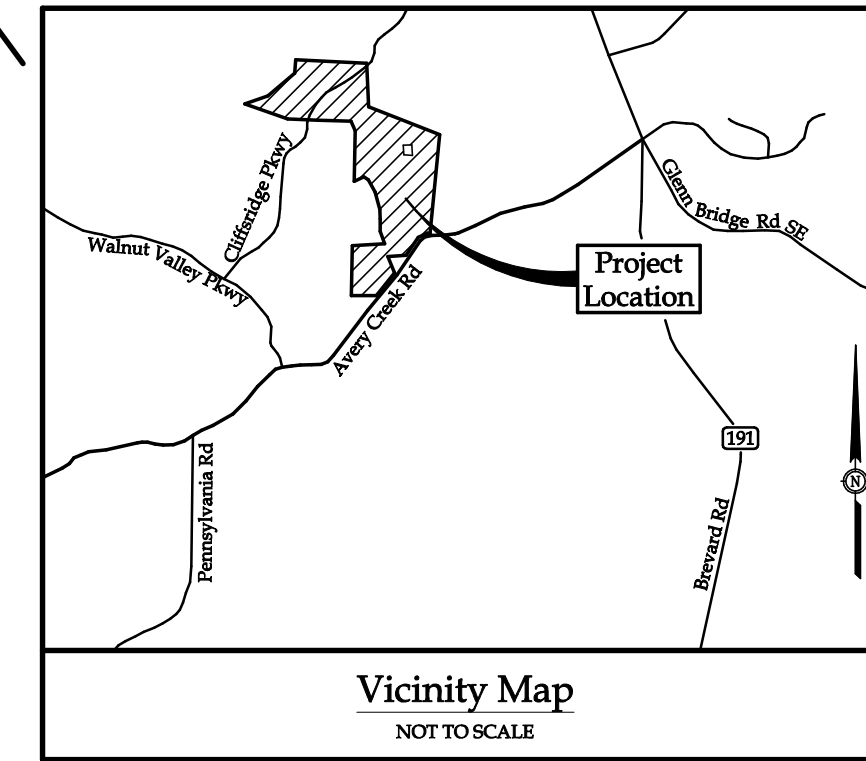
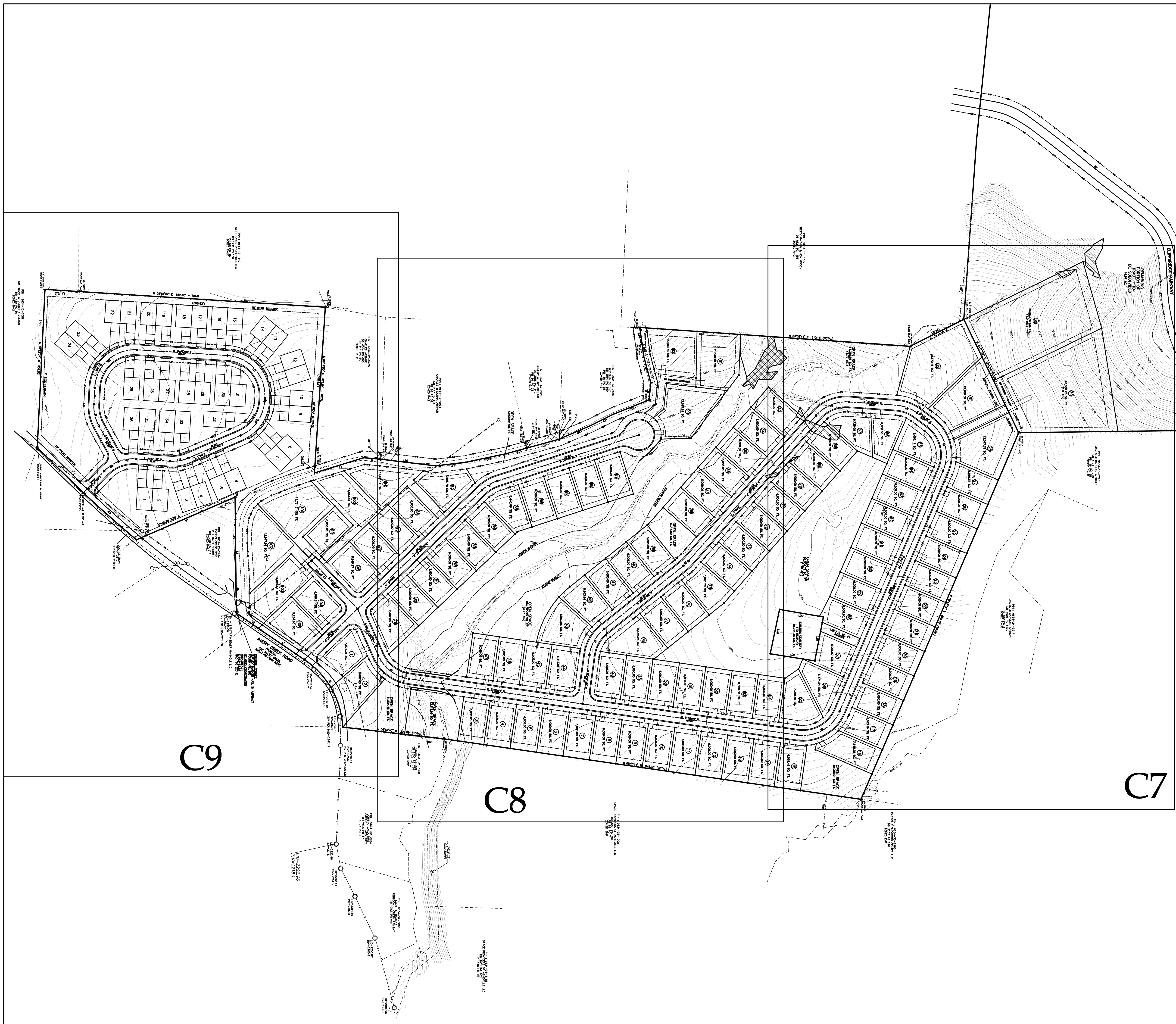
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**Preliminary**  
 For Review

Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

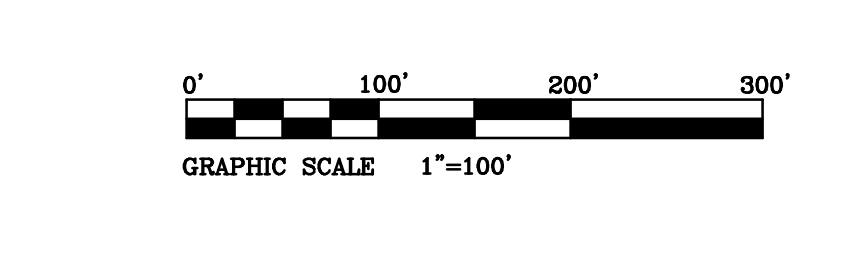
Job No.: 15178  
 Date: 11/15/2016  
 Scale: 1"=40'  
 Revision:



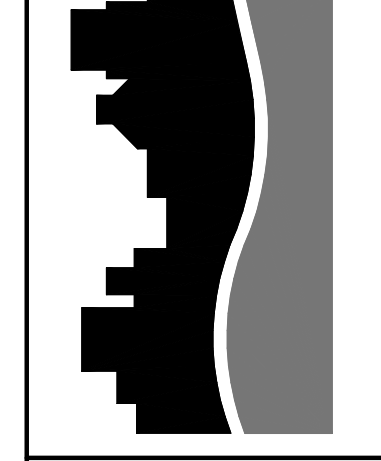


DEVELOPMENT DATA BLOCK	
OWNER/DEVELOPER:	AVERY'S CREEK, LLC
CONTACT:	MATT KING
PHONE:	828.242.0087
ADDRESS:	23 HYDE PARK PLACE, ARDEN, NC 28704
PIN:	963446580, 23-4768
PHYSICAL ADDRESS:	AVERY CREEK ROAD ARDEN, NC 28704
PROPERTY SIZE:	52.06 AC, 0.23 AC - 52.29 (TOTAL)
ZONING DISTRICT:	R-2, R-LD
SETBACKS:	10' FRONT, 15' REAR, 7' SIDES (R-2) 10' FRONT, 20' REAR, 10' SIDES (R-LD)
# OF LOTS/UNITS:	
SINGLE-FAMILY DETACHED =	105
SINGLE-FAMILY ATTACHED =	36
TOTAL =	141
DENSITY CALCULATIONS:	
DENSITY REQUIREMENTS FOR R-2:	
MAX DWELLING UNITS PER ACRE ALLOWED =	12
TOTAL ALLOWABLE DWELLING UNITS PER ACRE:	12 X 52.29 = 627.48 UNITS
TOTAL PROPOSED DWELLING UNITS PER ACRE:	141 / 52.29 = 2.69 UNITS
MINIMUM LAND AREA PER DWELLING UNIT:	6,000 SQ. FT. WITH WATER & SEWER
DENSITY REQUIREMENTS FOR R-LD:	
NO ACREAGE BASED DENSITY REQUIREMENT.	
MIN. LOT AREA =	43,560 SQ. FT.
ROADWAY INFORMATION:	
PROPOSED ROADWAYS TO BE PUBLIC.	
PROPOSED NAMES CURRENTLY UNKNOWN.	
PROPOSED WIDTH: 22' PAVEMENT.	
PROPOSED BACK OF CURB DIMENSION: 26'	
PROPOSED CURB AND GUTTER: 24"	
PROPOSED RIGHT-OF-WAY WIDTH: 45'	
PROPOSED SURFACE: ASPHALT	
PROPOSED GRADE: 10% (MAXIMUM)	
PROPOSED LENGTH: 928.43 LF, ROAD 'A'	
3,207.75 LF, ROAD 'B'	
1,672.24 LF, ROAD 'C'	
* PROPOSED PUD, SETBACKS INDICATED ON PLANS ARE 10' FRONT, 5' SIDES AND 10' REAR, WITH THE EXCEPTION OF THE SOUTHERN PORTION OF THE PARCEL. REAR SETBACKS FOR LOTS 3-28 SHALL CONFORM TO REQUIRED REAR SETBACKS ON PERIMETER LOTS. REAR SETBACKS FOR LOTS 3-28 SHALL BE 15'.	

NOTES:  
 SURROUNDING PROPERTIES ZONED R-2, R-LD, EMP.  
 PROPOSED SUBDIVISION IS NOT A DRASTIC HILLSIDE VARIATION DEVELOPMENT.  
 ROAD CONSTRUCTION IN AREAS OF SLOPE EXCEEDING 30% DO NOT EXIST. AREAS DESIGNATED AS HIGH AND MODERATE HAZARD EXIST ON SITE, LOCATED ON NORTHERN PARCEL (TRACT 1).  
 SUBDIVISION ROADS ARE CONTAINED WITHIN CORRIDORS THAT ARE LESS THAN 90 FEET IN WIDTH FOR THE ENTIRE LENGTH OF ALL PROPOSED ROADWAYS. MAXIMUM CORRIDOR LENGTH IS APPROX. 68'. NO AREAS WITHIN CORRIDORS EXCEED 60 FEET IN HEIGHT. MAXIMUM CORRIDOR HEIGHT IS APPROX. 10'.  
 NO LOT SLOPES PERPENDICULAR TO THE PROPOSED ROADWAY WITHIN THE PROPOSED SUBDIVISION EXCEED 18%.  
 NO BASE COURSE SHALL BE PLACED ON MUCK, PIPE CLAY, ORGANIC MATTER, OR OTHER UNSUITABLE MATTER.  
 ELECTRICAL, TELEPHONE, CABLE, AND GAS TO BE PROVIDED BY DIRECT CONTRACT WITH APPROPRIATE SERVICE PROVIDER.  
 ALL LOTS SHOWN ON THIS SHEET ARE PROPOSED TO BE SERVED BY PUBLIC WATER AND SEWER.  
 PROPOSED SUBDIVISION IS LOCATED IN THE AVERY CREEK TOWNSHIP.  
 SEE STORM DRAIN AND UTILITY PLAN FOR RESPECTIVE EASEMENT CLARIFICATION.



**Davis CivilSolutions, PA**  
 Site/Infrastructure • Engineering/Planning  
 134-A Charlotte Highway, Asheville, North Carolina 28803  
 828.259.9449 FH • www.daviscivilsolutions.com



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**Preliminary**  
 For Review

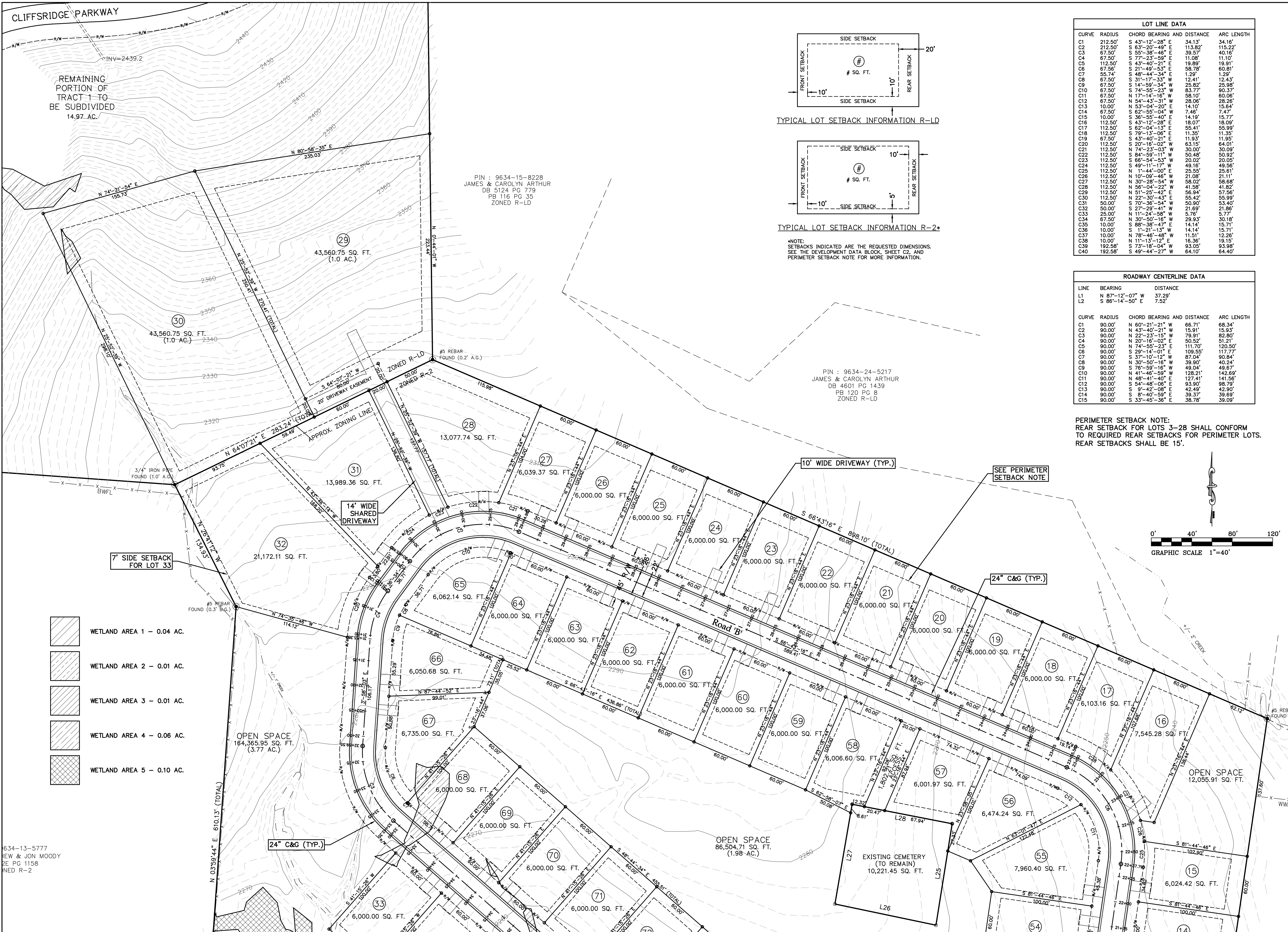
Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

Job No.: 15178  
 Date: 11/15/2016  
 Scale: 1"=100'  
 Revision:

Overall Layout

Sheet  
**C6**





**LOT LINE DATA**

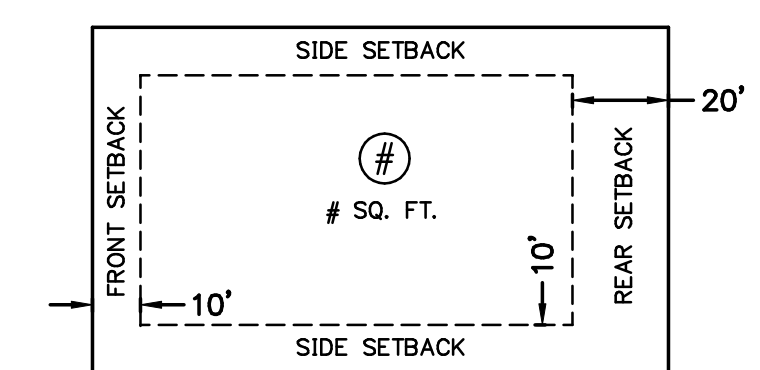
CURVE	RADIUS	CHORD BEARING AND DISTANCE	ARC LENGTH
C1	212.50'	S 43°-12'-28" E 34.13'	34.16'
C2	212.50'	S 63°-20'-49" E 113.82'	115.22'
C3	67.50'	S 65°-38'-46" E 39.57'	40.16'
C4	67.50'	S 77°-23'-59" E 11.08'	11.10'
C5	112.50'	S 43°-40'-21" E 19.89'	19.91'
C6	67.50'	S 21°-49'-53" E 58.78'	60.81'
C7	55.74'	S 48°-44'-34" E 1.29'	1.29'
C8	67.50'	S 31°-17'-33" W 12.41'	12.43'
C9	67.50'	S 14°-59'-34" W 25.82'	25.98'
C10	67.50'	S 14°-58'-23" W 83.77'	90.37'
C11	67.50'	N 17°-14'-16" W 58.10'	60.06'
C12	67.50'	N 54°-43'-31" W 28.06'	28.26'
C13	10.00'	S 33°-04'-20" E 14.10'	14.10'
C14	67.50'	S 62°-55'-04" W 7.46'	7.47'
C15	10.00'	S 38°-55'-40" E 14.19'	15.77'
C16	112.50'	S 43°-12'-28" E 18.07'	18.09'
C17	112.50'	S 62°-04'-13" E 55.41'	55.99'
C18	112.50'	S 79°-13'-06" E 11.35'	11.35'
C19	67.50'	S 43°-40'-21" E 11.93'	11.95'
C20	112.50'	S 20°-16'-02" W 63.15'	64.01'
C21	112.50'	N 74°-23'-03" W 30.00'	30.09'
C22	112.50'	S 84°-59'-11" W 50.48'	50.92'
C23	112.50'	S 66°-54'-53" W 20.02'	20.05'
C24	112.50'	S 49°-11'-17" W 49.16'	49.56'
C25	112.50'	N 1°-44'-00" E 25.55'	25.61'
C26	112.50'	N 10°-09'-46" W 21.08'	21.11'
C27	112.50'	N 10°-28'-54" W 58.02'	58.68'
C28	112.50'	N 56°-04'-22" W 41.58'	41.82'
C29	112.50'	N 51°-25'-42" E 56.94'	57.56'
C30	112.50'	N 22°-16'-02" E 50.52'	51.21'
C31	50.00'	S 70°-36'-54" W 50.90'	53.40'
C32	50.00'	S 27°-29'-41" W 21.69'	21.86'
C33	25.00'	N 11°-24'-58" W 5.76'	5.77'
C34	67.50'	N 30°-50'-16" W 29.93'	30.18'
C35	10.00'	S 88°-38'-47" E 14.14'	15.71'
C36	10.00'	S 1°-21'-13" W 14.14'	15.71'
C37	10.00'	N 78°-46'-48" W 11.51'	12.26'
C38	10.00'	N 11°-13'-12" E 16.36'	19.15'
C39	192.58'	S 73°-18'-04" W 93.05'	93.98'
C40	192.58'	S 49°-44'-27" W 64.10'	64.40'

**ROADWAY CENTERLINE DATA**

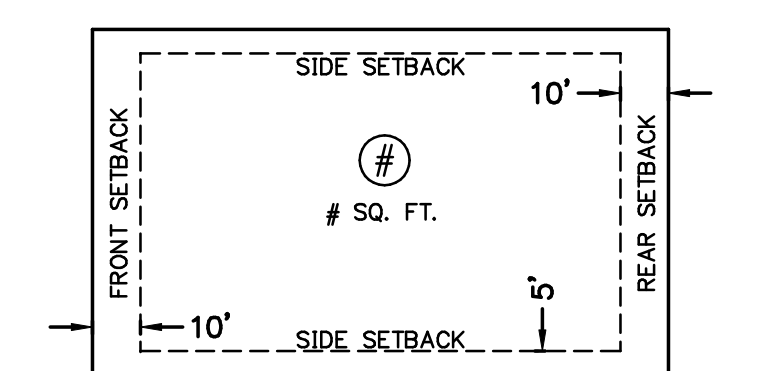
LINE	BEARING	DISTANCE
L1	N 87°-12'-07" W	37.29'
L2	S 86°-14'-50" E	7.52'

CURVE	RADIUS	CHORD BEARING AND DISTANCE	ARC LENGTH
C1	90.00'	N 60°-21'-21" W 66.71'	68.34'
C2	90.00'	N 43°-40'-21" W 15.91'	15.93'
C3	90.00'	N 22°-23'-15" W 79.91'	82.80'
C4	90.00'	N 20°-16'-02" E 50.52'	51.21'
C5	90.00'	N 74°-55'-23" E 111.70'	120.50'
C6	90.00'	S 29°-14'-01" E 109.55'	117.77'
C7	90.00'	S 37°-10'-12" W 87.04'	90.84'
C8	90.00'	N 30°-50'-16" W 39.90'	40.24'
C9	90.00'	S 76°-59'-16" W 49.04'	49.67'
C10	90.00'	N 41°-46'-59" W 128.21'	142.69'
C11	90.00'	N 48°-41'-40" E 127.41'	141.86'
C12	90.00'	S 54°-48'-06" E 93.90'	98.79'
C13	90.00'	S 9°-42'-08" E 42.49'	42.90'
C14	90.00'	S 8°-40'-59" E 39.37'	39.89'
C15	90.00'	S 33°-45'-36" E 38.78'	39.09'



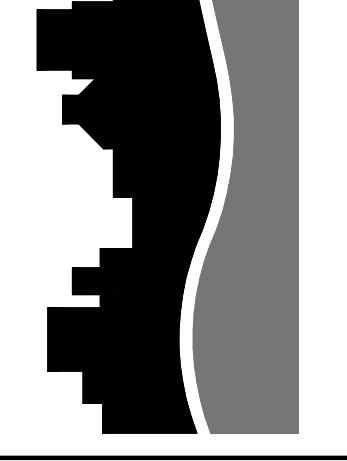
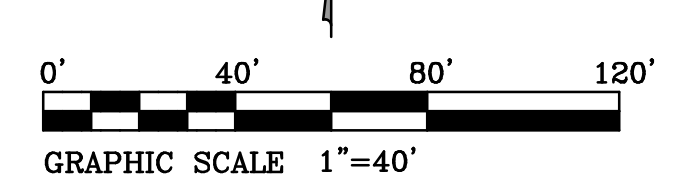
TYPICAL LOT SETBACK INFORMATION R-LD



TYPICAL LOT SETBACK INFORMATION R-2\*

\*NOTE:  
SETBACKS INDICATED ARE THE REQUESTED DIMENSIONS.  
SEE THE DEVELOPMENT DATA BLOCK, SHEET C2, AND  
PERIMETER SETBACK NOTE FOR MORE INFORMATION.

PERIMETER SETBACK NOTE:  
REAR SETBACK FOR LOTS 3-28 SHALL CONFORM  
TO REQUIRED REAR SETBACKS FOR PERIMETER LOTS.  
REAR SETBACKS SHALL BE 15'.



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**Preliminary**  
For Review

Site Development Plan For  
**The Preserve at Avery's Creek**  
BUNCOMBE COUNTY, NORTH CAROLINA

ISA No: 15178  
Date: 11/15/2016  
Scale: 1"=40'  
Revision:

Layout

Sheet  
**C7**

634-13-5777  
EW & JON MOODY  
PE PG 1158  
NED R-2





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**Preliminary**  
 For Review

Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

Job No.: 15178  
 Date: 11/15/2016  
 Scale: 1"=40'  
 Revision:

Layout

Sheet  
**C8**



7' SIDE SETBACK FOR LOT 91

- WETLAND AREA 1 - 0.04 AC.
- WETLAND AREA 2 - 0.01 AC.
- WETLAND AREA 3 - 0.01 AC.
- WETLAND AREA 4 - 0.06 AC.
- WETLAND AREA 5 - 0.10 AC.

15' REAR SETBACK FOR LOT 92

14' WIDE SHARED DRIVEWAY

PIN : 9634-13-9325  
 CHARLES ARTHUR  
 DB 4514 PG 690  
 PB 116 PG 35  
 ZONED R-2

PIN : 9634-13-9128  
 JEREMY & JOY ARTHUR  
 DB 3155 PG 442  
 PB 86 PG 52  
 ZONED R-2

PIN : 9634-12-9938  
 CHARLES & DONNA ARTHUR  
 DB 1447 PG 115  
 PB 86 PG 52  
 ZONED R-2

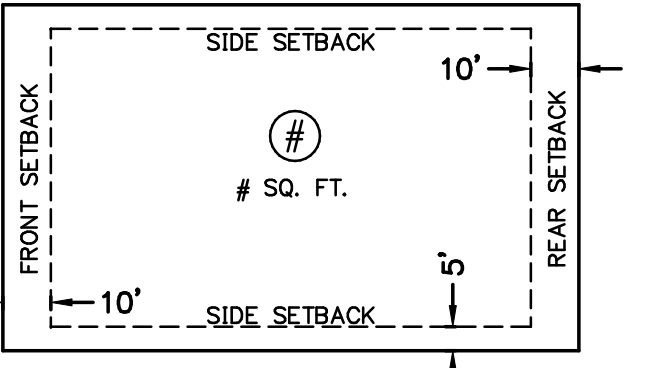
PERIMETER SETBACK NOTE:  
 REAR SETBACK FOR LOTS 3-28 SHALL CONFORM TO REQUIRED REAR SETBACKS FOR PERIMETER LOTS. REAR SETBACKS SHALL BE 15'.

LOT LINE DATA				
CURVE	RADIUS	CHORD BEARING AND DISTANCE	ARC LENGTH	
C1	212.50'	S 43°-12'-28" E 34.13'	34.16'	
C2	212.50'	S 63°-20'-49" E 113.82'	113.22'	
C3	67.50'	S 55°-38'-46" E 39.57'	40.16'	
C4	67.50'	S 77°-23'-59" E 11.08'	11.10'	
C5	112.50'	S 43°-40'-21" E 19.91'	19.91'	
C6	67.56'	S 21°-49'-53" E 58.78'	60.81'	
C7	65.74'	S 48°-44'-34" E 1.29'	1.29'	
C8	67.50'	S 31°-17'-33" W 12.41'	12.43'	
C9	67.50'	S 14°-59'-34" W 25.82'	25.98'	
C10	67.50'	S 74°-55'-23" W 83.77'	90.37'	
C11	67.50'	N 17°-14'-16" W 58.00'	60.06'	
C12	67.50'	S 54°-43'-31" W 28.94'	28.28'	
C13	10.00'	S 53°-04'-20" E 14.10'	15.64'	
C14	67.50'	S 62°-55'-04" W 7.46'	7.47'	
C15	10.00'	S 36°-55'-40" E 14.91'	15.77'	
C16	112.50'	S 43°-12'-28" E 18.07'	18.09'	
C17	112.50'	S 62°-04'-13" E 55.41'	55.99'	
C18	112.50'	S 78°-13'-08" E 11.35'	11.35'	
C19	67.50'	S 43°-40'-21" E 11.35'	11.85'	
C20	112.50'	S 20°-16'-02" W 63.15'	64.01'	
C21	112.50'	N 74°-23'-03" W 30.00'	30.09'	
C22	112.50'	S 84°-59'-11" W 50.48'	50.92'	
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C29	112.50'	N 51°-25'-42" E 56.94'	57.56'	
C30	112.50'	N 22°-30'-43" E 55.42'	55.99'	
C31	50.00'	S 70°-36'-54" W 50.90'	53.40'	
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C34	67.50'	N 30°-50'-16" W 29.93'	30.18'	
C35	10.00'	S 88°-38'-47" E 14.14'	15.71'	
C36	10.00'	N 1°-21'-13" W 14.14'	15.71'	
C37	10.00'	N 78°-46'-48" W 11.51'	12.26'	
C38	10.00'	N 11°-13'-12" E 16.36'	19.15'	
C39	192.58'	S 73°-18'-04" W 93.05'	93.98'	
C40	192.58'	S 49°-44'-27" W 64.10'	64.40'	

ROADWAY CENTERLINE DATA		
LINE	BEARING	DISTANCE
L1	N 87°-12'-07" W	37.29'
L2	S 86°-14'-50" E	7.52'

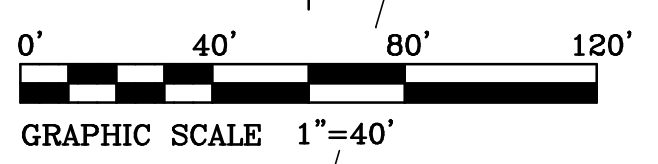
  

CURVE	RADIUS	CHORD BEARING AND DISTANCE	ARC LENGTH
C1	90.00'	N 60°-21'-21" W 66.71'	68.34'
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C3	90.00'	N 22°-23'-15" W 79.91'	82.80'
C4	90.00'	N 20°-16'-02" E 50.52'	51.21'
C5	90.00'	N 74°-55'-23" E 111.70'	120.50'
C6	90.00'	S 29°-14'-01" E 109.55'	117.77'
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C14	90.00'	S 8°-40'-59" E 39.37'	39.69'
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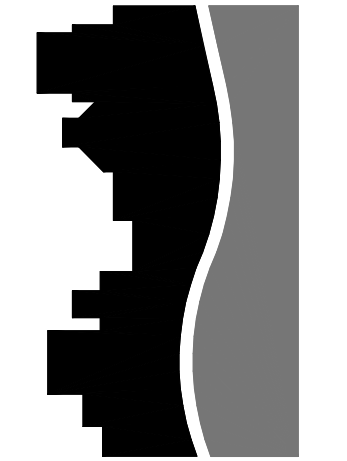
TYPICAL LOT SETBACK INFORMATION R-2\*

\*NOTE: SETBACKS INDICATED ARE THE REQUESTED DIMENSIONS. SEE THE DEVELOPMENT DATA BLOCK, SHEET C2, AND PERIMETER SETBACK NOTE FOR MORE INFORMATION.



PIN : 9634-22-7868  
 RONALD ALLISON  
 DB 2310 PG 784  
 PB 73 PG 4  
 ZONED EMP





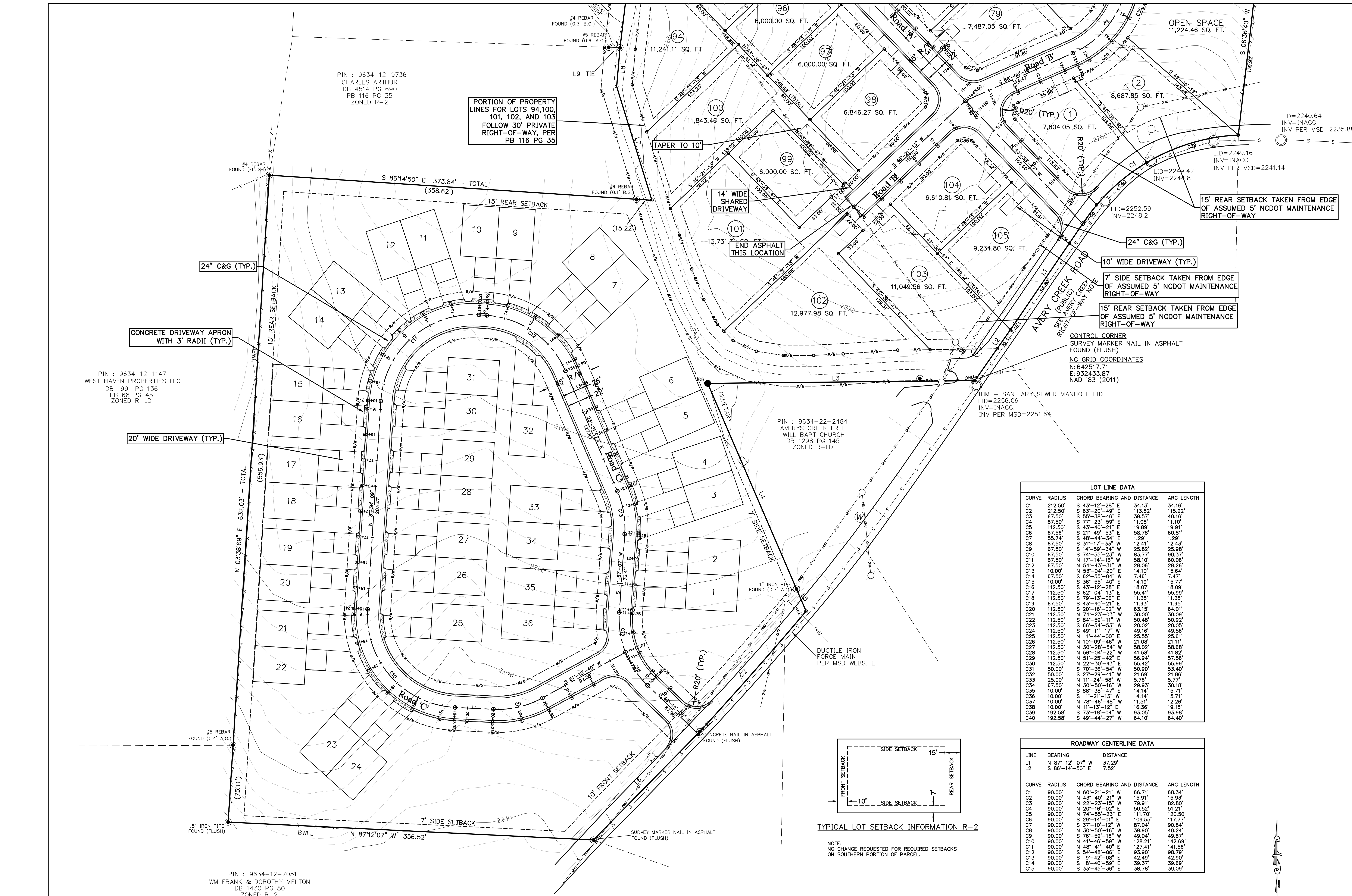
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**Preliminary**  
 For Review

Site Development Plan For  
**The Preserve at Avery's Creek**  
 BUNCOMBE COUNTY, NORTH CAROLINA

Job No.: 15778  
 Date: 11/15/2016  
 Scale: 1"=40'  
 Revision:

Layout



PIN : 9634-12-9736  
 CHARLES ARTHUR  
 DB 4514 PG 690  
 PB 116 PG 35  
 ZONED R-2

PORTION OF PROPERTY LINES FOR LOTS 94, 100, 101, 102, AND 103 FOLLOW 30' PRIVATE RIGHT-OF-WAY, PER PB 116 PG 35

CONCRETE DRIVEWAY APRON WITH 3" RADII (TYP.)

PIN : 9634-12-1147  
 WEST HAVEN PROPERTIES LLC  
 DB 1991 PG 136  
 PB 68 PG 45  
 ZONED R-LD

20' WIDE DRIVEWAY (TYP.)

PIN : 9634-22-2484  
 AVERYS CREEK FREE WILL BAPT CHURCH  
 DB 1298 PG 145  
 ZONED R-LD

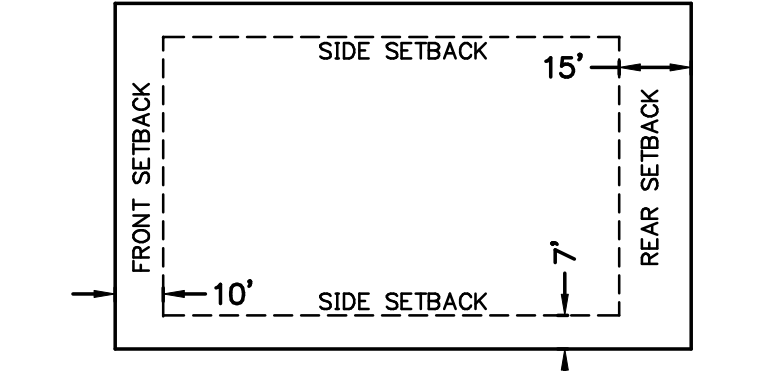
PIN : 9634-12-7051  
 WM FRANK & DOROTHY MELTON  
 DB 1430 PG 80  
 ZONED R-2

LOT LINE DATA			
CURVE	RADIUS	CHORD BEARING AND DISTANCE	ARC LENGTH
C1	212.50'	S 43°-12'-28" E 34.13'	34.16'
C2	212.50'	S 63°-20'-49" E 113.82'	115.22'
C3	67.50'	S 55°-38'-46" E 39.57'	40.16'
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C19	67.50'	S 43°-40'-21" E 11.93'	11.95'
C20	112.50'	S 20°-16'-02" W 63.15'	64.01'
C21	112.50'	N 74°-23'-03" W 30.00'	30.09'
C22	112.50'	S 84°-59'-11" W 50.48'	50.92'
C23	112.50'	S 66°-54'-53" W 20.02'	20.05'
C24	112.50'	S 49°-11'-17" W 49.16'	49.56'
C25	112.50'	N 1°-44'-00" E 25.55'	25.61'
C26	112.50'	N 10°-09'-46" W 21.08'	21.11'
C27	112.50'	S 30°-28'-54" W 58.02'	58.58'
C28	112.50'	N 56°-04'-22" W 41.58'	41.82'
C29	112.50'	N 51°-25'-42" E 56.94'	57.56'
C30	112.50'	N 22°-30'-43" E 55.42'	55.99'
C31	50.00'	S 70°-36'-54" W 50.90'	53.40'
C32	50.00'	S 27°-29'-41" W 21.69'	21.86'
C33	25.00'	N 11°-24'-58" W 5.76'	5.77'
C34	67.50'	N 30°-50'-16" W 29.93'	30.18'
C35	10.00'	S 88°-38'-47" E 14.14'	15.71'
C36	10.00'	S 1°-21'-13" W 14.14'	15.71'
C37	10.00'	N 78°-46'-48" W 11.51'	12.26'
C38	10.00'	N 11°-13'-12" E 16.36'	19.18'
C39	192.58'	S 73°-18'-04" W 93.05'	93.98'
C40	192.58'	S 49°-44'-27" W 64.10'	64.40'

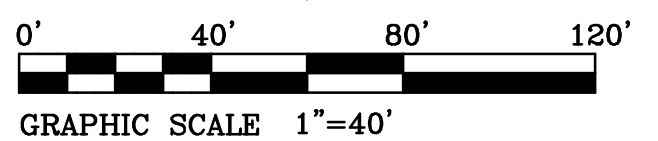
ROADWAY CENTERLINE DATA			
LINE	BEARING	DISTANCE	
L1	N 87°-12'-07" W	37.29'	
L2	S 86°-14'-50" E	7.52'	

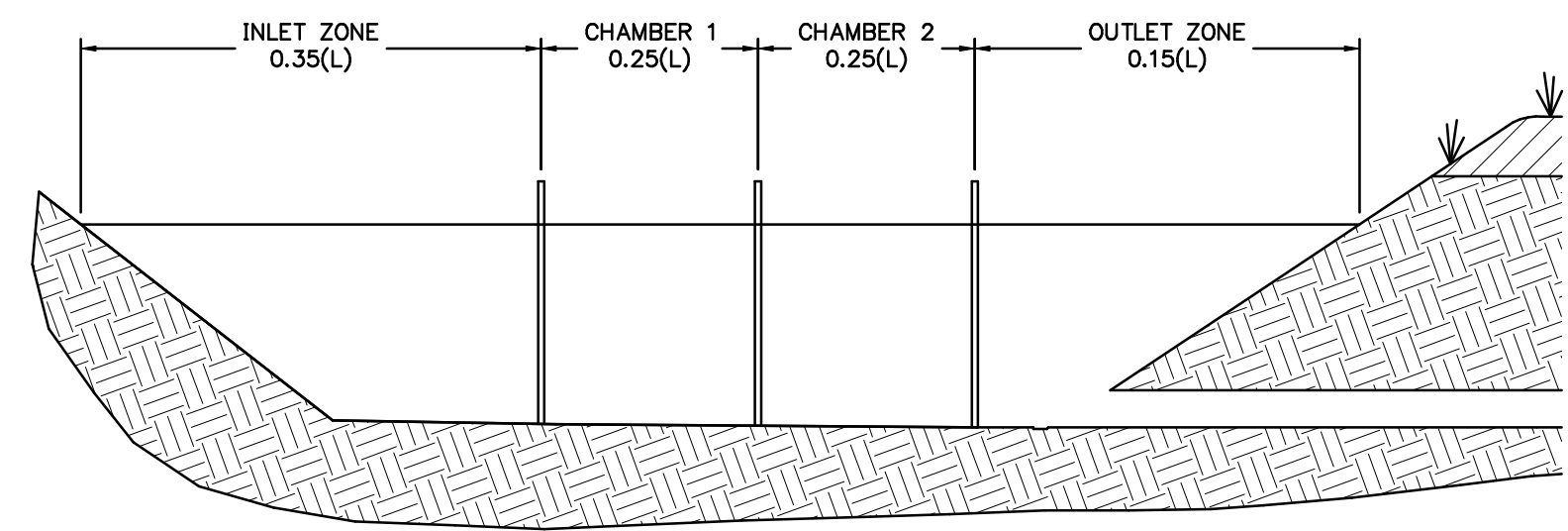
CURVE	RADIUS	CHORD BEARING AND DISTANCE	ARC LENGTH
C1	90.00'	N 60°-21'-21" W 66.71'	68.34'
C2	90.00'	N 43°-40'-21" W 15.91'	15.93'
C3	90.00'	N 22°-23'-15" W 79.91'	82.80'
C4	90.00'	N 20°-16'-02" E 50.52'	51.21'
C5	90.00'	N 74°-55'-23" E 111.70'	120.50'
C6	90.00'	S 29°-14'-01" E 109.55'	117.77'
C7	90.00'	S 37°-10'-12" W 87.04'	90.84'
C8	90.00'	N 30°-50'-16" W 40.24'	40.24'
C9	90.00'	S 76°-59'-16" W 49.04'	49.67'
C10	90.00'	N 41°-46'-59" W 128.21'	142.69'
C11	90.00'	N 48°-41'-40" E 127.41'	141.56'
C12	90.00'	S 54°-48'-06" E 93.90'	98.79'
C13	90.00'	S 9°-42'-08" E 42.49'	42.90'
C14	90.00'	S 8°-40'-59" E 39.37'	39.69'
C15	90.00'	S 33°-45'-36" E 38.78'	39.09'



NOTE:  
 NO CHANGE REQUESTED FOR REQUIRED SETBACKS ON SOUTHERN PORTION OF PARCEL.







**TEMPORARY SEDIMENT BASIN SCHEDULE**

BASIN NUMBER	DISTURBED AREA (ACRES)	MIN. VOLUME (CU. FT.)	LENGTH (FT.)	WIDTH (FT.)	DEPTH (FT.)	MIN. SURF. AREA (SF.)	INLET ZONE (FT.)	CHAMBER 1 (FT.)	CHAMBER 2 (FT.)	OUTLET ZONE (FT.)	SKIMMER SIZE (IN. DIA.)	ORIFICE SIZE (IN.)
1	X	X	X	X	X	X	X	X	X	X	X	X
2												
3												
4												

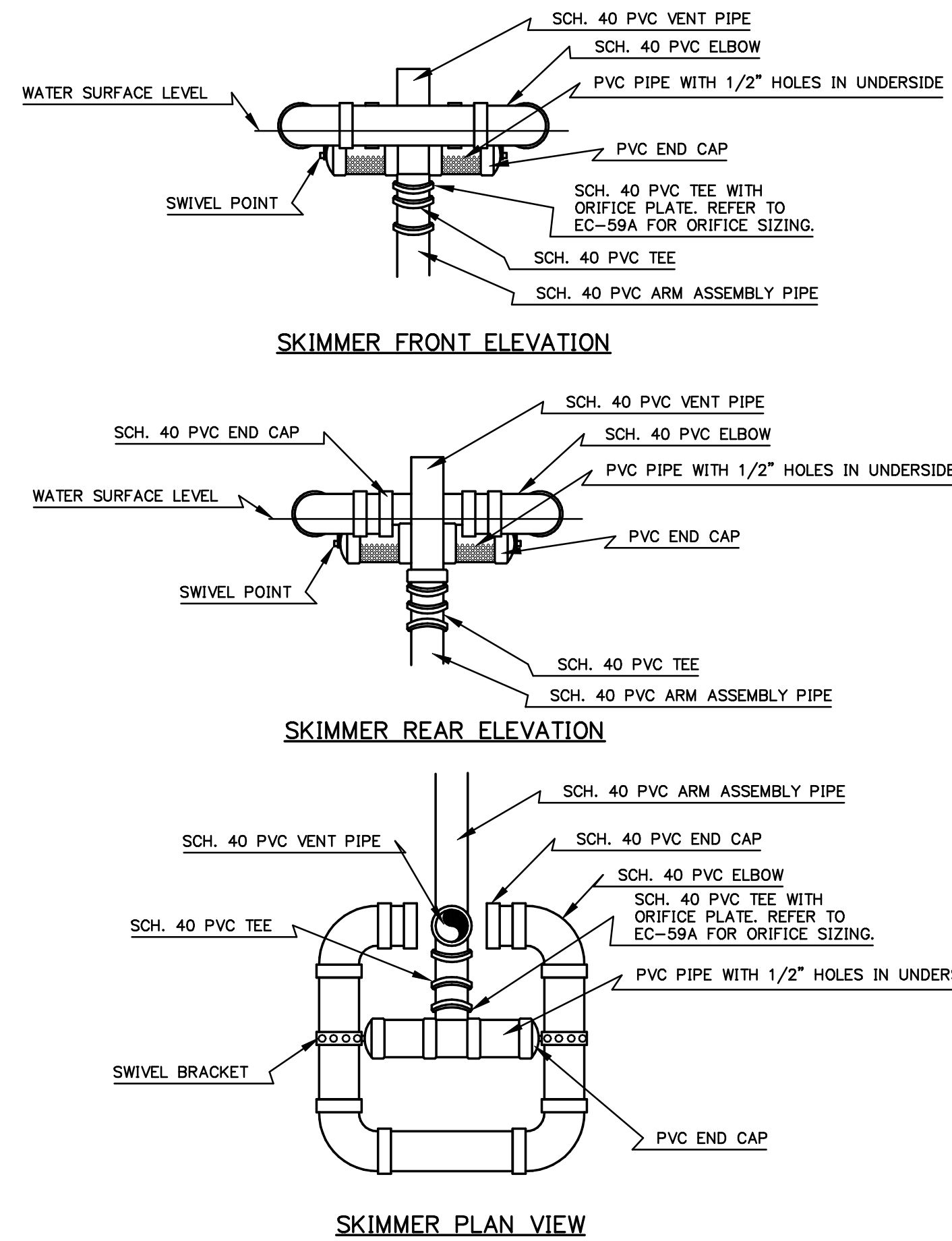
**SPILLWAY DIMENSIONS**

BASIN NUMBER	WIDTH (FT.)	DEPTH (FT.)
1	X	X
2		
3		
4		

**TEMPORARY SKIMMER SEDIMENT BASIN 2A**

NOT TO SCALE

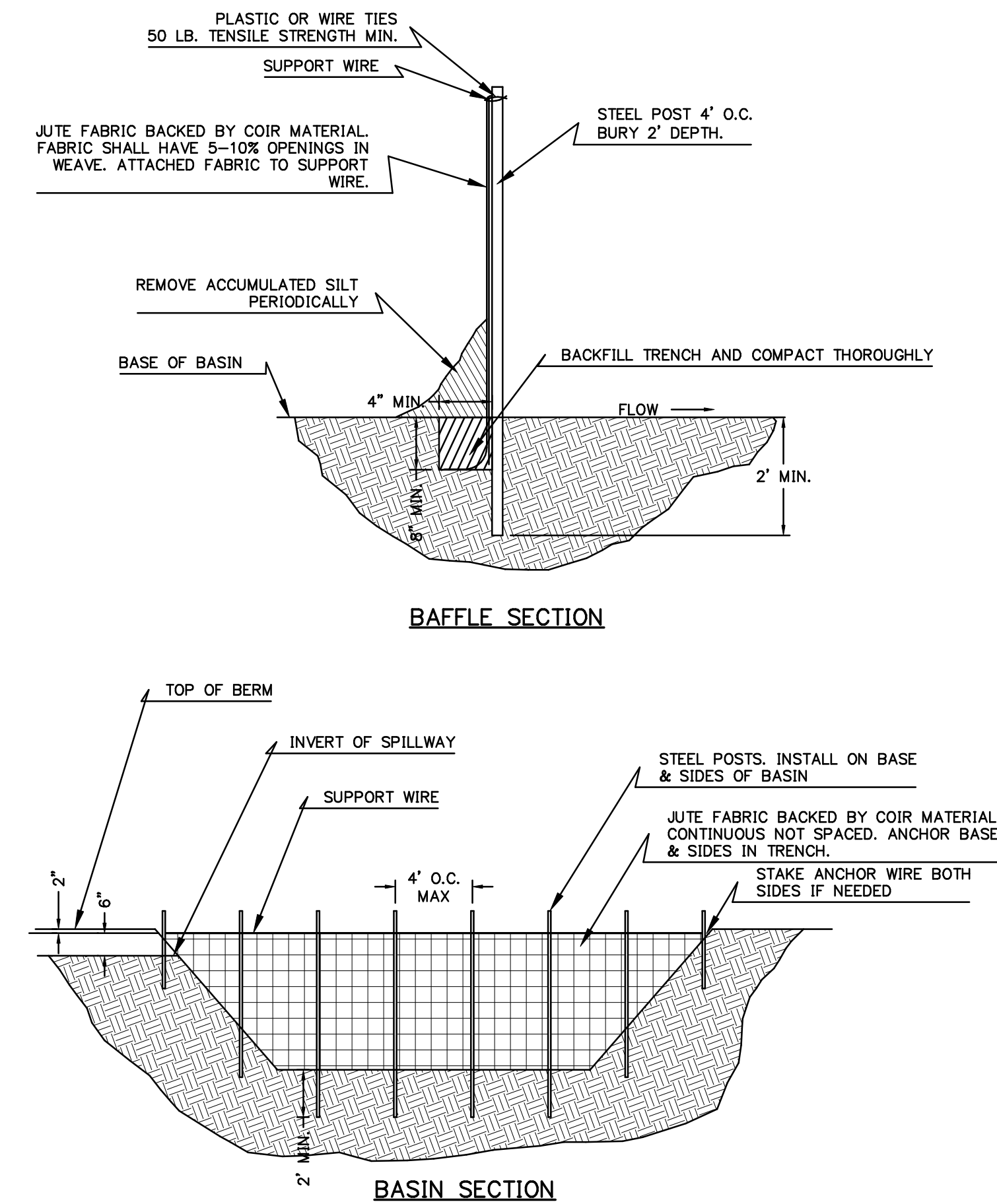
**EC-59A**



**TEMPORARY SKIMMER SEDIMENT BASIN 1B**

NOT TO SCALE

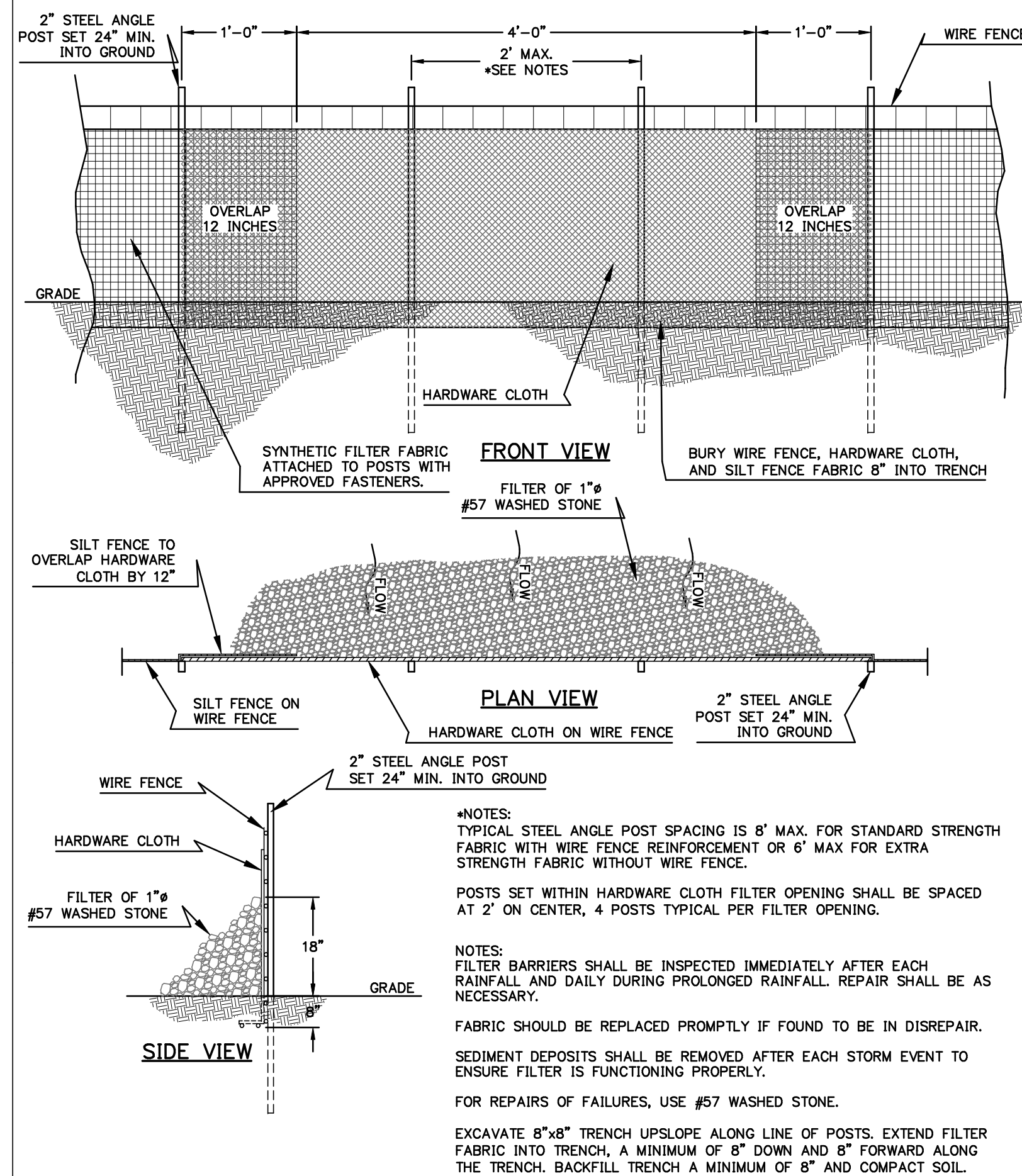
**EC-60**



**TEMPORARY BAFFLES**

NOT TO SCALE

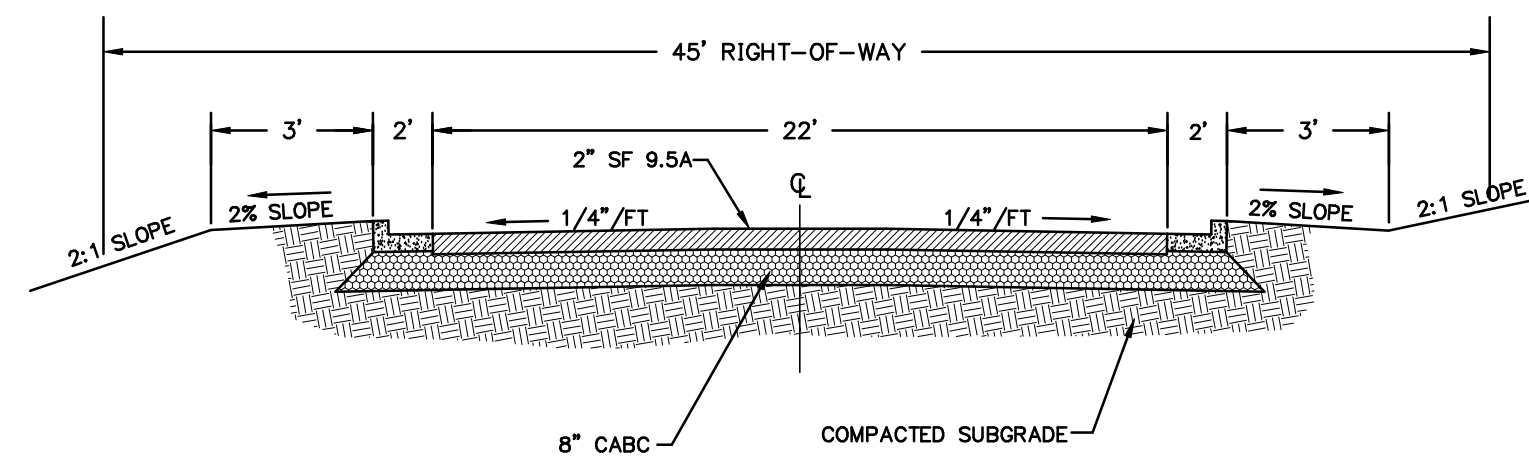
**EC-61**



**MODIFIED FILTER BERM**

NOT TO SCALE

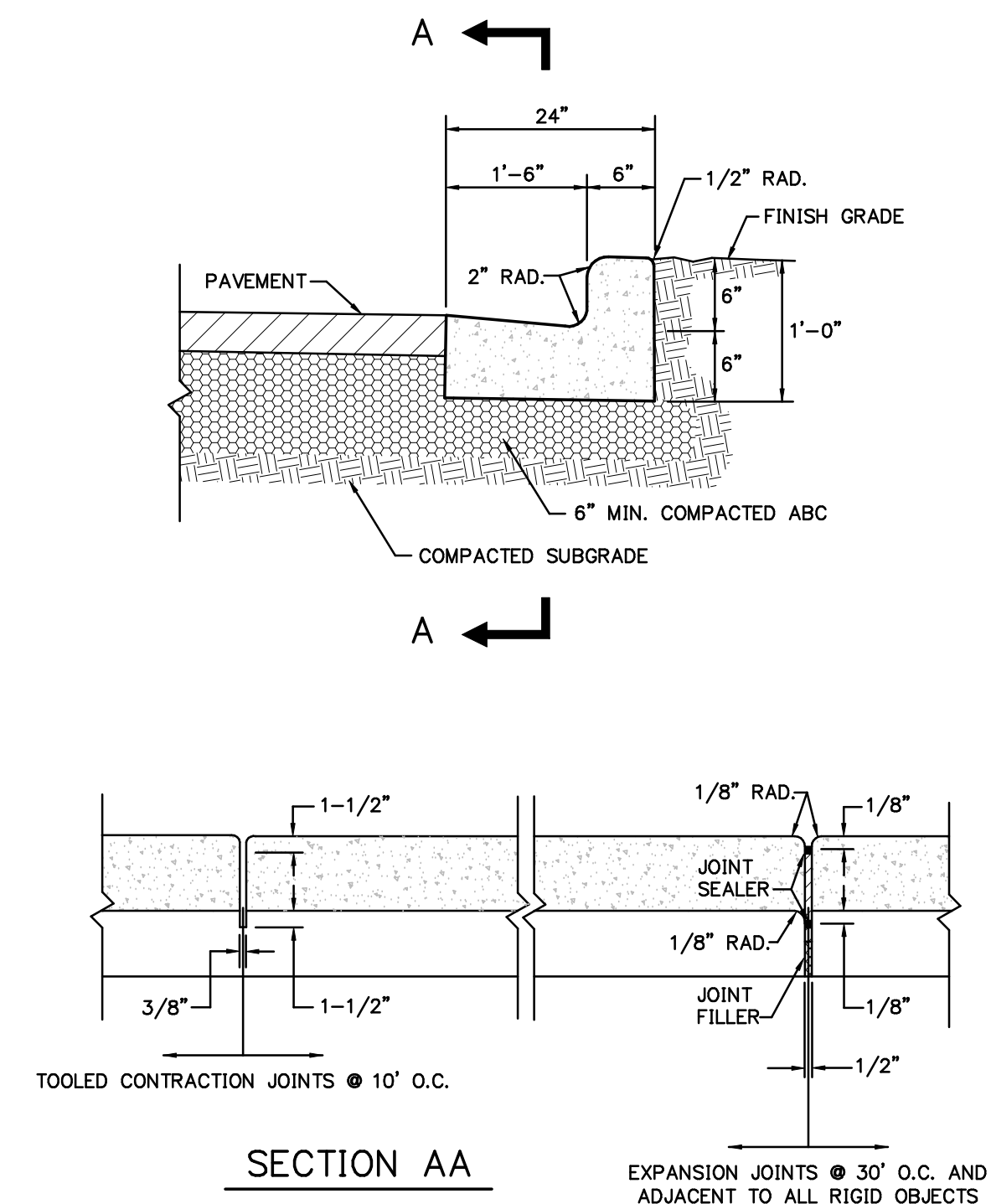
**EC-66**



**TYPICAL ROAD CROSS-SECTION WITH CURB AND GUTTER**

NOT TO SCALE

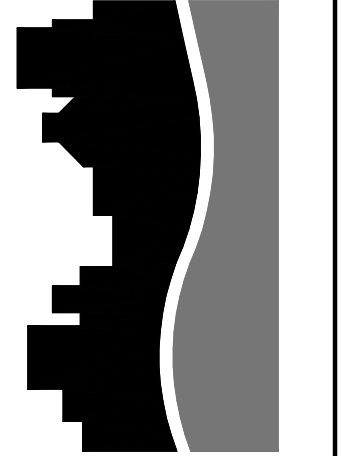
**ST-1**



**CONCRETE CURB & GUTTER (2'-0")**

NOT TO SCALE

**ST-6**



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Job No.: 151778  
 Date: 04/15/15  
 Scale: NTS  
 Revision:

Details



# ATTACHMENT D

Buncombe County Planning Board Meeting  
Recommended Staff Conditions  
June 20, 2016  
**SUB2016-00219**  
Preserve at Avery's Creek

If approved by the Buncombe County Planning Board, the applicant shall provide the following information on a revised set of plans (if necessary) submitted to the Buncombe County Department of Planning and Development:

1. Provide proof of approval of system design for City of Asheville water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
2. Provide proof of approval of system design for MSD sewer lines. Proof of acceptance of the sewer lines into the MSD sewer system will be required prior to recordation of a final plat or release of a financial guarantee.
3. Provide proof of approval of E-911 addressing
4. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
5. Provide a written statement from the Buncombe County Stormwater Administrator stating that a Stormwater Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.*
6. Provide FEMA flood plain information on the submitted plat.
7. Indicate existing use of land within and adjacent to subdivision.
8. Provide NCDOT driveway permit.
9. Provide a public road maintenance plan.
10. Indicate on plans that the shared driveway is less than 20% grade.
11. Provide proof of Army Corps of Engineers approval if development occurs within wetlands.
12. Provide proof of approval of subdivision road design by NCDOT. Certification that roads are built to Buncombe County Subdivision Ordinance standards shall be required prior to recordation of the final plat. NCDOT shall review and sign off on final plat.