

**Buncombe County Planning Board
April 18, 2016**

The Buncombe County Planning Board met on April 18, 2016 in the meeting room at 30 Valley Street. Members present were Nancy Waldrop, David Rittenberg, Parker Sloan, Robert Martin, Joan Walker, and Dusty Pless. Also present were Vince Hyatt and Brandon Freeman, Staff Attorneys; Jon Creighton, Planning Director; and Gillian Phillips, Debbie Truempy, and Shannon Capezzali, Planning staff.

Call to Order

Nancy Waldrop called the meeting to order at 9:30 am.

Approval of Agenda

Dusty Pless made a motion to approve the agenda. The motion was seconded by Joan Walker and passed unanimously.

Approval of Minutes (April 4, 2016)

Parker Sloan made a motion to approve the minutes. The motion was seconded by David Rittenberg and the motion passed unanimously.

Public Comment

Dede Styles from Swannanoa made a statement about a discussion from the previous meeting on the Planning Board's review of 'formality items'. Ms. Styles stated that the Board had been obligated to approve a subdivision due to the fact that it met all of the subdivision ordinance standards. The Board expressed an interest in having a shorter approval-procedure for 'formality items', however Ms. Styles stated that continuing to review these items allows the Board to see what needs to be changed in the ordinance.

Public Hearing

SUB2016-00117: Gary Davis from Davis Civil Solutions sought major subdivision approval for an 18 lot subdivision located on tax lot PINs 9635.61.8385, 9635.61.8502, 9635.61.6378 & 9635.71.0522 (144, 145, 147 & 149 Clayton Road).

The Board was provided with the submitted site plan (Attachment A) and proposed staff conditions (Attachment B). Gillian Phillips reviewed the proposed subdivision to the Board. Gary Davis from Davis Civil Solutions was present to represent the application. Staff conditions include erosion and stormwater, a driveway permit, approval of city water and MSD sewer, a revised site plan showing 2' of additional drivable road, and E-911 approval. Gary Davis answered questions from the Board about the public road and off-street parking.

Joan Walker made a motion to grant preliminary approval to the subdivision with the proposed staff conditions. The motion was seconded by Parker Sloan and passed unanimously.

ZPH2016-00018: Discussion of proposed revisions to the Buncombe County Land Development and Subdivision Ordinance.

Gillian Phillips continued the review of the proposed Subdivision Ordinance text amendments which had begun at the previous meeting. Robert Martin expressed an interest in requiring developers to include known dump sites on their site plans. The administrative procedure, financial impact, and enforcement

of such a requirement was discussed. Gillian Phillips will contact the NC Cooperative Extension to determine whether dump-sites are an issue in Buncombe County.

Currently NCDOT recommends that developments of 300 parcels or more conduct a traffic study, however the Board requested that local DOT staff attend a future Planning Board meeting to discuss the option of requiring a traffic study for smaller subdivisions.

At a future meeting, the Board will discuss the possibility of requiring a second entrance, and options for interconnectivity of roads between unrelated developments.

Adjourn

The meeting was adjourned at 10:55am.

Site Development Plan For

ATTACHMENT A

SUB2016-00117 SUBMITTED 3/16/2016

Weatherwood Subdivision

BUNCOMBE COUNTY, NORTH CAROLINA

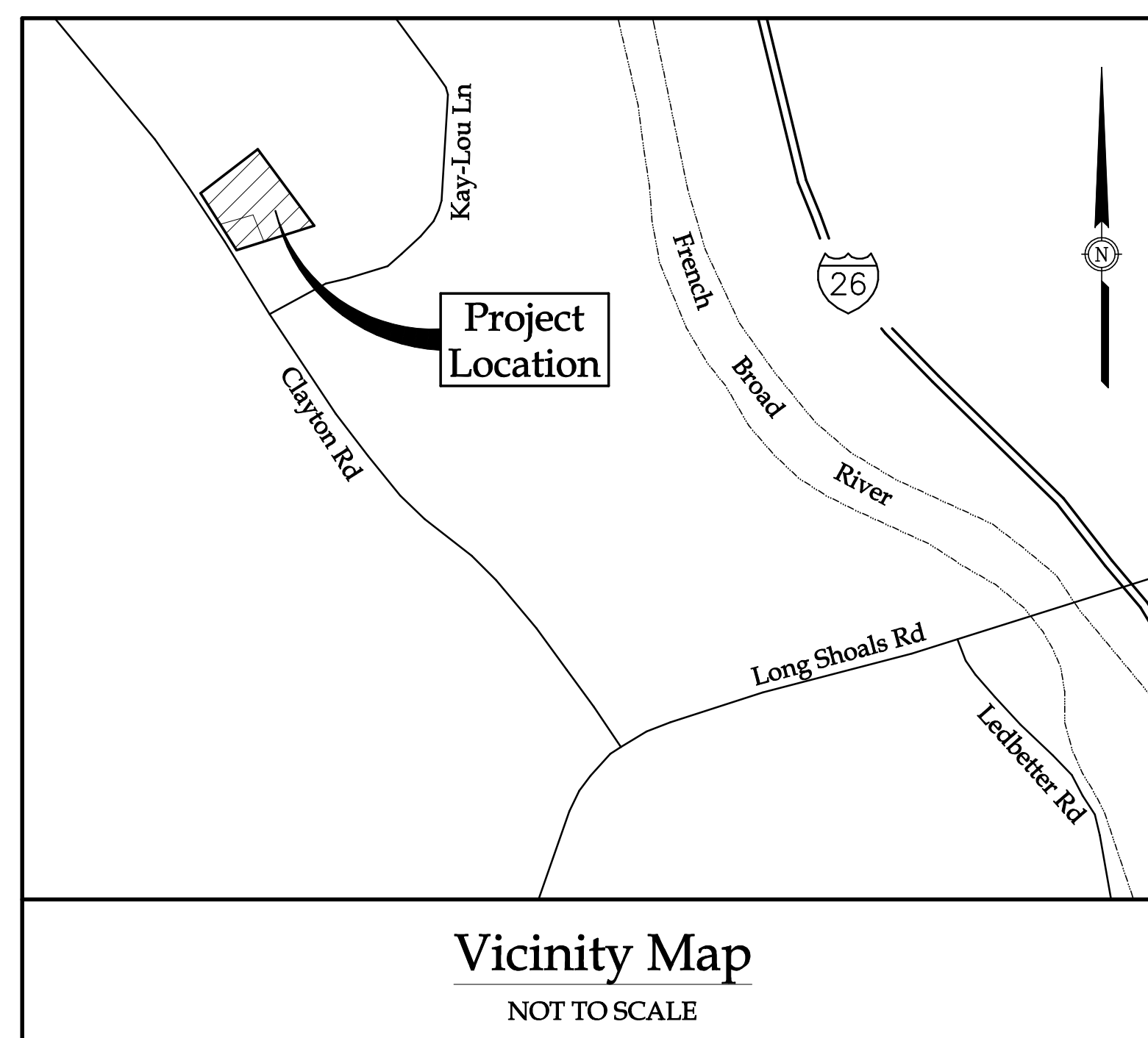
Owner/Developer: Day and Night, LLC
7 Roberts Road
Asheville, NC 28803

Contact: David Day
828.277.3292

PIN: 9635-61-9562
9635-61-8385

MSD Project#: 2016034

COA WPFY#: 15-16-067



Index of Drawings

- G1. Cover Sheet
- C1. Existing Conditions
- C2. Layout
- C3. Grading, Storm Water, Erosion Control
- C4. Utilities
- C5. Road Profiles
- C6. Water Profiles
- C7. Sewer Profiles
- D1. Details
- D2. Details
- D3. Details
- D4. Details
- D5. Details
- D6. Details
- D7. Details

GRANTED APPROVAL WITH CONDITIONS AT THE 4/9/2016 PLANNING BOARD HEARING

1. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.
2. Provide a written statement from the Buncombe County Stormwater Administrator stating that a Stormwater Plan has been submitted and approved for the project. No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.
3. Provide a copy of the approved North Carolina Department of Transportation driveway permit.
4. Provide proof of approval of system design for City of Asheville water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
5. Provide proof of approval of system design for MSD sewer lines. Proof of acceptance of the sewer lines into the MSD sewer system will be required prior to recordation of a final plat or release of a financial guarantee.
6. Indicate on revised plans that two feet of additional drivable surface will be provided on the roads within the subdivision capable of supporting a fire apparatus weighing at least 75,000 pounds.
7. Provide proof of approval of E-911 addressing or indicate approved addresses and road names on final plat.

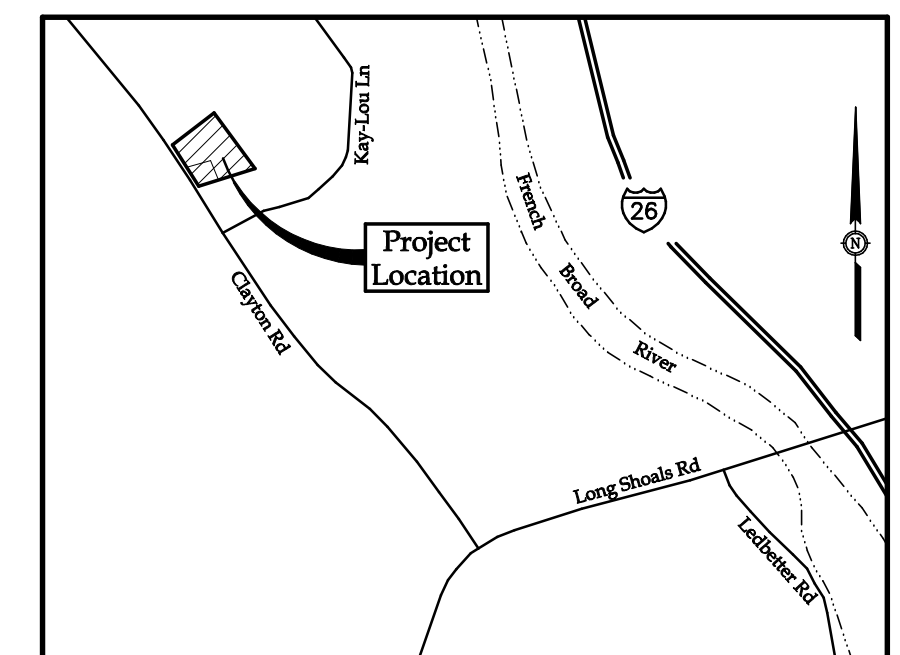


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March 18, 2016

Revision	Date	Description

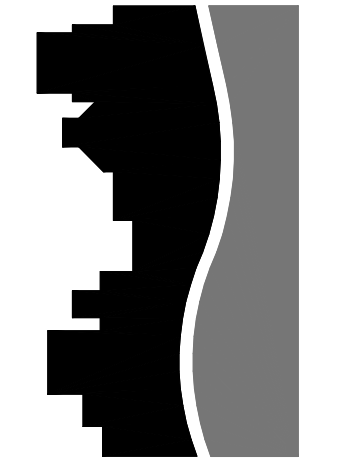


Vicinity Map
NOT TO SCALE

DEVELOPMENT DATA BLOCK

OWNER/DEVELOPER:	DAY AND NIGHT, LLC
CONTACT:	DAVID DAY
PHONE:	828.277.3292
ADDRESS:	7 ROBERTS ROAD ASHEVILLE, NC 28803
PIN:	9635-61-9562, 8385
PHYSICAL ADDRESS:	149 CLAYTON ROAD ARDEN, NC 28704
PROPERTY SIZE:	5.01 AC. (TOTAL)
ZONING DISTRICT:	RJ
SETBACKS:	10' FRONT, 15' REAR, 7' SIDES

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 828.299.9449 FH • www.daviscivilsolutions.com



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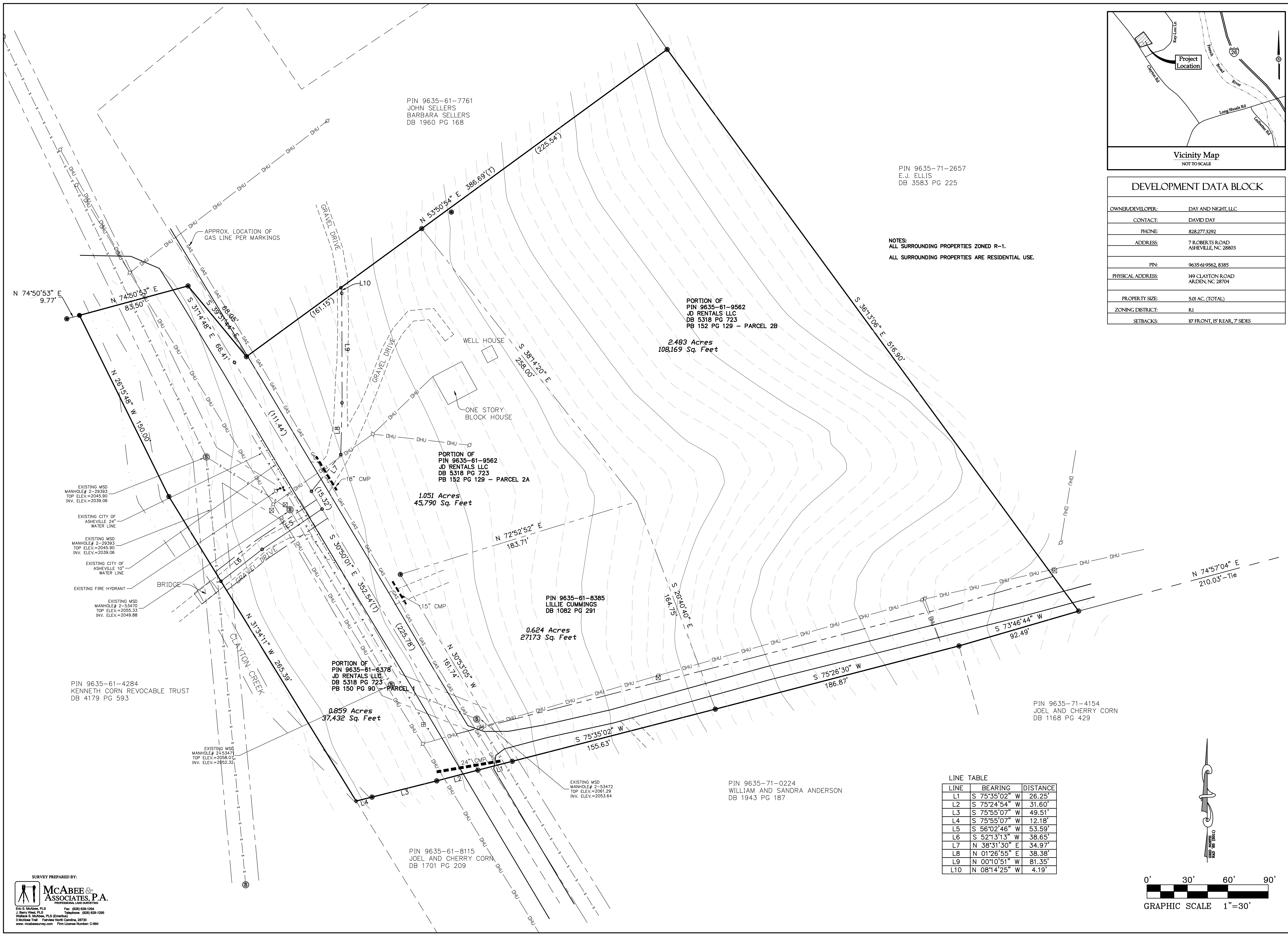
Preliminary
 For Review

Site Development Plan For
Weatherwood
Subdivision
 BUNCOMBE COUNTY, NORTH CAROLINA

Job No.: 16117
 Date: March 18, 2016
 Scale: 1"=30'
 Revision:

Existing Conditions

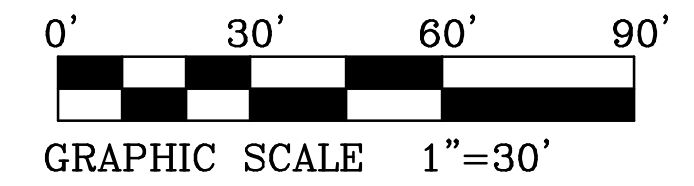
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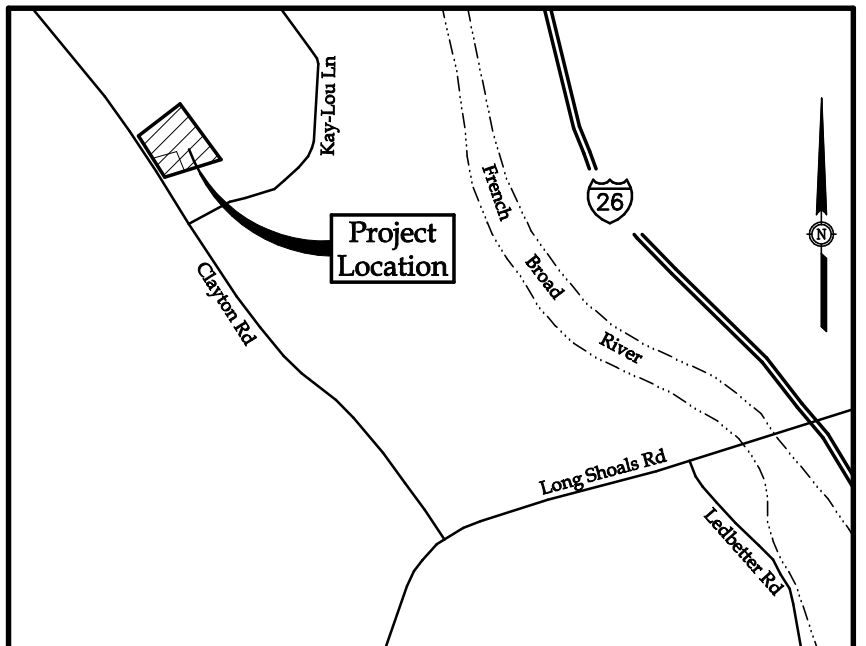
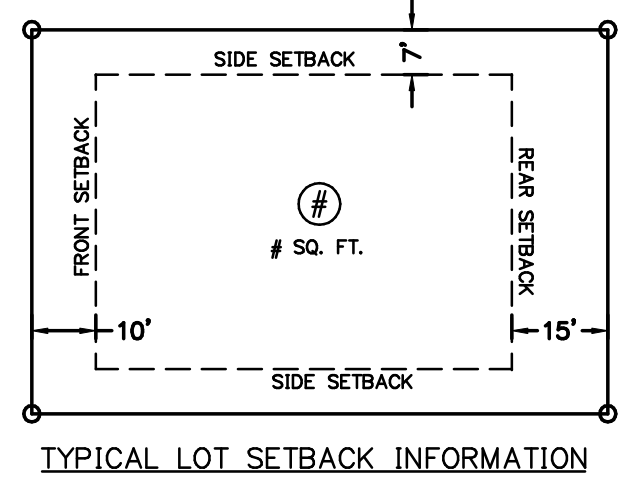
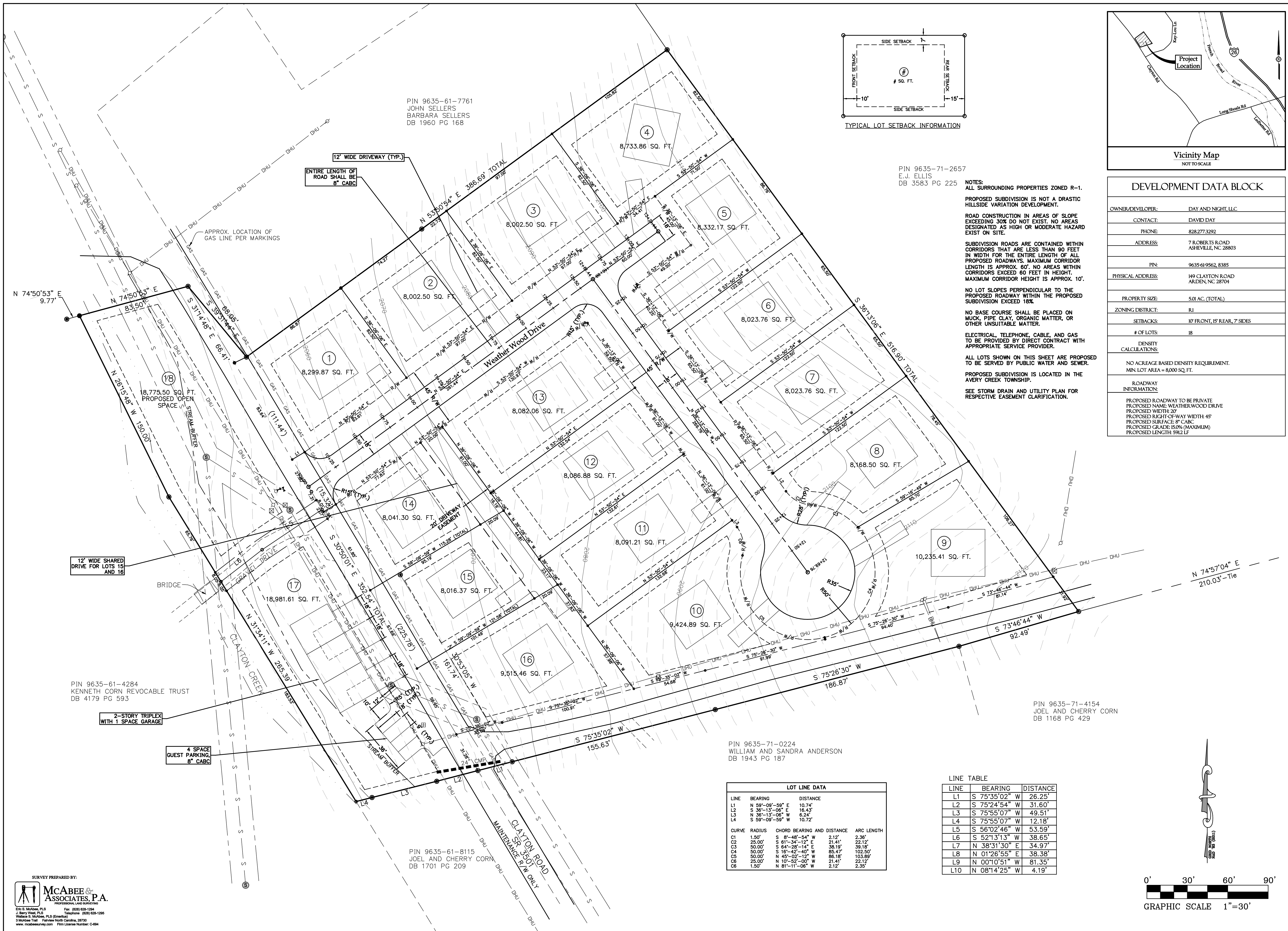
NOTES:
 ALL SURROUNDING PROPERTIES ZONED R-1.
 ALL SURROUNDING PROPERTIES ARE RESIDENTIAL USE.

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 75°35'02" W	26.25'
L2	S 75°24'54" W	31.60'
L3	S 75°55'07" W	49.51'
L4	S 75°55'07" W	12.18'
L5	S 56°02'46" W	53.59'
L6	S 52°13'13" W	38.65'
L7	N 38°31'30" E	34.97'
L8	N 01°26'55" E	38.38'
L9	N 00°10'51" W	81.35'
L10	N 08°14'25" W	4.19'



SURVEY PREPARED BY:
McABEE & ASSOCIATES, P.A.
 PROFESSIONAL LAND SURVEYORS
 Eric S. McAbee, PLS
 J. Barry West, PLS
 William S. McAbee, PLS (Electronically)
 3 McAbee Trail Fairview North Carolina, 28730
 www.mcabeesurvey.com Firm License Number: C-684



Vicinity Map
NOT TO SCALE

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PIN:	9635-61-9562, 8385
PHYSICAL ADDRESS:	149 CLAYTON ROAD ARDEN, NC 28704
PROPERTY SIZE:	5.01 AC. (TOTAL)
ZONING DISTRICT:	R1
SETBACKS:	10' FRONT, 15' REAR, 7' SIDES
# OF LOTS:	18
DENSITY CALCULATIONS:	
NO ACREAGE BASED DENSITY REQUIREMENT. MIN. LOT AREA = 8000 SQ. FT.	
ROADWAY INFORMATION:	
PROPOSED ROADWAY TO BE PRIVATE PROPOSED NAME: WEATHERWOOD DRIVE PROPOSED WIDTH: 20' PROPOSED RIGHT-OF-WAY WIDTH: 45' PROPOSED SURFACE: 8" CABC PROPOSED GRADE: 15.0% (MAXIMUM) PROPOSED LENGTH: 591.2 LF	

PIN 9635-71-2657
E.J. ELLIS
DB 3583 PG 225

NOTES:
ALL SURROUNDING PROPERTIES ZONED R-1.
PROPOSED SUBDIVISION IS NOT A DRASTIC HILLSIDE VARIATION DEVELOPMENT.
ROAD CONSTRUCTION IN AREAS OF SLOPE EXCEEDING 30% DO NOT EXIST. NO AREAS DESIGNATED AS HIGH OR MODERATE HAZARD EXIST ON SITE.
SUBDIVISION ROADS ARE CONTAINED WITHIN CORRIDORS THAT ARE LESS THAN 90 FEET IN WIDTH FOR THE ENTIRE LENGTH OF ALL PROPOSED ROADWAYS. MAXIMUM CORRIDOR LENGTH IS APPROX. 60'. NO AREAS WITHIN CORRIDORS EXCEED 60 FEET IN HEIGHT. MAXIMUM CORRIDOR HEIGHT IS APPROX. 10'.
NO LOT SLOPES PERPENDICULAR TO THE PROPOSED ROADWAY WITHIN THE PROPOSED SUBDIVISION EXCEED 18%.
NO BASE COURSE SHALL BE PLACED ON MUCK, PIPE, CLAY, ORGANIC MATTER, OR OTHER UNSUITABLE MATTER.
ELECTRICAL, TELEPHONE, CABLE, AND GAS TO BE PROVIDED BY DIRECT CONTRACT WITH APPROPRIATE SERVICE PROVIDER.
ALL LOTS SHOWN ON THIS SHEET ARE PROPOSED TO BE SERVED BY PUBLIC WATER AND SEWER.
PROPOSED SUBDIVISION IS LOCATED IN THE AVERY CREEK TOWNSHIP.
SEE STORM DRAIN AND UTILITY PLAN FOR RESPECTIVE EASEMENT CLARIFICATION.

PIN 9635-61-4284
KENNETH CORN REVOCABLE TRUST
DB 4179 PG 593

2-STORY TRIPLEX WITH 1 SPACE GARAGE

4 SPACE GUEST PARKING, 8" CABC

PIN 9635-61-8115
JOEL AND CHERRY CORN
DB 1701 PG 209

PIN 9635-71-0224
WILLIAM AND SANDRA ANDERSON
DB 1943 PG 187

PIN 9635-71-4154
JOEL AND CHERRY CORN
DB 1168 PG 429

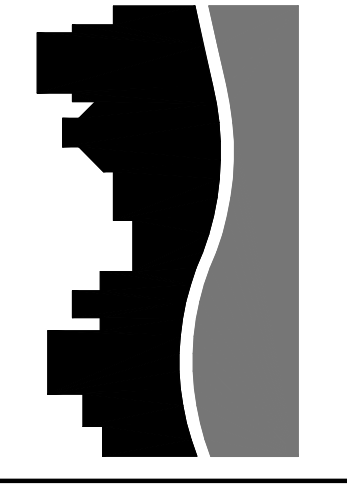
LOT LINE DATA			
LINE	BEARING	DISTANCE	
L1	N 59°-09'-50" E	10.74'	
L2	S 36°-13'-08" E	18.43'	
L3	S 38°-13'-08" W	6.24'	
L4	S 59°-09'-59" W	10.72'	
CURVE RADIUS CHORD BEARING AND DISTANCE ARC LENGTH			
C1	1.50'	S 8°-48'-54" W	2.12'
C2	25.00'	S 61°-34'-12" E	21.41'
C3	50.00'	S 64°-28'-14" E	38.19'
C4	50.00'	S 16°-42'-40" W	85.47'
C5	50.00'	N 45°-02'-12" W	86.18'
C6	25.00'	N 10°-52'-00" W	21.41'
C8	1.50'	N 81°-11'-08" W	2.12'

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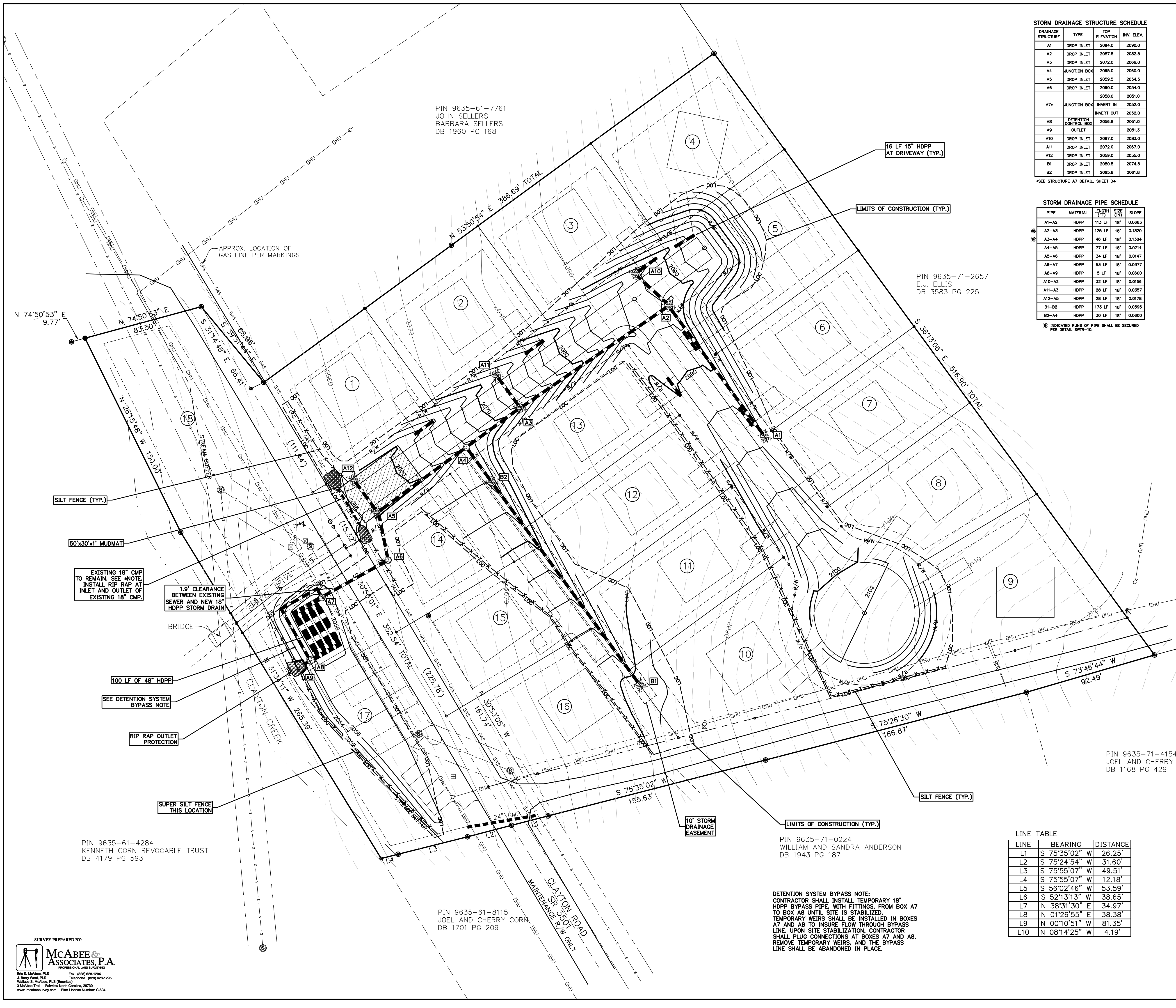
Preliminary
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Site Development Plan For
Weatherwood Subdivision
BUNCOMBE COUNTY, NORTH CAROLINA

Job No. 16117
Date: March 18, 2016
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Revision:

Layout

Sheet
C2



STORM DRAINAGE STRUCTURE SCHEDULE

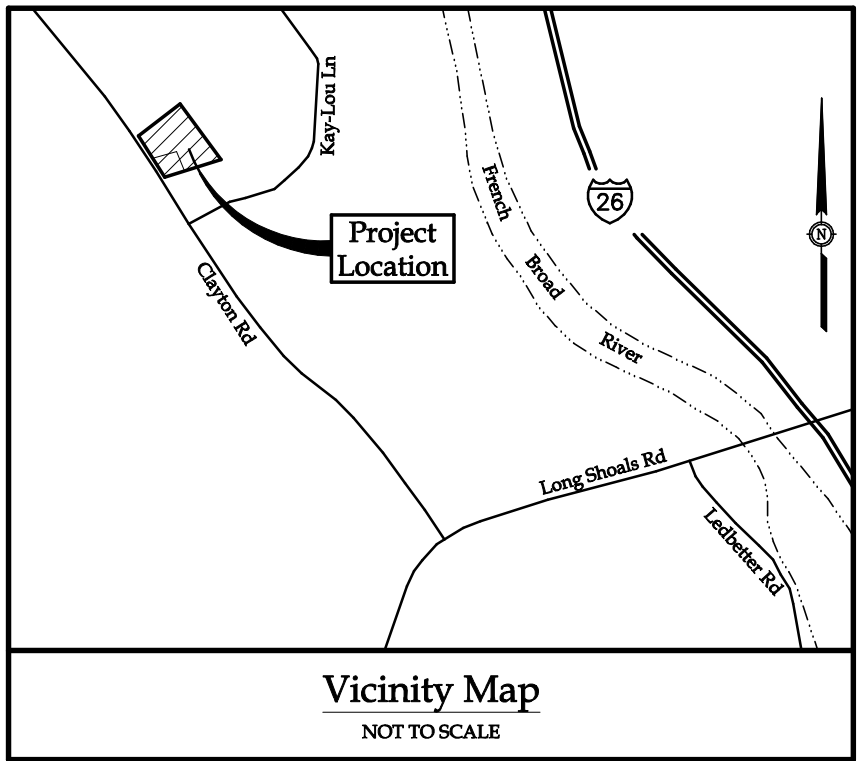
DRAINAGE STRUCTURE	TYPE	TOP ELEVATION	INV. ELEV.
A1	DROP INLET	2094.0	2090.0
A2	DROP INLET	2087.5	2082.5
A3	DROP INLET	2072.0	2066.0
A4	JUNCTION BOX	2065.0	2060.0
A5	DROP INLET	2059.5	2054.5
A6	DROP INLET	2058.0	2054.0
A7*	JUNCTION BOX	INVERT IN 2052.0	2051.0
A8	DETENTION CONTROL BOX	2056.8	2051.0
A9	OUTLET	-----	2051.3
A10	DROP INLET	2087.0	2083.0
A11	DROP INLET	2072.0	2067.0
A12	DROP INLET	2059.0	2055.0
B1	DROP INLET	2080.5	2074.5
B2	DROP INLET	2065.8	2061.8

*SEE STRUCTURE A7 DETAIL, SHEET D4

STORM DRAINAGE PIPE SCHEDULE

PIPE	MATERIAL	LENGTH (FT)	SIZE (IN)	SLOPE
A1-A2	HOPP	113 LF	18"	0.0663
A2-A3	HOPP	125 LF	18"	0.1320
A3-A4	HOPP	46 LF	18"	0.1304
A4-A5	HOPP	77 LF	18"	0.0714
A5-A6	HOPP	34 LF	18"	0.0147
A6-A7	HOPP	53 LF	18"	0.0377
A8-A9	HOPP	5 LF	18"	0.0600
A10-A2	HOPP	32 LF	18"	0.0156
A11-A3	HOPP	28 LF	18"	0.0357
A12-A5	HOPP	28 LF	18"	0.0178
B1-B2	HOPP	173 LF	18"	0.0595
B2-A4	HOPP	30 LF	18"	0.0600

* INDICATED RUNS OF PIPE SHALL BE SECURED PER DETAIL SWER-10.



DEVELOPMENT DATA BLOCK

OWNER/DEVELOPER: DAY AND NIGHT, LLC
 CONTACT: DAVID DAY
 PHONE: 828.277.3292
 ADDRESS: 7 ROBERTS ROAD, ASHEVILLE, NC 28803
 PIN: 9635-61-9562, 8385

PHYSICAL ADDRESS: 149 CLAYTON ROAD, ARDEN, NC 28704

PROPERTY SIZE: 5.01 AC. (TOTAL)
 ZONING DISTRICT: R1
 SETBACKS: 10' FRONT, 15' REAR, 7' SIDES
 # OF LOTS: 18

IMPERVIOUS AND PERVIOUS AREAS

PRE DEVELOPMENT:
 IMPERVIOUS AREA = 6,933.53 SQ. FT. (0.16 AC.)
 % SITE IMPERVIOUS = 3.17%
 PERVIOUS AREA = 21,630.54 SQ. FT. (4.86 AC.)
 % SITE PERVIOUS = 96.83%

POST DEVELOPMENT:
 IMPERVIOUS AREA = 43,922.88 SQ. FT. (0.99 AC.)
 % SITE IMPERVIOUS = 8.99%
 PERVIOUS AREA = 175,057.9 SQ. FT. (4.02 AC.)
 % SITE PERVIOUS = 80.09%

INCREASE/DECREASE:
 INCREASE AREAS = 36,578.75 SQ. FT. (0.84 AC.)
 % INCREASE = 16.74%

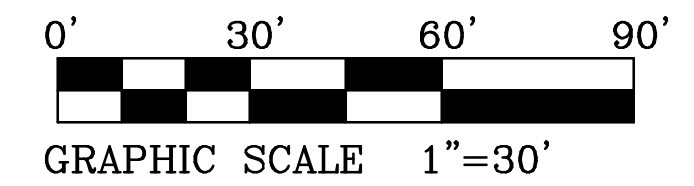
LAND DISTURBANCE: 49,599.38 SQ. FT. (1.14 AC.)
 SOIL TYPES: 63.3% EvR2, 1.1% FrA, 35.5% TaC

VOLUMES:
 FILL: 106.28 CU. YD.
 CUT: 4,268.65 CU. YD.

THESE NUMBERS ARE RAW NUMBERS AND ARE PROVIDED ONLY FOR THE GENERAL ESTIMATION OF THE MAGNITUDE OF THE PROJECT. THEY DO NOT TAKE INTO ACCOUNT REMOVAL OF TOPSOIL, UNSUITABLE SOILS, ROCKS, DEBRIS, ETC. NOR DO THEY TAKE INTO ACCOUNT PROPER COMPACTION OF FILL MATERIAL. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES BASED ON THE INFORMATION PROVIDED. THE VOLUMES LISTED SHALL NOT BE CONSIDERED ACTUAL ESTIMATED FOR THE WORK OF THE PROJECT.

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 75°35'02" W	26.25'
L2	S 75°24'54" W	31.60'
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Preliminary For Review

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Weatherwood Subdivision
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168 No. 16117
 Date: March 18, 2016
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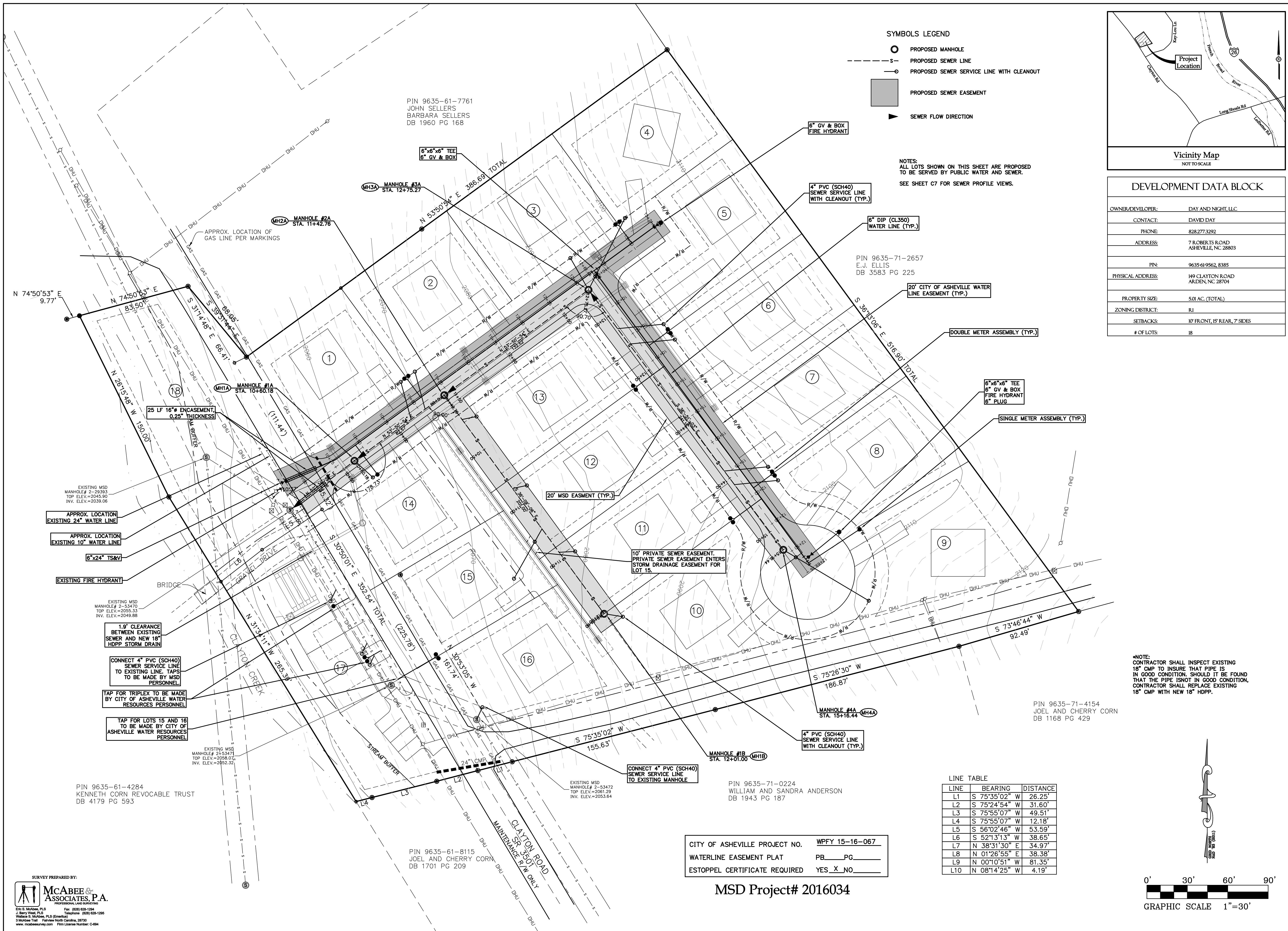
Grading, Storm Water and Erosion Control

Sheet C3

SURVEY PREPARED BY:
MCABEE & ASSOCIATES, P.A.
 PROFESSIONAL LAND SURVEYORS
 Eric S. McAbee, PLS
 J. Barry West, PLS
 William S. McAbee, PLS (Emeritus)
 3 McAbee Trail • Fairview North Carolina, 28730
 www.mcabeesurvey.com • Firm License Number: C-684

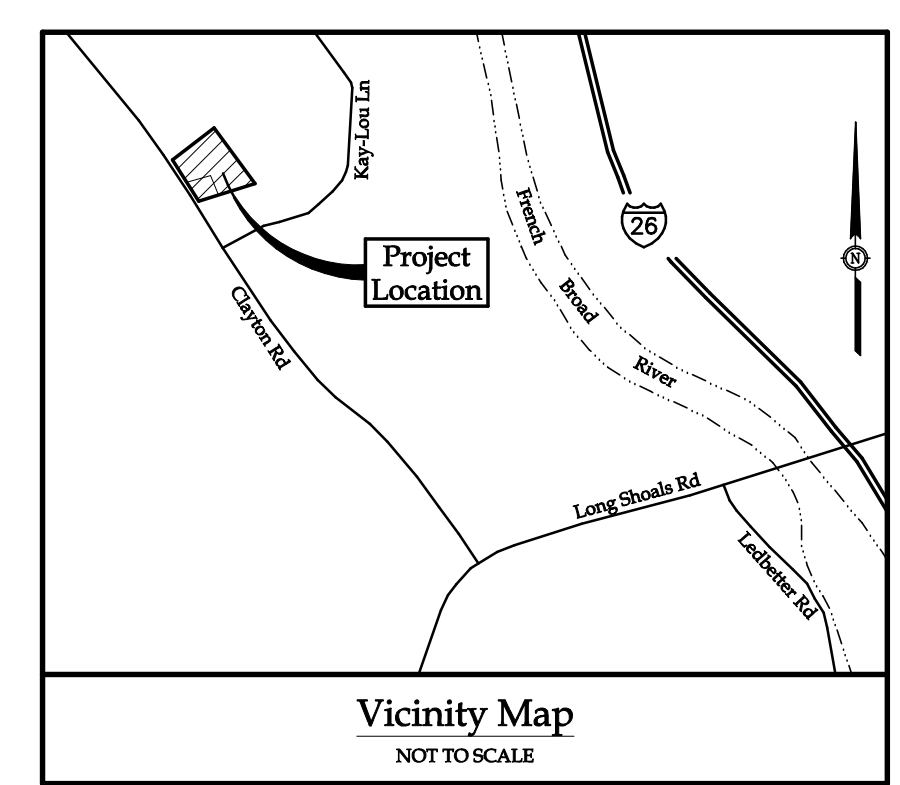
DETENTION SYSTEM BYPASS NOTE:
 CONTRACTOR SHALL INSTALL TEMPORARY 18" HDPP BYPASS PIPE, WITH FITTINGS, FROM BOX A7 TO BOX A8 UNTIL SITE IS STABILIZED. TEMPORARY WEIRS SHALL BE INSTALLED IN BOXES A7 AND A8 TO INSURE FLOW THROUGH BYPASS LINE. UPON SITE STABILIZATION, CONTRACTOR SHALL PLUG CONNECTIONS AT BOXES A7 AND A8, REMOVE TEMPORARY WEIRS, AND THE BYPASS LINE SHALL BE ABANDONED IN PLACE.

*NOTE:
 CONTRACTOR SHALL INSPECT EXISTING 18" CMP TO INSURE THAT PIPE IS IN GOOD CONDITION. SHOULD IT BE FOUND THAT THE PIPE IS NOT IN GOOD CONDITION, CONTRACTOR SHALL REPLACE EXISTING 18" CMP WITH NEW 18" HDPP.



- SYMBOLS LEGEND**
- PROPOSED MANHOLE
 - - - PROPOSED SEWER LINE
 - - - PROPOSED SEWER SERVICE LINE WITH CLEANOUT
 - PROPOSED SEWER EASEMENT
 - ▶ SEWER FLOW DIRECTION

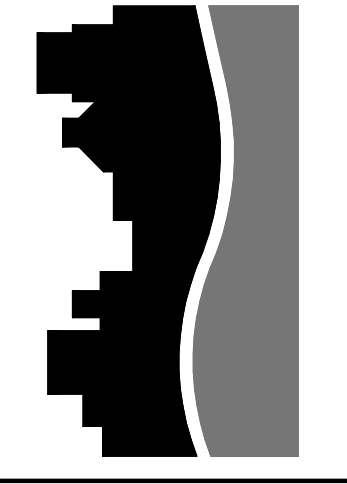
NOTES:
ALL LOTS SHOWN ON THIS SHEET ARE PROPOSED TO BE SERVED BY PUBLIC WATER AND SEWER.
SEE SHEET C7 FOR SEWER PROFILE VIEWS.



DEVELOPMENT DATA BLOCK

OWNER/DEVELOPER:	DAY AND NIGHT, LLC
CONTACT:	DAVID DAY
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Job No. 16117
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Utilities
Sheet
C4

LINE TABLE

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CITY OF ASHEVILLE PROJECT NO. WPFY 15-16-067
WATERLINE EASEMENT PLAT PB PG
ESTOPPEL CERTIFICATE REQUIRED YES X NO

MSD Project# 2016034



SURVEY PREPARED BY:
MCABEE & ASSOCIATES, P.A.
Eric S. McAbee, PLS
J. Barry West, PLS
William S. McAbee, PLS (Surrendered)
3 McAbee Trail Fairview North Carolina, 28730
www.mcaabee.com Firm License Number: C-684

PIN 9635-61-4284
KENNETH CORN REVOCABLE TRUST
DB 4179 PG 593

EXISTING MSD MANHOLE # 2-53470
TOP ELEV. = 2055.33
INV. ELEV. = 2049.88

EXISTING MSD MANHOLE # 2-29393
TOP ELEV. = 2045.90
INV. ELEV. = 2039.06

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

PIN 9635-61-8115
JOEL AND CHERRY CORN
DB 1701 PG 209

EXISTING MSD MANHOLE # 21-53471
TOP ELEV. = 2058.07
INV. ELEV. = 2052.32

EXISTING MSD MANHOLE # 2-53470
TOP ELEV. = 2055.33
INV. ELEV. = 2049.88

EXISTING MSD MANHOLE # 2-29393
TOP ELEV. = 2045.90
INV. ELEV. = 2039.06

EXISTING MSD MANHOLE # 2-29393
TOP ELEV. = 2045.90
INV. ELEV. = 2039.06

PIN 9635-61-8115
JOEL AND CHERRY CORN
DB 1701 PG 209

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

PIN 9635-61-4284
KENNETH CORN REVOCABLE TRUST
DB 4179 PG 593

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

EXISTING MSD MANHOLE # 2-53472
TOP ELEV. = 2061.29
INV. ELEV. = 2053.64

EXISTING MSD MANHOLE # 2-53470
TOP ELEV. = 2055.33
INV. ELEV. = 2049.88

EXISTING MSD MANHOLE # 2-29393
TOP ELEV. = 2045.90
INV. ELEV. = 2039.06

EXISTING MSD MANHOLE # 2-29393
TOP ELEV. = 2045.90
INV. ELEV. = 2039.06

EXISTING MSD MANHOLE # 2-29393
TOP ELEV. = 2045.90
INV. ELEV. = 2039.06

PIN 9635-61-0224
WILLIAM AND SANDRA ANDERSON
DB 1943 PG 187

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

PIN 9635-61-4284
KENNETH CORN REVOCABLE TRUST
DB 4179 PG 593

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

MANHOLE #1B (MH1B)
STA. 12+01.00

MANHOLE #4A (MH4A)
STA. 15+16.44

MANHOLE #3A (MH3A)
STA. 12+73.27

MANHOLE #2A (MH2A)
STA. 11+42.76

MANHOLE #1A (MH1A)
STA. 10+60.18

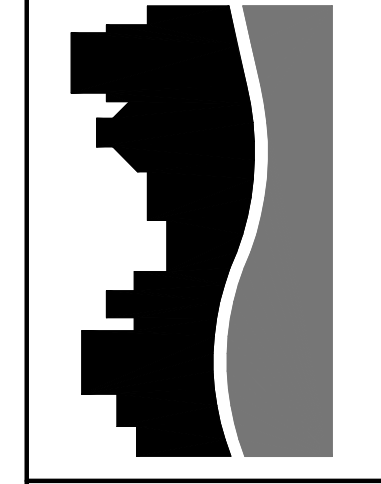
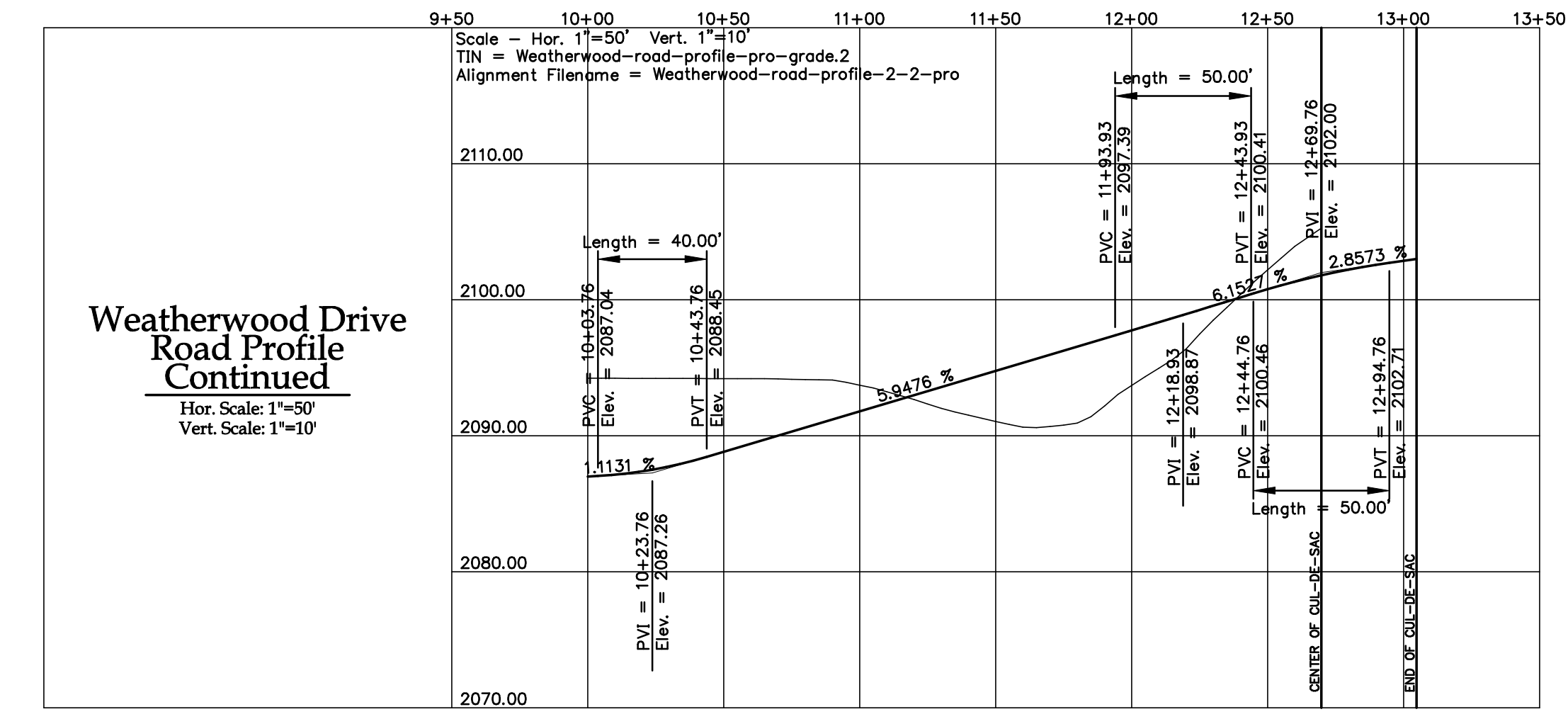
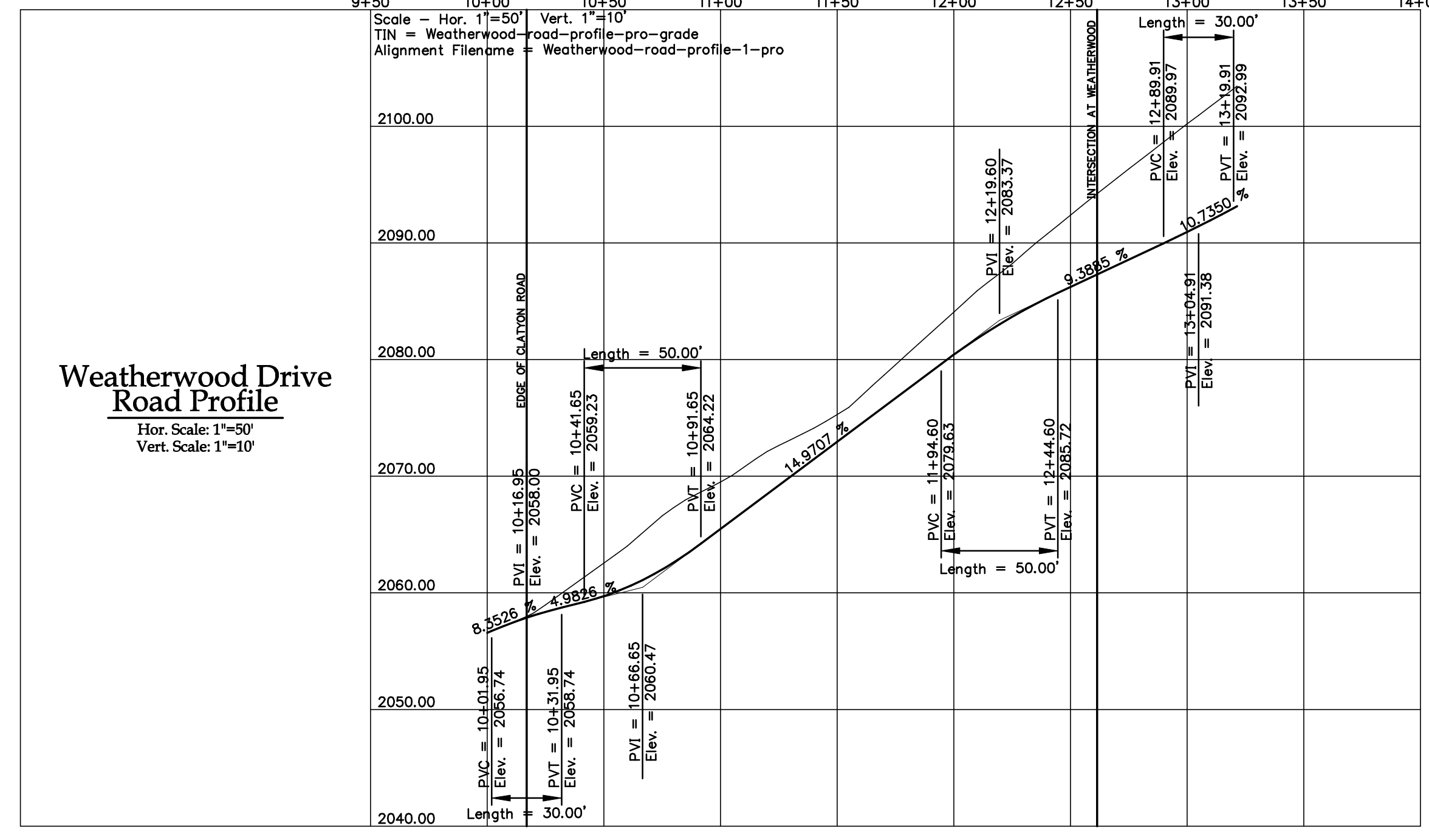
PIN 9635-61-4154
JOEL AND CHERRY CORN
DB 1168 PG 429

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168

PIN 9635-61-7761
JOHN SELLERS
BARBARA SELLERS
DB 1960 PG 168



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Preliminary
 For Review

Site Development Plan For
Weatherwood Subdivision
 BUNCOMBE COUNTY, NORTH CAROLINA

Job No. 16117
 Date March 18, 2016
 Scale: 1"=50'
 Revision:

Road Profiles

Sheet
C5

Buncombe County Planning Board Meeting
Recommended Staff Conditions
April 18, 2016
SUB2016-00117
Weatherwood Subdivision

If approved by the Buncombe County Planning Board, the applicant shall provide the following information on a revised set of plans (if necessary) submitted to the Buncombe County Department of Planning and Development:

1. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
2. Provide a written statement from the Buncombe County Stormwater Administrator stating that a Stormwater Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Control permit is obtained.*
3. Provide a copy of the approved North Carolina Department of Transportation driveway permit.
4. Provide proof of approval of system design for City of Asheville water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee. If existing water lines are adequate and no additional construction is required, provide a statement from the City of Asheville indicating such.
5. Provide proof of approval of system design for MSD sewer lines. Proof of acceptance of the sewer lines into the MSD sewer system will be required prior to recordation of a final plat or release of a financial guarantee.
6. Indicate on revised plans that two feet of additional drivable surface will be provided on the roads within the subdivision capable of supporting a fire apparatus weighing at least 75,000 pounds.
7. Provide proof of approval of E-911 addressing or indicate approved addresses and road names on final plat.