

PINNERS COVE SUBDIVISION

BUNCOMBE COUNTY, NORTH CAROLINA

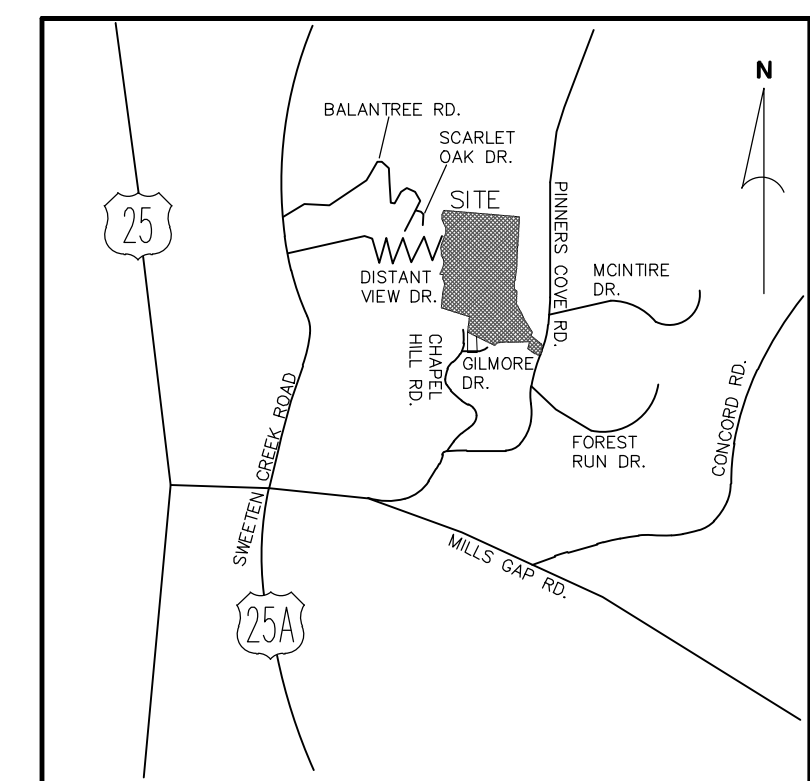
PREPARED FOR:

KLP PINNERS EAT, LLC
222 SOUTH NINTH STREET, SUITE 1600
MINNEAPOLIS, MN 55402
DANIEL PERKINS
(561) 870-2468

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VICINITY MAP
(NOT TO SCALE)



Know what's **below**.
Call before you dig.

DEVELOPMENT DATA

OWNER/DEVELOPER: KLP PINNERS EAT, LLC
222 SOUTH NINTH STREET, SUITE 1600
MINNEAPOLIS, MN 55402

CONTACT: DANIEL PERKINS
(561) 870-2468

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
ASHEVILLE, NC 28801
CONTACT: MICHAEL CAIN, P.E.
(828) 252-5388

ARCHITECT: DORAN ARCHITECTURE
7803 GLENROY RD, SUITE 200
BLOOMINGTON, MN 55439

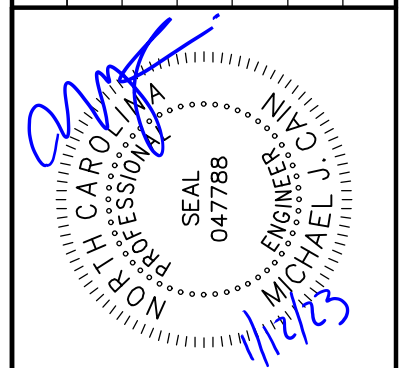
CONTACT: JACQUEL HAUDER
(952) 641-9408

CDC **Civil Design Concepts, PA**
52 WALNUT STREET SUITE A
WAYNESVILLE, NC 27686
PHONE (833) 456-4410
PHONE (833) 456-5445
www.civildesignconcepts.com

168 PATTON AVENUE
SUITE 100
WAYNESVILLE, NC 27686
PHONE (833) 456-5390
PHONE (833) 456-5395
FAX (833) 456-5395

NOBELS LICENSE #: C-2184

NO.	DATE	DESCRIPTION	BY
1	5/20/22	BUNCOMBE COUNTY SUBMITTAL	SRP
2	10/11/22	AGENCY SUBMITTALS	SRP
3	11/7/22	UTILITY SUBMITTALS	SDE
4	11/17/22	AGENCY SUBMITTALS	JCP
5	1/12/23	AGENCY SUBMITTALS	SRP



POWER FOR:

PINNERS COVE SUBDIVISION

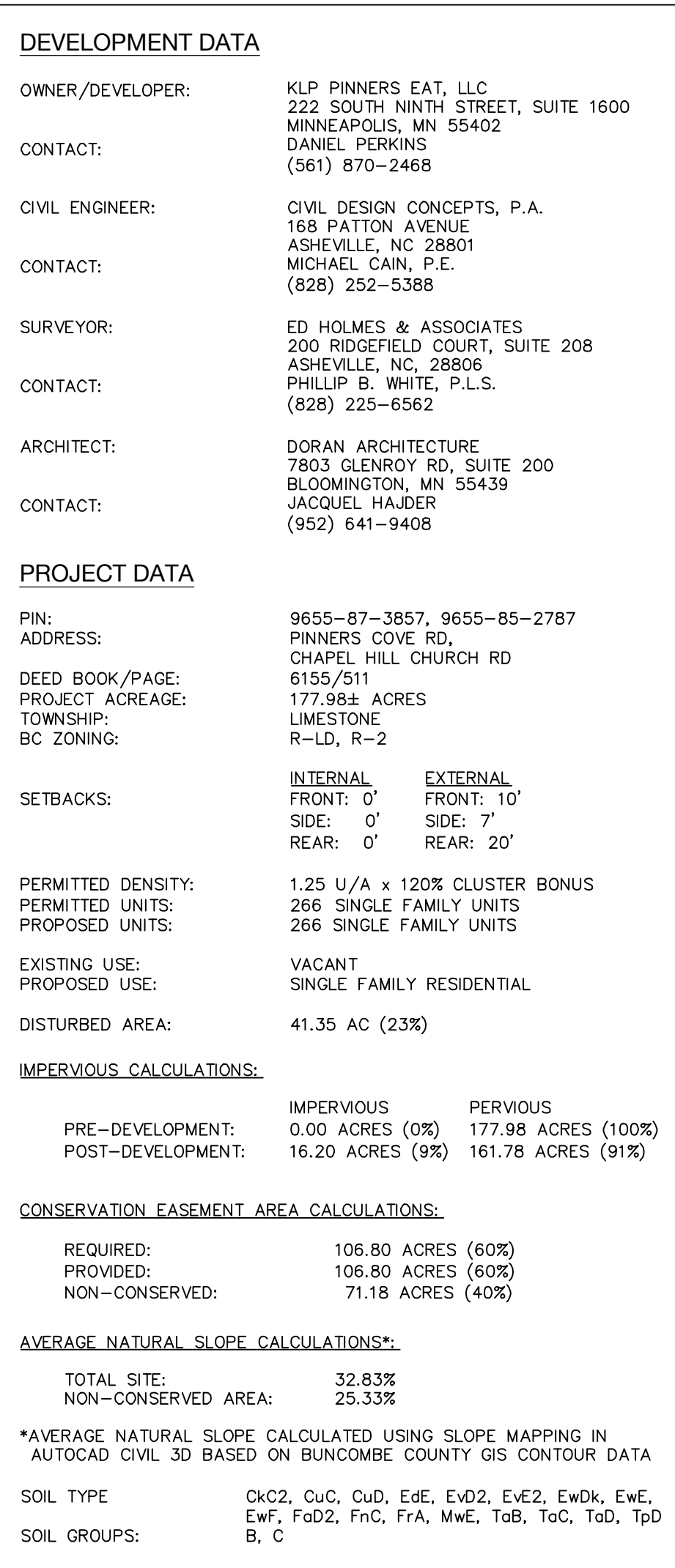
PULP PINNERS EAT, LLC - BUNCOMBE COUNTY, NORTH CAROLINA

DRAWN BY:	SRP
CDC PROJECT NO.:	12143
BC PERMIT NO.	TBD

SHEET

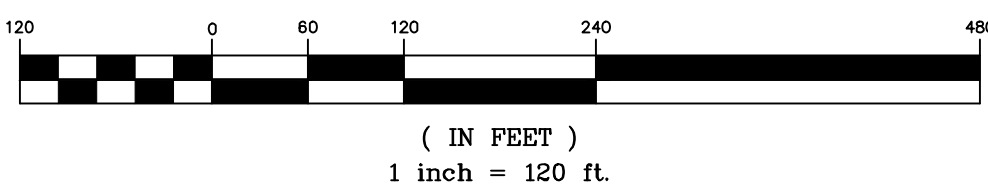
C000

1. ALL SITEWORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY STANDARDS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS.
2. SINGLE-PHASE CONSTRUCTION.
3. ALL WORK MUST BE PERFORMED BY A **NORTH CAROLINA** LICENSED CONTRACTOR.
4. TO SCHEDULE THE REQUIRED INSPECTIONS ON ALL WORK, CALL THE CIVIL DESIGN CONCEPTS INSPECTIONS HOTLINE AT 828-771-7765, OR EMAIL AT INSPECTIONS@CDCCO.COM. FAILURE TO SCHEDULE INSPECTIONS MAY RESULT IN UNCOVERING OR REDOING WORK
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXACT LOCATION AND ELEVATION FOR ALL UTILITIES PRIOR TO CONSTRUCTION; AND TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES. THE LOCATION OF SOME UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATED. ALL BURIED UTILITIES HAVE NOT BEEN SHOWN ON THE PLANS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATION PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES (SHOWN TO REMAIN) AND NEWLY COMPLETED WORK DURING CONSTRUCTION. ANY DAMAGE INCURRED DURING OR RESULTING FROM CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION ACTIVITY IS TO BEGIN. THE CONTRACTOR SHALL NOTIFY ULOCO AT 1-800-632-4949 OR 811, 72 HOURS BEFORE CONSTRUCTION BEGINS.
8. SIDEWALKS SHALL BE CONSTRUCTED IN ORDER TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. A MAXIMUM OF 5% SIDEWALK/CROSSWALK LONGITUDINAL SLOPE OR AS SHOWN ON ROAD PROFILES IS PERMITTED. A MAXIMUM OF 1/4" PER FOOT SIDEWALK/CROSSWALK CROSS SLOPE IS PERMITTED. ANY SIDEWALK/CROSSWALK INSTALLED WITH A STEEPER SLOPE SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
9. ALL RADI LUST ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. ALL PARKING LOT RADII ARE 10' UNLESS OTHERWISE NOTED.
10. ALL ROAD/PARKING LOT IMPROVEMENTS, STRIPING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICE (MUTCD). CONTRACTOR MAY USE A FIBER SUEDE SURFACE FOR ASPHALT TREATMENT IN LIEU OF THERMOPLASTIC WITH PRIOR APPROVAL FROM THE ENGINEER.
11. CURB END TREATMENT TO BE APPLIED TO ALL CURB ENDS. REFER TO CURB END TREATMENT DETAIL.
12. PROPOSED ROADS TO BE **PRIVATE**. **NCDOT** IS NOT RESPONSIBLE FOR ANY ROAD MAINTENANCE.
13. NO PROPOSED LOT SLOPE PERPENDICULAR TO THE ROAD EXCEEDS **15%**
14. SITE LIGHTING TO BE PROVIDED IN ACCORDANCE WITH BUNCOMBE COUNTY ORDINANCES.



NORTH

GRAPHIC SCALE



62 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 28786
PHONE (828) 452-4410

www.civildisasterconcepts.com

NCR 611 CENCE #. C 3184

NO.	DATE	DESCRIPTION	BY
1	5/20/22	BUNCOMBE COUNTY SUBMITTAL	SRP
2	10/11/22	AGENCY SUBMITTALS	SRP
4	11/17/22	AGENCY SUBMITTALS	JCP
5	1/12/23	AGENCY SUBMITTALS	SRP

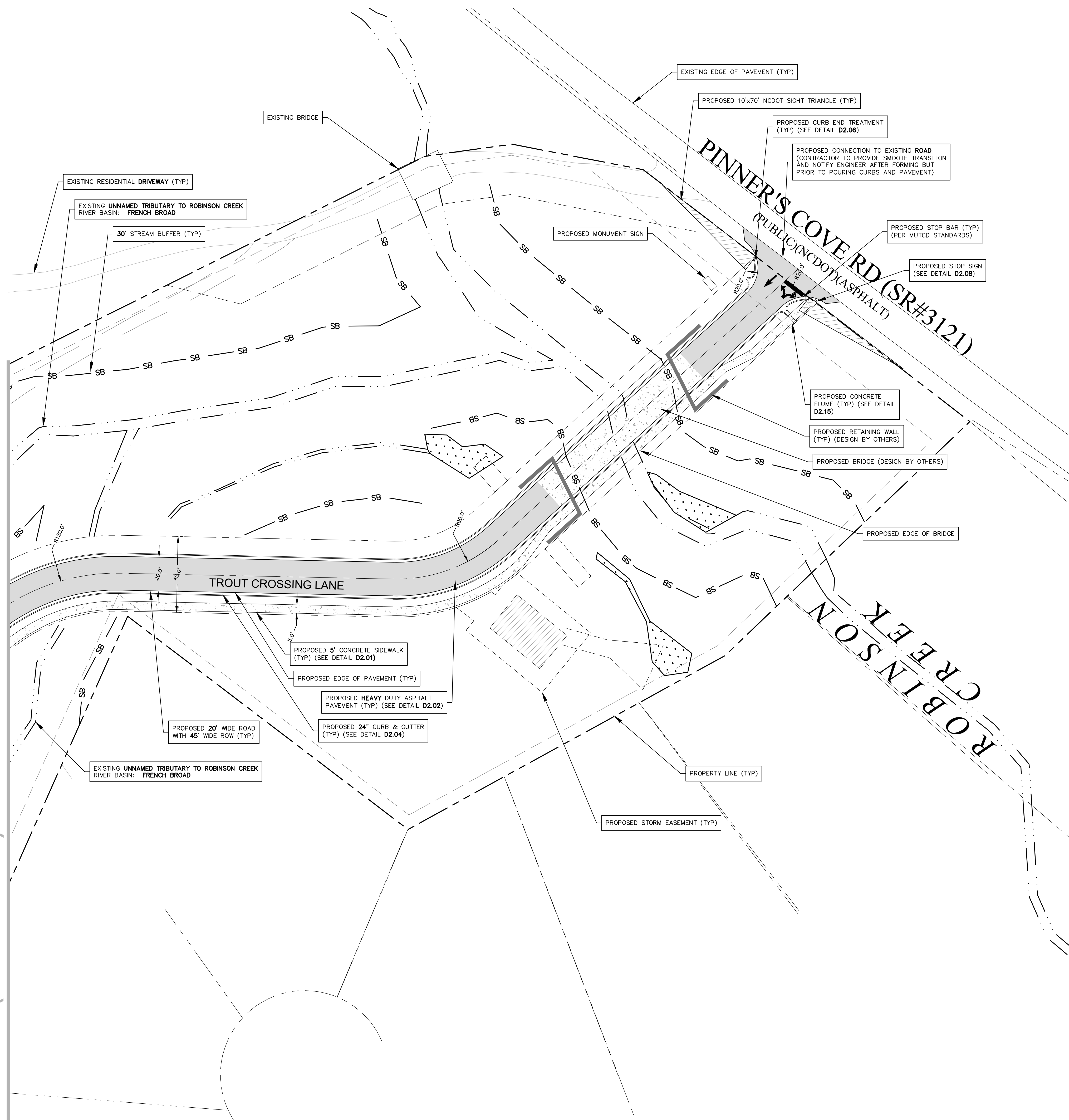


KIP PINNERS F&T LLC - BUNCOMBE COUNTY, NORTH CAROLINA

SHEET

C200

1. ALL SITEWORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY STANDARDS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS.
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12. PROPOSED ROADS TO BE **PRIVATE**. **NCDOT** IS NOT RESPONSIBLE FOR ANY ROAD MAINTENANCE.
13. NO PROPOSED LOT SLOPE PERPENDICULAR TO THE ROAD EXCEEDS 18%
14. SITE LIGHTING TO BE PROVIDED IN ACCORDANCE WITH BUNCOMBE COUNTY ORDINANCES.



DEVELOPMENT DATA

OWNER/DEVELOPER:	KLP PINNERS EAT, LLC 222 SOUTH NINTH STREET, SUITE 1000 MINNEAPOLIS, MN 55402
CONTACT:	DANIEL PERKINS (561) 870-2468
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801
CONTACT:	MICHAEL CAIN, P.E. (828) 252-5388
SURVEYOR:	ED HOLMES & ASSOCIATES 200 RIDGEFIELD COURT, SUITE 208 ASHEVILLE, NC, 28806
CONTACT:	PHILLIP B. WHITE, P.L.S. (828) 225-6562
ARCHITECT:	DORAN ARCHITECTURE 7803 GLENROY RD, SUITE 200 BLOOMINGTON, MN 55439
CONTACT:	JACQUEL HAUJER (952) 641-9408

PROJECT DATA

PIN:	9655-87-3857, 9655-85-2787								
ADDRESS:	PINNERS COVE RD, CHAPEL HILL CHURCH RD 6155/911								
DEED BOOK/PAGE:	177.98± ACRES								
PROJECT ACREAGE:	LIMESTONE								
TOWNSHIP:	R-LD, R-2								
BC ZONING:									
SETBACKS:	<table><tbody><tr><td>INTERNAL</td><td>EXTERNAL</td></tr><tr><td>FRONT: 0'</td><td>FRONT: 10'</td></tr><tr><td>0'</td><td>SIDE: 7'</td></tr><tr><td>REAR: 0'</td><td>REAR: 20'</td></tr></tbody></table>	INTERNAL	EXTERNAL	FRONT: 0'	FRONT: 10'	0'	SIDE: 7'	REAR: 0'	REAR: 20'
INTERNAL	EXTERNAL								
FRONT: 0'	FRONT: 10'								
0'	SIDE: 7'								
REAR: 0'	REAR: 20'								
PERMITTED DENSITY:	1.25 U/A x 120'x CLUSTER BONUS								
PERMITTED UNITS:	266 SINGLE FAMILY UNITS								
PROPOSED UNITS:	266 SINGLE FAMILY UNITS								
EXISTING USE:	VACANT								
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL								
DISTURBED AREA:	41.35 AC (23%)								

IMPERVIOUS CALCULATIONS:

	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT:	0.00 ACRES (0%)	177.98 ACRES (100%)
POST-DEVELOPMENT:	16.20 ACRES (9%)	161.78 ACRES (91%)

CONSERVATION EASEMENT AREA CALCULATIONS:

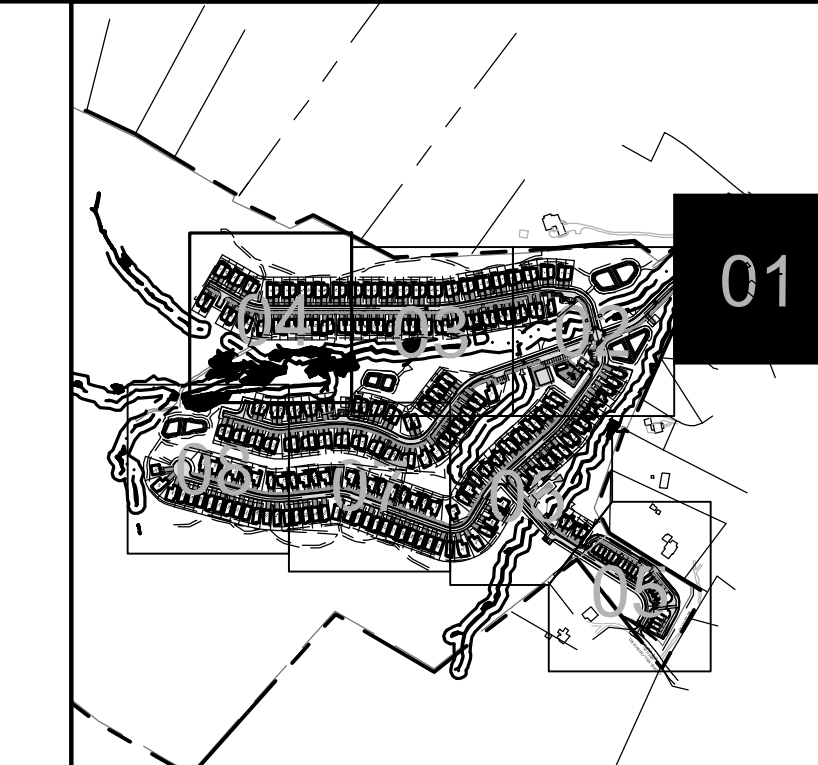
REQUIRED:	106.80 ACRES (60%)
PROVIDED:	106.80 ACRES (60%)
NON-CONSERVED:	71.18 ACRES (40%)

AVERAGE NATURAL SLOPE CALCULATIONS*:

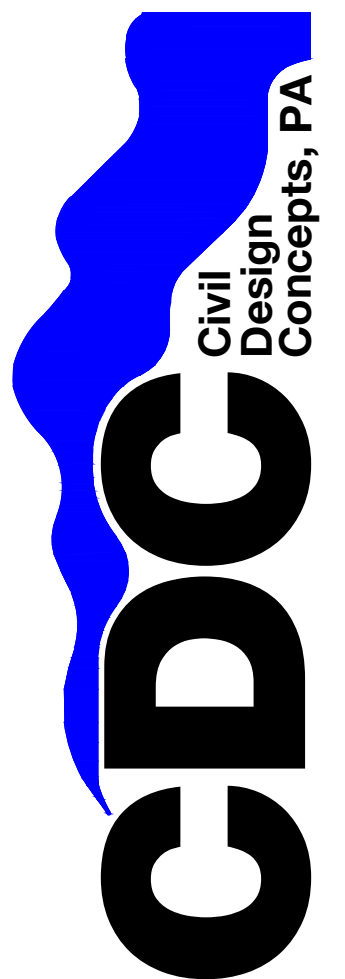
TOTAL SITE:	32.83%
NON-CONSERVED AREA:	25.33%

*AVERAGE NATURAL SLOPE CALCULATED USING SLOPE MAPPING IN AUTOCAD CIVIL 3D BASED ON BUNCOMBE COUNTY GIS CONTOUR DATA

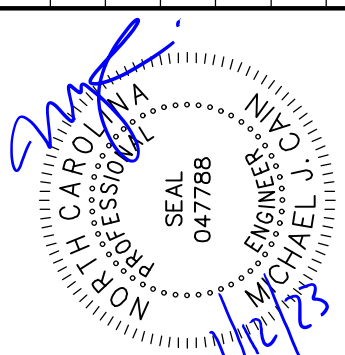
SOIL TYPE	CkC2, CuC, CuD, E4E, E4D2, E4E2, E4Dk, E4E, E4F, FdD2, F4C, F4A, F4E, TaB, TaC, TaD, T4D
SOIL GROUPS:	B, C



**NUT STREET - SUITE 9
YNESVILLE, NC 28786
PHONE (828) 452-4410**



1	5/20/22	BUNCOMBE COUNTY SUBMITTAL	SRP
2			
3	10/11/22	AGENCY SUBMITTALS	SRP
4	11/17/22	AGENCY SUBMITTALS	JCP
5	1/12/23	AGENCY SUBMITTALS	SRP



SITE PLAN FOR:

PINNERS COVE SUBDIVISION

DRAWN BY:	SR
CDC PROJECT NO.:	1214
BC PERMIT NO.	TB

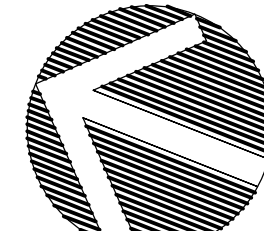
SHEET

C201

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



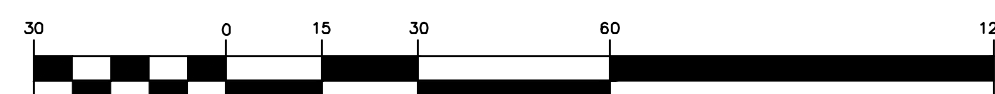
Know what's below.
Call before you dig.



NORTH

SITE PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft

NOTES

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- CURB END TREATMENT TO BE APPLIED TO ALL CURB ENDS. REFER TO CURB END TREATMENT DETAIL.
- PROPOSED ROADS TO BE **PRIVATE**. **NC DOT IS NOT RESPONSIBLE** FOR ANY ROAD MAINTENANCE.
- NO PROPOSED LOT SLOPE PERPENDICULAR TO THE ROAD EXCEEDS 18%.
- SITE LIGHTING TO BE PROVIDED IN ACCORDANCE WITH BUNCOMBE COUNTY ORDINANCES.

PROPOSED 9'x18' STANDARD PARKING SPACE (TYP)

PROPOSED RETAINING WALL MAX HEIGHT 6.5' (DESIGN BY OTHERS)

PROPOSED LIGHT DUTY ASPHALT PAVEMENT (TYP) (SEE DETAIL D2.03)

PROPOSED 2 - 8'x18' ADA PARKING SPACES (TYP)
1 - 8' WIDE VAN-ACCESSIBLE LOADING AISLE (SEE DETAIL D2.10)
2 - WHEEL STOPS (SEE DETAIL D2.11)
2 - HANDICAP PARKING SIGNS (SEE DETAIL D2.09)
1 - WHEELCHAIR RAMPS (TYP) (SEE DETAIL D2.12)

NOTES:
-HC SYMBOLS TO NOT BE STRIPED

PROPOSED AMENITY CENTER

PROPOSED PICKLEBALL COURTS

PROPOSED RETAINING WALL MAX HEIGHT 5' (DESIGN BY OTHERS)

SITE LEGEND

PROPERTY LINE

SETBACK LINE

RIGHT OF WAY LINE

SAWCUT LINE

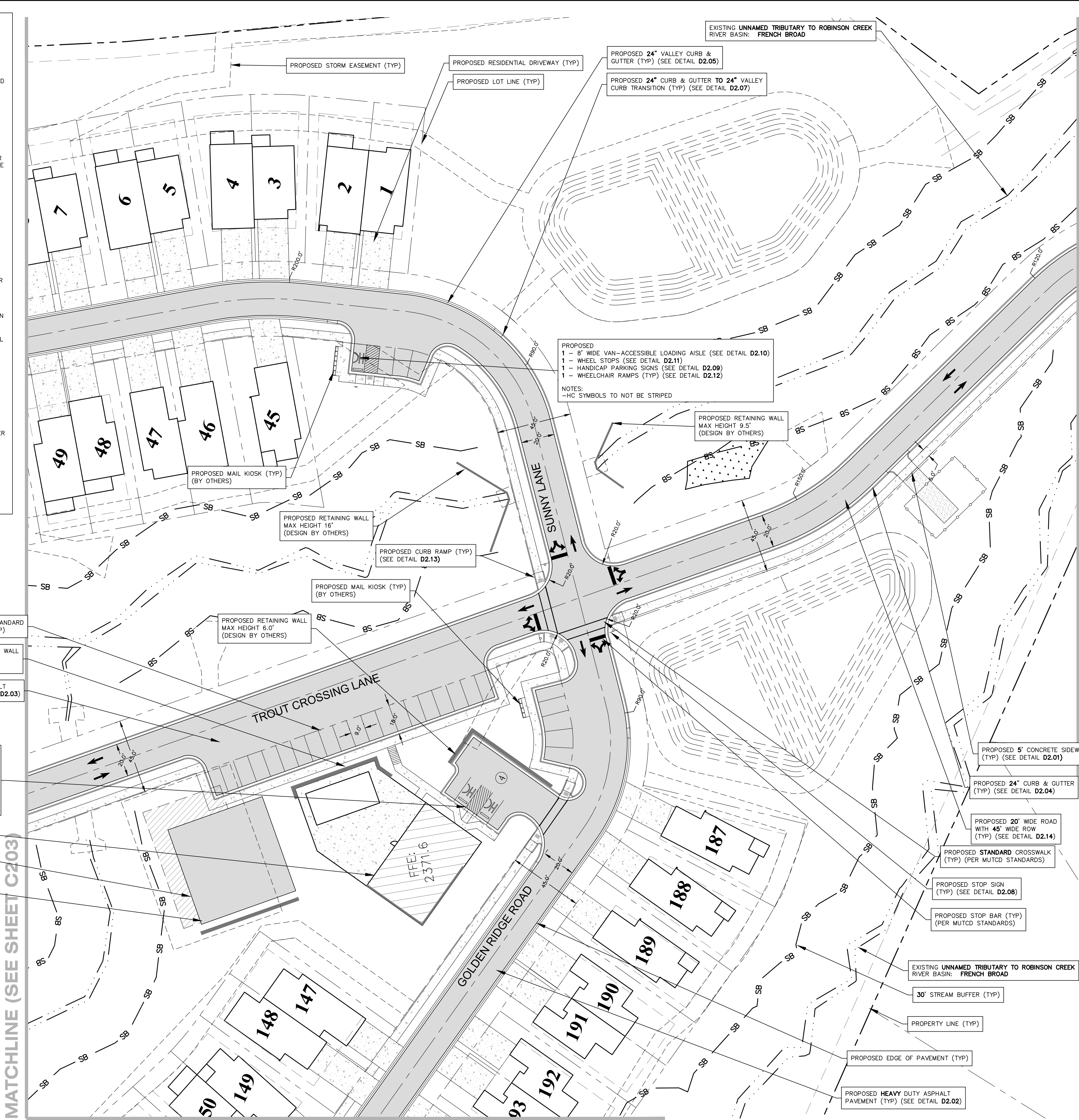
PROPOSED SIGHT TRIANGLE

PROPOSED HEAVY DUTY PAVEMENT

PROPOSED LIGHT DUTY PAVEMENT

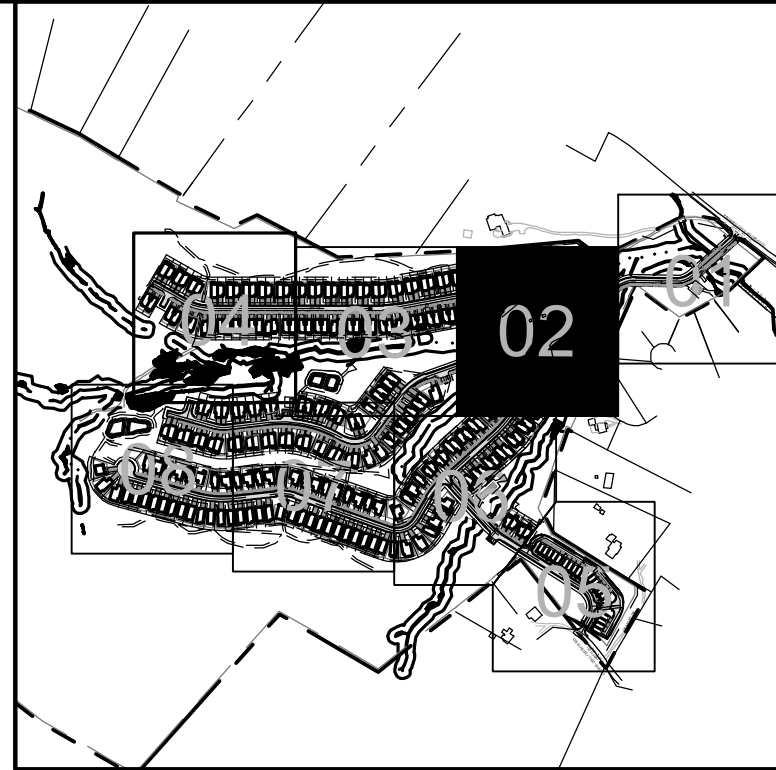
PROPOSED CONCRETE SIDEWALK

PROPOSED OPEN SPACE



MATCHLINE (SEE SHEET C201)

MATCHLINE (SEE SHEET C206)



DEVELOPMENT DATA

OWNER/DEVELOPER: KLP PINNERS EAT, LLC
222 SOUTH NINTH STREET, SUITE 1600
MINNEAPOLIS, MN 55402
DANIEL PERKINS
(561) 870-2468

CONTACT:

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
ASHEVILLE, NC 28801
MICHAEL CAIN, P.E.
(828) 252-5388

CONTACT:

SURVEYOR: ED HOLMES & ASSOCIATES
200 RIDGEFIELD COURT, SUITE 208
ASHEVILLE, NC 28806
PHILLIP B. WHITE, P.L.S.
(828) 225-6562

CONTACT:

ARCHITECT: DORAN ARCHITECTURE
7803 GLENROY RD, SUITE 200
BLOOMINGTON, MN 55439
JACQUEL HAUDER
(952) 641-9408

CONTACT:

PROJECT DATA

PIN: 9655-87-3857, 9655-85-2787

ADDRESS: PINNERS COVE RD,
CHAPEL HILL CHURCH RD
6155/511

DEED BOOK/PAGE: 177.98± ACRES
PROJECT ACREAGE: LIMESTONE
TOWNSHIP: R-LD, R-2

SETBACKS: INTERNAL FRONT: 0' SIDE: 0' REAR: 20'
EXTERNAL FRONT: 10' SIDE: 7' REAR: 20'

PERMITTED DENSITY: 1.25 U/A x 120% CLUSTER BONUS
PERMITTED UNITS: 266 SINGLE FAMILY UNITS
PROPOSED UNITS: 266 SINGLE FAMILY UNITS

EXISTING USE: VACANT
PROPOSED USE: SINGLE FAMILY RESIDENTIAL

DISTURBED AREA: 41.35 AC (23%)

IMPERVIOUS CALCULATIONS:

PRE-DEVELOPMENT: IMPERVIOUS 0.00 ACRES (0%) PERVIOUS 177.98 ACRES (100%)
POST-DEVELOPMENT: 16.20 ACRES (9%) 161.78 ACRES (91%)

CONSERVATION EASEMENT AREA CALCULATIONS:

REQUIRED: 106.80 ACRES (60%)
PROVIDED: 106.80 ACRES (60%)
NON-CONSERVED: 71.18 ACRES (40%)

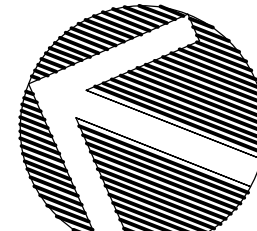
AVERAGE NATURAL SLOPE CALCULATIONS*:

TOTAL SITE: 32.83%
NON-CONSERVED AREA: 25.33%

*AVERAGE NATURAL SLOPE CALCULATED USING SLOPE MAPPING IN AUTOCAD CIVIL 3D BASED ON BUNCOMBE COUNTY GIS CONTOUR DATA

SOIL TYPE CkC2, CuC, CuD, EdE, EvD2, EvE2, EwDk, EwE,
EwF, FoD2, FnC, FrA, MwE, ToB, ToC, ToD, TpD
SOIL GROUPS: B, C

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



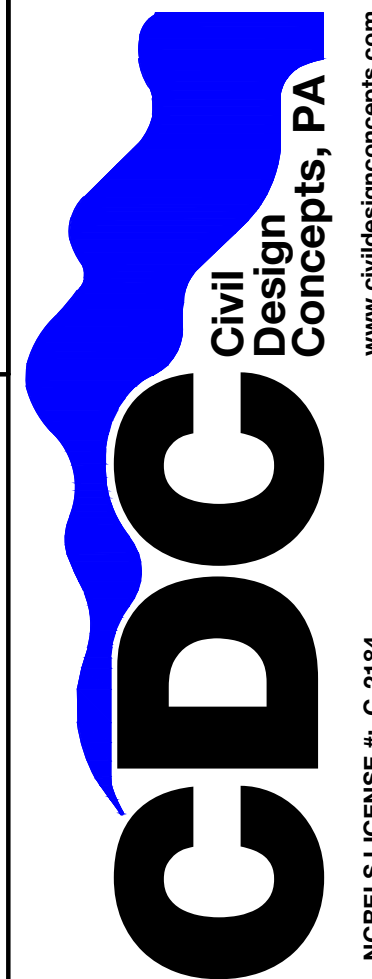
SITE PLAN

GRAPHIC SCALE

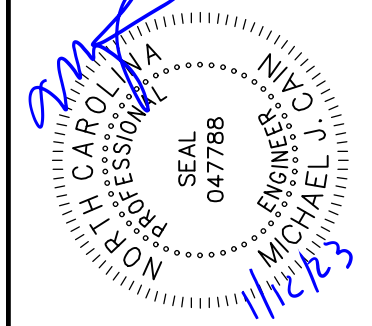


168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385

52 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 28786
PHONE (828) 462-4410
FAX (828) 462-5655



SRP	BY	DESCRIPTION	DATE	NO.
BUNCOMBE COUNTY SUBMITTAL				
SRP		AGENCY SUBMITTALS	5/20/22	1
SRP		AGENCY SUBMITTALS	10/11/22	2
SRP		AGENCY SUBMITTALS	11/17/22	4
SRP		AGENCY SUBMITTALS	1/12/23	5



PINNERS COVE SUBDIVISION

SITE PLAN FOR:

DRAWN BY: CDC PROJECT NO.: 12143
BC PERMIT NO. TBD

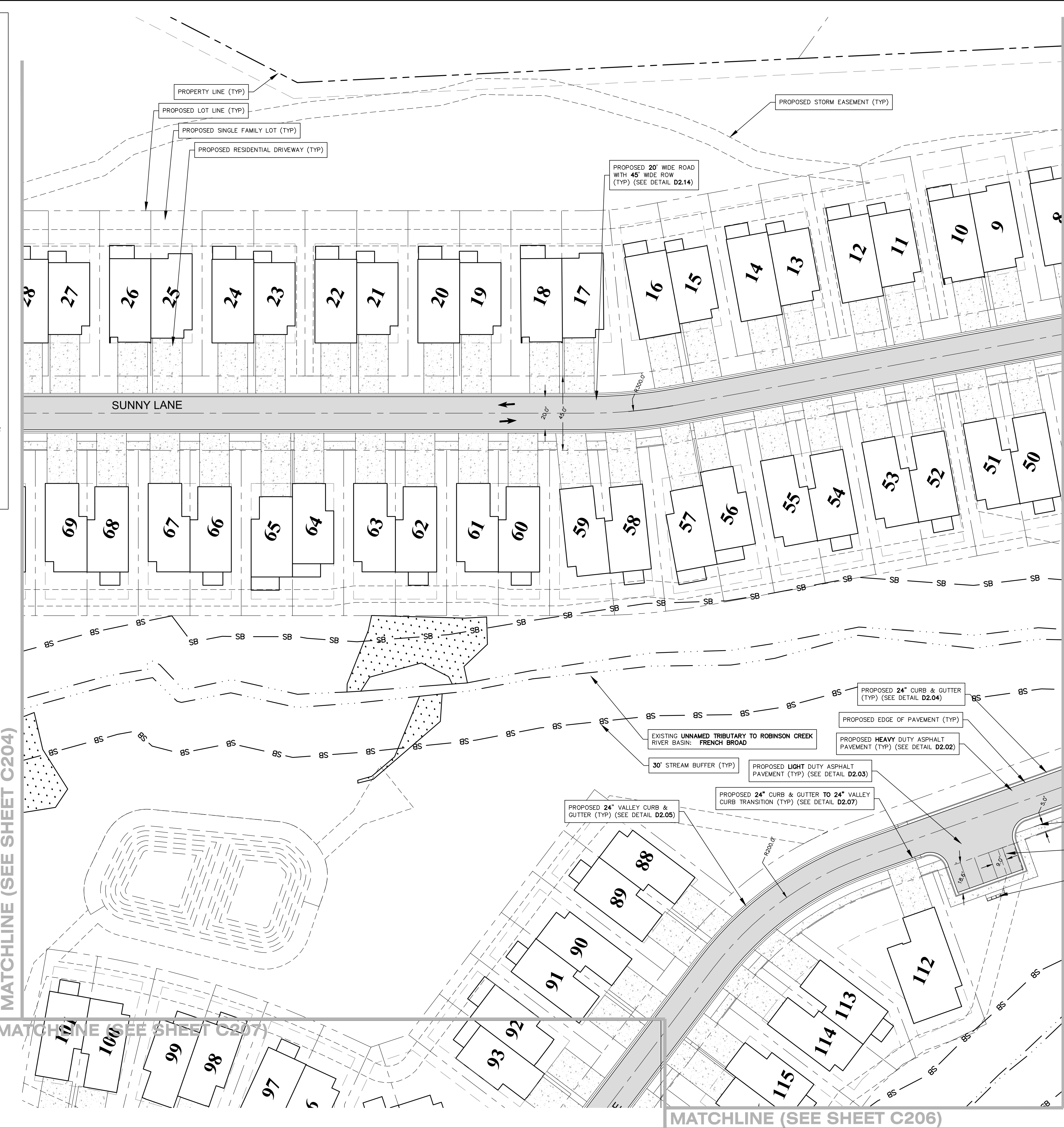
SRP
12143
TBD

SHEET

C202

- NOTES
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 - CURB END TREATMENT TO BE APPLIED TO ALL CURB ENDS. REFER TO CURB END TREATMENT DETAIL.
 - PROPOSED ROADS TO BE **PRIVATE**. **NC DOT IS NOT RESPONSIBLE** FOR ANY ROAD MAINTENANCE.
 - NO PROPOSED LOT SLOPE PERPENDICULAR TO THE ROAD EXCEEDS 18%.
 - SITE LIGHTING TO BE PROVIDED IN ACCORDANCE WITH BUNCOMBE COUNTY ORDINANCES.

- SITE LEGEND
- | | |
|------------------------------|--|
| PROPERTY LINE | |
| SETBACK LINE | |
| RIGHT OF WAY LINE | |
| SAWCUT LINE | |
| PROPOSED SIGHT TRIANGLE | |
| PROPOSED HEAVY DUTY PAVEMENT | |
| PROPOSED LIGHT DUTY PAVEMENT | |
| PROPOSED CONCRETE SIDEWALK | |
| PROPOSED OPEN SPACE | |



DEVELOPMENT DATA	
OWNER/DEVELOPER:	KLP PINNERS EAT, LLC 222 SOUTH NINTH STREET, SUITE 1600 MINNEAPOLIS, MN 55402 DANIEL PERKINS (561) 870-2468
CONTACT:	
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 MICHAEL CAIN, P.E. (828) 252-5388
CONTACT:	
SURVEYOR:	ED HOLMES & ASSOCIATES 200 RIDGEFIELD COURT, SUITE 208 ASHEVILLE, NC 28806 PHILLIP B. WHITE, P.L.S. (828) 225-6562
CONTACT:	
ARCHITECT:	DORAN ARCHITECTURE 7803 GLENROY RD, SUITE 200 BLOOMINGTON, MN 55439 JACQUEL HAUDER (952) 641-9408
CONTACT:	
PROJECT DATA	
PIN:	9655-87-3857, 9655-85-2787
ADDRESS:	PINNERS COVE RD, CHAPEL HILL CHURCH RD 6155/511
DEED BOOK/PAGE:	177.98± ACRES
PROJECT ACREAGE:	LIMESTONE
TOWNSHIP:	R-LD, R-2
BC ZONING:	
SETBACKS:	INTERNAL FRONT: 0' SIDE: 0' REAR: 0' EXTERNAL FRONT: 10' SIDE: 7' REAR: 20'
PERMITTED DENSITY:	1.25 U/A x 120% CLUSTER BONUS
PERMITTED UNITS:	266 SINGLE FAMILY UNITS
PROPOSED UNITS:	266 SINGLE FAMILY UNITS
EXISTING USE:	VACANT
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
DISTURBED AREA:	41.35 AC (23%)
IMPERVIOUS CALCULATIONS:	
PRE-DEVELOPMENT:	IMPERVIOUS 0.00 ACRES (0%) PERVIOUS 177.98 ACRES (100%)
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CONSERVATION EASEMENT AREA CALCULATIONS:	
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SOIL TYPE	CkC2, CuC, CuD, EdE, EvD2, EvE2, EwDk, EwE, EwF, FgD2, FnC, FrA, MwE, TdS, ToC, ToD, TpD
SOIL GROUPS:	B, C

- PROPOSED 5' CONCRETE SIDEWALK (TYP) (SEE DETAIL D2.01)
- PROPOSED 8'x18' STANDARD PARKING SPACE (TYP)
- PROPOSED MAIL KIOSK (TYP)

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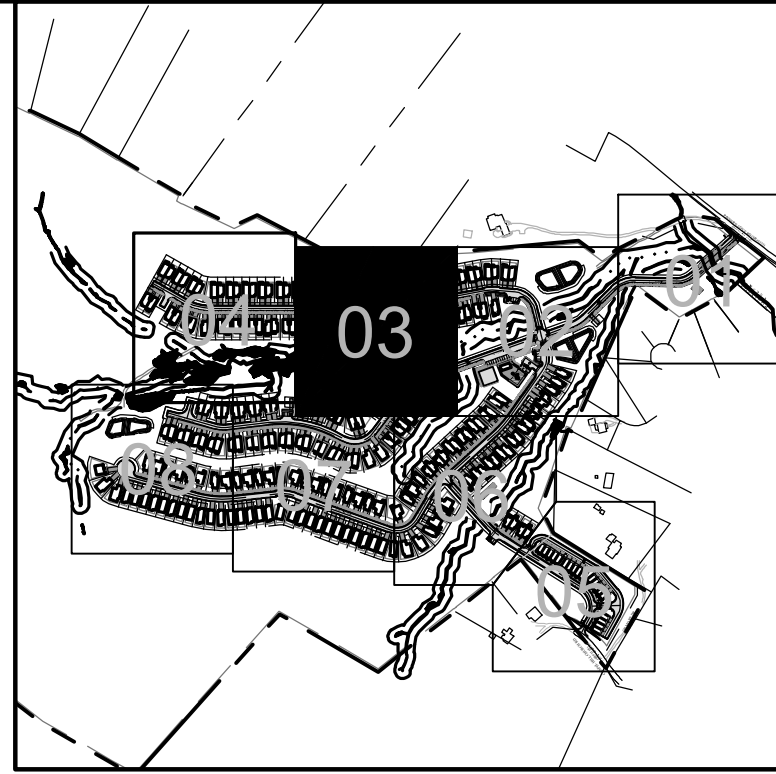
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NORTH

SITE PLAN

GRAPHIC SCALE

30 0 15 30 60 90 120
(IN FEET)
1 inch = 30 ft.



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CDC Civil Design Concepts, PA
www.civildesignconcepts.com

NCBELS LICENSE #: 5-2164

SRP	BUNCOMBE COUNTY SUBMITTAL	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	BY	DESCRIPTION
1	5/20/22	2	10/11/22	4	11/17/22	5	1/12/23		DATE
								NO.	

SITE PLAN FOR:

PINNERS COVE SUBDIVISION

KLP PINNERS EAT, LLC - BUNCOMBE COUNTY, NORTH CAROLINA

DRAWN BY: SRP
CDC PROJECT NO.: 12143
BC PERMIT NO.: TBD

SHEET
C203

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- SITE LEGEND
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 - SETBACK LINE
 - RIGHT OF WAY LINE
 - SAWCUT LINE
 - PROPOSED SIGHT TRIANGLE
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PROJECT DATA	
PIN:	9655-87-3857, 9655-85-2787
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DEED BOOK/PAGE:	177.98± ACRES
PROJECT ACREAGE:	LIMESTONE
TOWNSHIP:	R-LD, R-2
BC ZONING:	
SETBACKS:	INTERNAL FRONT: 0' SIDE: 0' REAR: 0' EXTERNAL FRONT: 10' SIDE: 7' REAR: 20'
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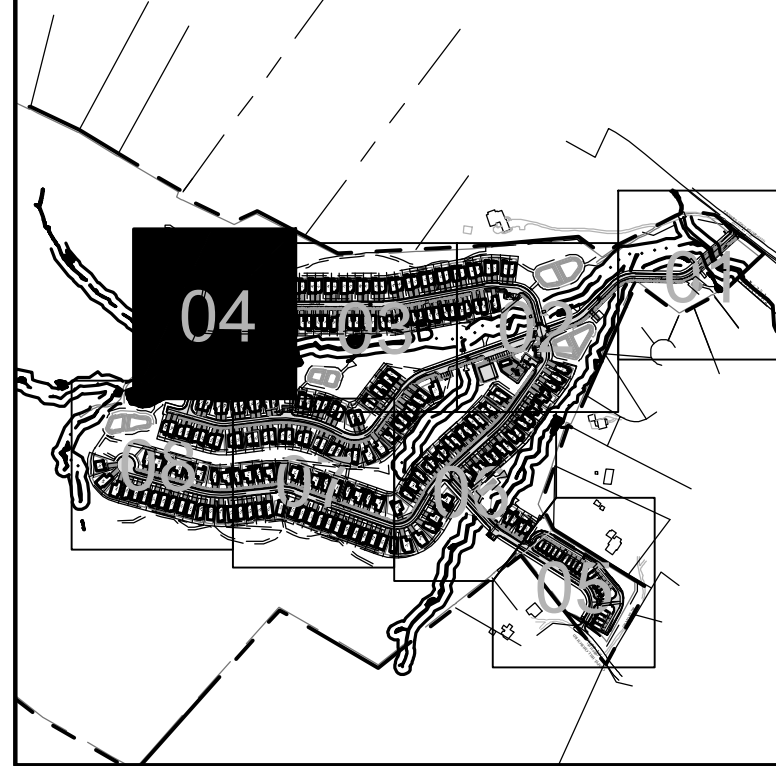
811
Know what's below.
Call before you dig.

NORTH

SITE PLAN

GRAPHIC SCALE

30 0 15 30 60 90 120
(IN FEET)
1 inch = 30 ft.



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NCBELS LICENSE #: 5-2164

SRP	BUNCOMBE COUNTY SUBMITTAL	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	BY
1	5/20/22	2	10/11/22	4	11/17/22	5	1/12/23	

DESCRIPTION

DATE

NO.

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PINNERS COVE SUBDIVISION

SITE PLAN FOR:

DRAWN BY: SRP
CDC PROJECT NO.: 12143
BC PERMIT NO. TBD

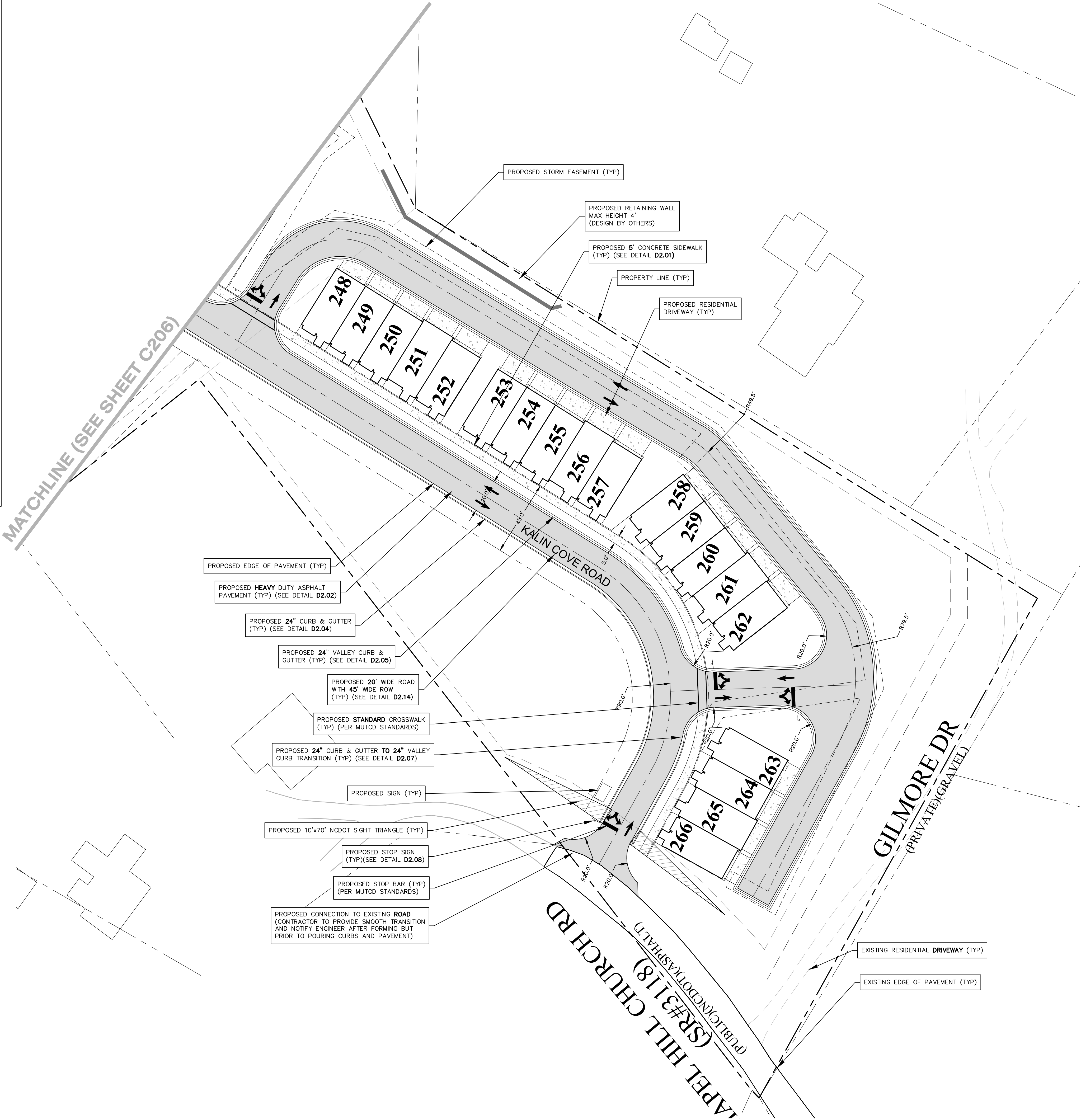
SHEET

C204

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SITE LEGEND

PROPERTY LINE	---
SETBACK LINE	---
RIGHT OF WAY LINE	---
SAWCUT LINE	---
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PROPOSED HEAVY DUTY PAVEMENT	
PROPOSED LIGHT DUTY PAVEMENT	
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DEVELOPMENT DATA

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CONTACT:	
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 MICHAEL CAIN, P.E. (828) 252-5388
CONTACT:	
SURVEYOR:	ED HOLMES & ASSOCIATES 200 RIDGEFIELD COURT, SUITE 208 ASHEVILLE, NC 28806 PHILLIP B. WHITE, P.L.S. (828) 225-6562
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ARCHITECT:	DORAN ARCHITECTURE 7803 GLENROY RD, SUITE 200 BLOOMINGTON, MN 55439 JACQUEL HAUJER (952) 641-9408
CONTACT:	

PROJECT DATA

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ADDRESS:	PINNERS COVE RD, CHAPEL HILL CHURCH RD
DEED BOOK/PAGE:	6155/511
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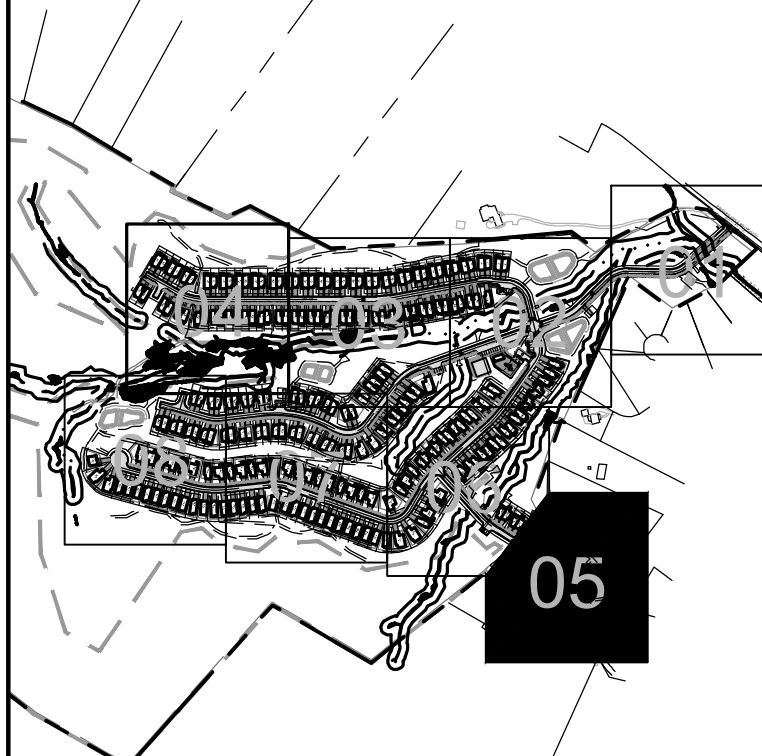
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(IN FEET)
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NCEBS LICENSE #: C2164

SRP	BUNCOMBE COUNTY SUBMITTAL	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	BY	DESCRIPTION
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SITE PLAN FOR:

PINNERS COVE SUBDIVISION

KLP PINNERS EAT, LLC - BUNCOMBE COUNTY, NORTH CAROLINA

DRAWN BY: CDC PROJECT NO.: 12143
BC PERMIT NO. TBD

SRP: 12143
TBD

SHEET

C205

NOTES

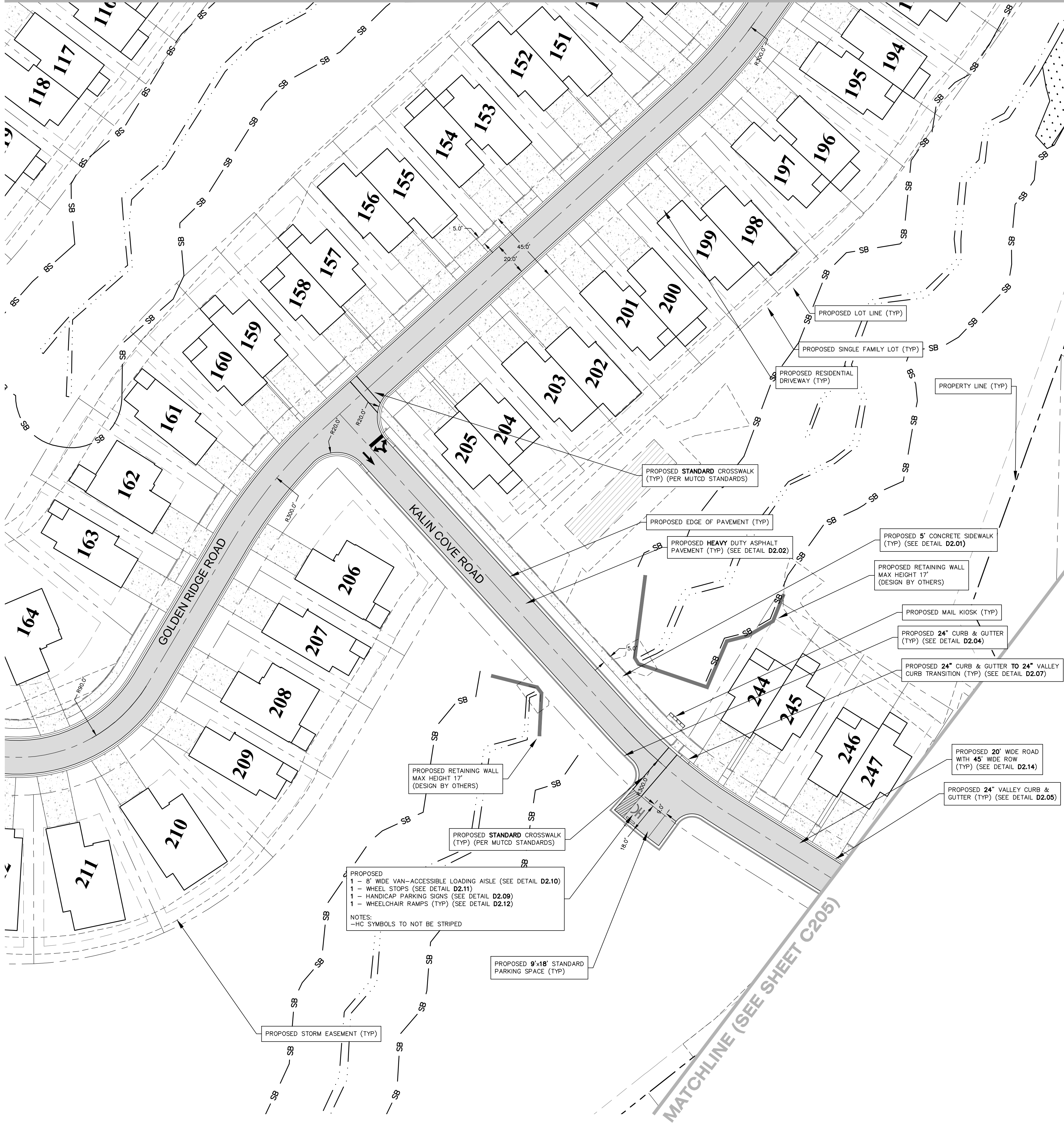
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- THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION ACTIVITY IS TO BEGIN. THE CONTRACTOR SHALL NOTIFY ULOCO AT 1-800-632-4949 OR 811, 72 HOURS BEFORE CONSTRUCTION BEGINS.
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- CURB END TREATMENT TO BE APPLIED TO ALL CURB ENDS. REFER TO CURB END TREATMENT DETAIL.
- PROPOSED ROADS TO BE **PRIVATE**. **NC DOT IS NOT RESPONSIBLE** FOR ANY ROAD MAINTENANCE.
- NO PROPOSED LOT SLOPE PERPENDICULAR TO THE ROAD EXCEEDS 18%.
- SITE LIGHTING TO BE PROVIDED IN ACCORDANCE WITH BUNCOMBE COUNTY ORDINANCES.

SITE LEGEND

PROPERTY LINE	---
SETBACK LINE	---
RIGHT OF WAY LINE	---
SAWCUT LINE	---
PROPOSED SIGHT TRIANGLE	
PROPOSED HEAVY DUTY PAVEMENT	
PROPOSED LIGHT DUTY PAVEMENT	
PROPOSED CONCRETE SIDEWALK	
PROPOSED OPEN SPACE	

MATCHLINE (SEE SHEET C203)

MATCHLINE (SEE SHEET C202)



DEVELOPMENT DATA

OWNER/DEVELOPER:	KLP PINNERS EAT, LLC 222 SOUTH NINTH STREET, SUITE 1600 MINNEAPOLIS, MN 55402 DANIEL PERKINS (561) 870-2468
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 MICHAEL CAIN, P.E. (828) 252-5388
SURVEYOR:	ED HOLMES & ASSOCIATES 200 RIDGEFIELD COURT, SUITE 208 ASHEVILLE, NC 28806 PHILLIP B. WHITE, P.L.S. (828) 225-6562
ARCHITECT:	DORAN ARCHITECTURE 7803 GLENROY RD, SUITE 200 BLOOMINGTON, MN 55439 JACQUEL HAUJER (952) 641-9408

PROJECT DATA

PIN:	9655-87-3857, 9655-85-2787
ADDRESS:	PINNERS COVE RD, CHAPEL HILL CHURCH RD 6155/511
DEED BOOK/PAGE:	177.98± ACRES
PROJECT ACREAGE:	LIMESTONE R-LD, R-2
SETBACKS:	INTERNAL FRONT: 0' SIDE: 0' REAR: 0' EXTERNAL FRONT: 10' SIDE: 7' REAR: 20'
PERMITTED DENSITY:	1.25 U/A x 120% CLUSTER BONUS
PERMITTED UNITS:	266 SINGLE FAMILY UNITS
PROPOSED UNITS:	266 SINGLE FAMILY UNITS
EXISTING USE:	VACANT
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
DISTURBED AREA:	41.35 AC (23%)

IMPERVIOUS CALCULATIONS:

PRE-DEVELOPMENT:	IMPERVIOUS	PERVIOUS
POST-DEVELOPMENT:	0.00 ACRES (0%)	177.98 ACRES (100%)
	16.20 ACRES (9%)	161.78 ACRES (91%)

CONSERVATION EASEMENT AREA CALCULATIONS:

REQUIRED:	106.80 ACRES (60%)
PROVIDED:	106.80 ACRES (60%)
NON-CONSERVED:	71.18 ACRES (40%)

AVERAGE NATURAL SLOPE CALCULATIONS*:

TOTAL SITE:	32.83%
NON-CONSERVED AREA:	25.33%

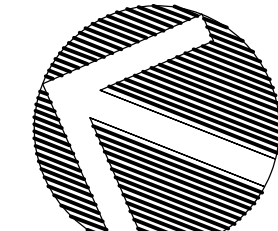
*AVERAGE NATURAL SLOPE CALCULATED USING SLOPE MAPPING IN AUTOCAD CIVIL 3D BASED ON BUNCOMBE COUNTY GIS CONTOUR DATA

SOIL TYPE	CkC2, CuC, CuD, EdE, EvD2, EvE2, EwDk, EwE, EwF, FoD2, FnC, FRa, MwE, ToB, ToC, ToD, TpD
SOIL GROUPS:	B, C

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



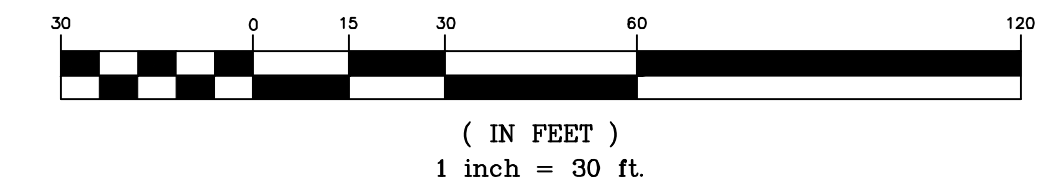
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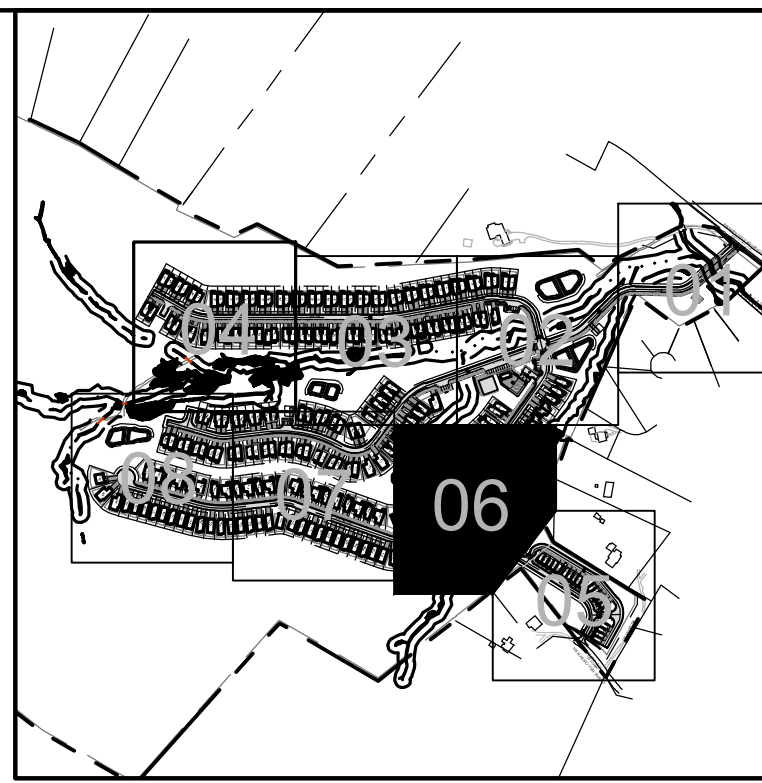
NORTH

SITE PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 462-4410
FAX (828) 262-5386

52 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 28786
PHONE (828) 462-4410
FAX (828) 262-5386

Civil Design Concepts, PA
www.civildesignconcepts.com

NCBELS LICENSE #: C-2164

SRP	BUNCOMBE COUNTY SUBMITTAL	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	BY	DESCRIPTION
1	5/20/22	2	10/11/22	4	11/17/22	5	1/12/23		

SITE PLAN FOR:

PINNERS COVE SUBDIVISION

KLP PINNERS EAT, LLC - BUNCOMBE COUNTY, NORTH CAROLINA

DRAWN BY: SRP
CDC PROJECT NO.: 12143
BC PERMIT NO. TBD

SHEET
C206

NOTES

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- CURB END TREATMENT TO BE APPLIED TO ALL CURB ENDS. REFER TO CURB END TREATMENT DETAIL.
- PROPOSED ROADS TO BE **PRIVATE**. **NCDOT IS NOT** RESPONSIBLE FOR ANY ROAD MAINTENANCE.
- NO PROPOSED LOT SLOPE PERPENDICULAR TO THE ROAD EXCEEDS 18%.
- SITE LIGHTING TO BE PROVIDED IN ACCORDANCE WITH BUNCOMBE COUNTY ORDINANCES.

SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- SAWCUT LINE
- PROPOSED SIGHT TRIANGLE
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED OPEN SPACE

MATCHLINE (SEE SHEET C208)

MATCHLINE (SEE SHEET C204)



MATCHLINE (SEE SHEET C203)

MATCHLINE (SEE SHEET C206)

DEVELOPMENT DATA

OWNER/DEVELOPER: KLP PINNERS EAT, LLC
222 SOUTH NINTH STREET, SUITE 1600
MINNEAPOLIS, MN 55402
DANIEL PERKINS
(561) 870-2468

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
ASHEVILLE, NC 28801
MICHAEL CAIN, P.E.
(828) 252-5388

SURVEYOR: ED HOLMES & ASSOCIATES
200 RIDGEFIELD COURT, SUITE 208
ASHEVILLE, NC 28806
PHILLIP B. WHITE, P.L.S.
(828) 225-6562

ARCHITECT: DORAN ARCHITECTURE
7803 GLENROY RD, SUITE 200
BLOOMINGTON, MN 55439
JACQUEL HAUJER
(952) 641-9408

CONTACT:

PROJECT DATA

PIN: 9655-87-3857, 9655-85-2787

ADDRESS: PINNERS COVE RD,
CHAPEL HILL CHURCH RD
6155/511

DEED BOOK/PAGE: 177.98± ACRES
PROJECT ACREAGE: LIMESTONE
TOWNSHIP: R-LD, R-2

SETBACKS: INTERNAL FRONT: 0' SIDE: 0' REAR: 20'
EXTERNAL FRONT: 10' SIDE: 7' REAR: 20'

PERMITTED DENSITY: 1.25 U/A x 120% CLUSTER BONUS
PERMITTED UNITS: 266 SINGLE FAMILY UNITS
PROPOSED UNITS: 266 SINGLE FAMILY UNITS

EXISTING USE: VACANT
PROPOSED USE: SINGLE FAMILY RESIDENTIAL

DISTURBED AREA: 41.35 AC (23%)

IMPERVIOUS CALCULATIONS:

PRE-DEVELOPMENT: IMPERVIOUS 0.00 ACRES (0%) PERVIOUS 177.98 ACRES (100%)
POST-DEVELOPMENT: 16.20 ACRES (9%) 161.78 ACRES (91%)

CONSERVATION EASEMENT AREA CALCULATIONS:

REQUIRED: 106.80 ACRES (60%)
PROVIDED: 106.80 ACRES (60%)
NON-CONSERVED: 71.18 ACRES (40%)

AVERAGE NATURAL SLOPE CALCULATIONS*:

TOTAL SITE: 32.83%
NON-CONSERVED AREA: 25.33%

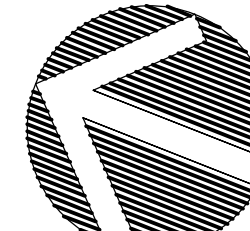
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SOIL TYPE CkC2, CuC, CuD, EdE, EvD2, EvE2, EwDk, EwE,
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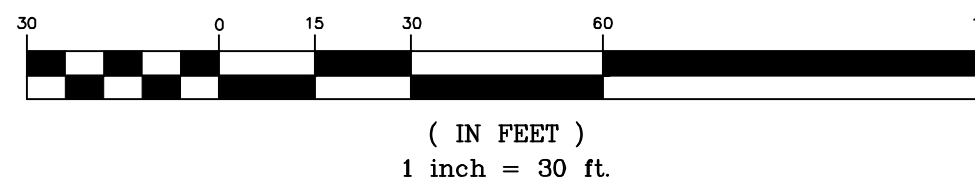
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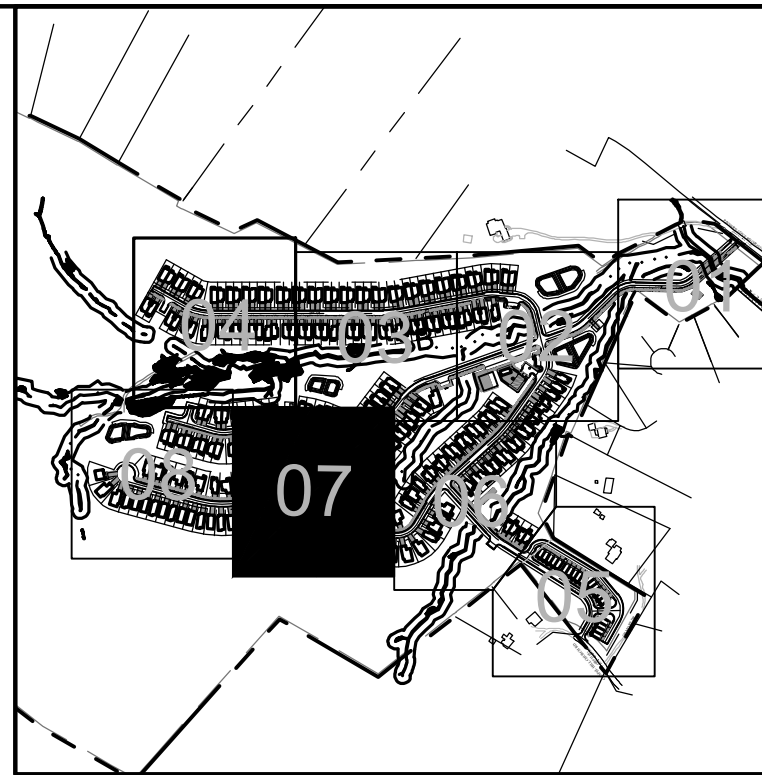
NORTH

SITE PLAN

GRAPHIC SCALE



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SITE PLAN FOR:

PINNERS COVE SUBDIVISION

DRAWN BY: CDC PROJECT NO.: 12143
BC PERMIT NO. TBD

SRP 12143
TBD

SHEET C207

- NOTES
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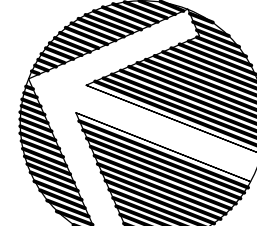
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CONTACT:	
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 MICHAEL CAIN, P.E. (828) 252-5388
CONTACT:	
SURVEYOR:	ED HOLMES & ASSOCIATES 200 RIDGEFIELD COURT, SUITE 208 ASHEVILLE, NC 28806 PHILLIP B. WHITE, P.L.S. (828) 225-6562
CONTACT:	
ARCHITECT:	DORAN ARCHITECTURE 7803 GLENROY RD, SUITE 200 BLOOMINGTON, MN 55439 JACQUEL HAUDER (952) 641-9408
CONTACT:	
PROJECT DATA	
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DEED BOOK/PAGE:	6155/511
PROJECT ACREAGE:	177.98± ACRES
TOWNSHIP:	LIMESTONE
BC ZONING:	R-LD, R-2
SETBACKS:	INTERNAL FRONT: 0' SIDE: 0' REAR: 0' EXTERNAL FRONT: 10' SIDE: 7' REAR: 20'
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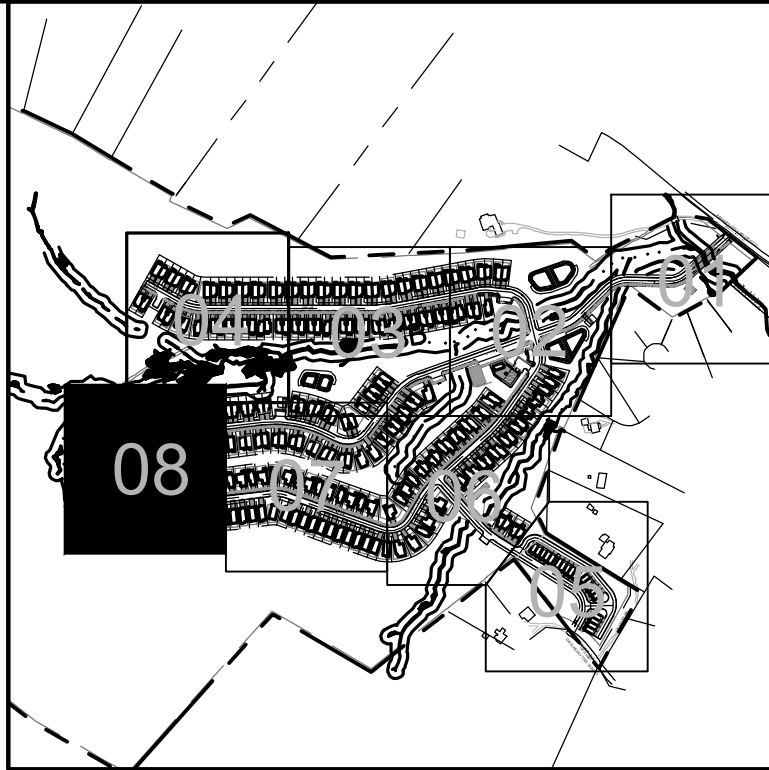
NORTH

SITE PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



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SRP	BUNCOMBE COUNTY SUBMITTAL	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	SRP	AGENCY SUBMITTALS	BY	DESCRIPTION
1	5/20/22	2	10/11/22	4	11/17/22	5	1/12/23		DATE
								NO.	

SITE PLAN FOR:

PINNERS COVE SUBDIVISION

SITE PLAN FOR:

PINNERS COVE SUBDIVISION

DRAWN BY:
CDC PROJECT NO.:
BC PERMIT NO.

SRP
12143
TBD

SHEET

C208

PARCEL TABLE	
PARCEL #	AREA (SF)
1	3115
2	3496
3	3240
4	3519
5	3154
6	3129
7	3100
8	3129
9	3100
10	3129
11	3100
12	3129
13	3100
14	3129
15	3100
16	3384
17	3315
18	3100
19	3100
20	3129
21	3100
22	3129
23	3100
24	3129
25	3100
26	3100
27	3100
28	3129
29	3100
30	3529
31	3500
32	3129
33	3100
34	3100
35	3100
36	3129
37	3100
38	4722
39	4025
40	3314

PARCEL TABLE	
PARCEL #	AREA (SF)
41	3100
42	3100
43	3100
44	3454
45	3099
46	3529
47	3500
48	3100
49	3100
50	3129
51	3100
52	3129
53	3100
54	3129
55	3100
56	3189
57	3102
58	3416
59	3100
60	3129
61	3100
62	3129
63	3100
64	3100
65	3100
66	3129
67	3100
68	3129
69	3100
70	3529
71	3500
72	3100
73	3100
74	3129
75	3100
76	3129
77	3100
78	3129
79	3100
80	3753

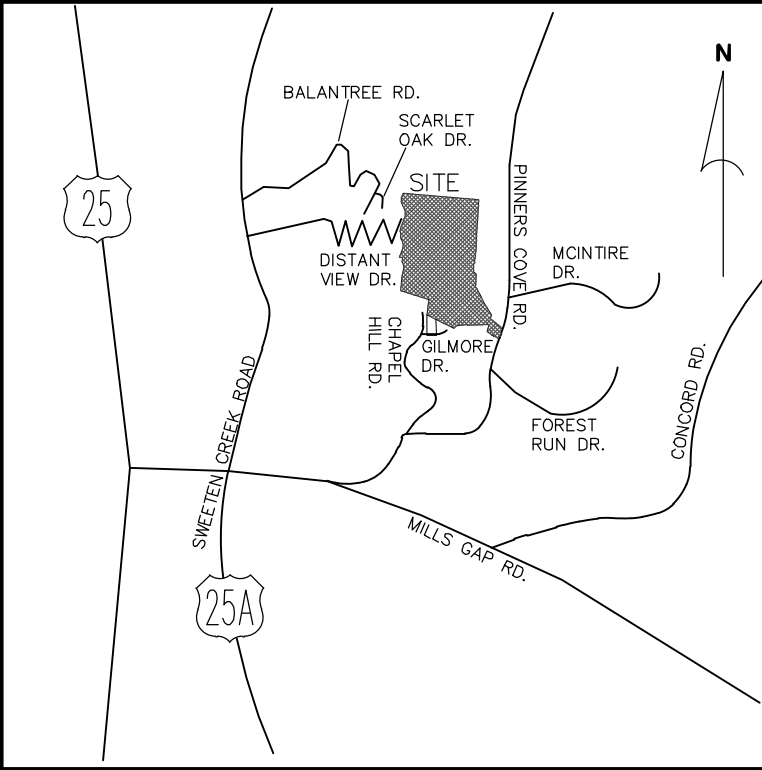
PARCEL TABLE	
PARCEL #	AREA (SF)
81	3979
82	3528
83	3275
84	3142
85	3100
86	3129
87	3159
88	3101
89	3129
90	3100
91	3100
92	3100
93	5714
94	4340
95	3909
96	3318
97	3171
98	3242
99	3321
100	3102
101	3185
102	3276
103	3129
104	3100
105	3129
106	3100
107	3129
108	3056
109	3073
110	3426
111	3943
112	3153
113	3095
114	3105
115	3097
116	3129
117	3098
118	3789
119	4768
120	4102

PARCEL TABLE	
PARCEL #	AREA (SF)
121	4021
122	3505
123	3596
125	3400
126	3104
127	3710
128	3102
129	3667
130	3102
131	3563
132	3100
133	3129
134	3500
135	3529
136	3648
137	4526
138	3101
139	3100
140	3100
141	3129
142	3100
143	3129
144	3100
145	3129
146	3100
147	3100
148	3100
149	3100
150	3151
151	3270
152	3111
153	3280
154	3155
155	3100
156	3100
157	3100
158	3155
159	3129
160	3100
161	3130

PARCEL TABLE	
PARCEL #	AREA (SF)
162	3542
163	4267
164	4964
165	4441
166	8787
167	5421
168	3700
169	4800
170	4000
171	5100
172	3700
173	4800
174	3700
175	5408
176	4549
177	4922
178	3700
179	4800
180	3700
181	5037
182	4464
183	5677
184	3700
185	4800
186	3700
187	4800
188	5308
189	3106
190	4130
191	3100
192	3100
193	3100
194	3129
195	3155
196	3100
197	3100
198	3101
199	3376
200	3337
201	3155

PARCEL TABLE	
PARCEL #	AREA (SF)
202	3100
203	3100
204	3100
205	3155
206	3100
207	3100
208	3129
209	6074
210	3700
211	4800
212	4573
213	6047
214	5884
215	4778
216	3704
217	3700
218	3742
219	3700
220	3723
221	3699
222	3708
223	3730
224	3692
225	3730
226	4443
227	4973
228	3726
229	3700
230	3726
231	3700
232	3993
233	3989
234	3975
235	3987
236	3772
237	3698
238	3729
239	3698
240	3726
241	3698

PARCEL TABLE	
PARCEL #	AREA (SF)
242	3698
243	3726
244	5925
245	6402
246	6602
247	3052
248	3128
249	3100
250	3129
251	947
252	938
253	938
254	938
255	958
256	947
257	938
258	938
259	938
260	958
261	1055
262	959
263	946
264	1006
265	1071
266	1011
267	960
268	938
269	958



VICINITY MAP
(NOT TO SCALE)

DEVELOPMENT DATA

OWNER/DEVELOPER:

KLP PINNERS EAT, LLC
222 SOUTH NINTH STREET, SUITE 1600
MINNEAPOLIS, MN 55402
DANIEL PERKINS
(561) 870-2468

CONTACT:

CIVIL ENGINEER:

CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
ASHEVILLE, NC 28801
MICHAEL CAIN, P.E.
(828) 252-5388

CONTACT:

SURVEYOR:

ED HOLMES & ASSOCIATES
200 RIDGEFIELD COURT, SUITE 208
ASHEVILLE, NC 28806
PHILLIP B. WHITE, P.L.S.
(828) 225-6562

CONTACT:

ARCHITECT:

DORAN ARCHITECTURE
7803 GLENROY RD, SUITE 200
BLOOMINGTON, MN 55439
JACQUEL HAUJER
(952) 641-9408

CONTACT:

PROJECT DATA

PIN:

9655-87-3857, 9655-85-2787

ADDRESS:

PINNERS COVE RD,
CHAPEL HILL CHURCH RD
6155/511

DEED BOOK/PAGE:

177.98± ACRES

PROJECT ACREAGE:

TOWNSHIP:

LIMESTONE

BC ZONING:

R-LD, R-2

SETBACKS:

INTERNAL

FRONT: 0'
SIDE: 0'
REAR: 0'

EXTERNAL

FRONT: 10'
SIDE: 7'
REAR: 20'

PERMITTED DENSITY:

1.25 U/A x 120% CLUSTER BONUS

PERMITTED UNITS:

266 SINGLE FAMILY UNITS

PROPOSED UNITS:

266 SINGLE FAMILY UNITS

EXISTING USE:

VACANT

PROPOSED USE:

SINGLE FAMILY RESIDENTIAL

DISTURBED AREA:

41.35 AC (23%)

IMPERVIOUS CALCULATIONS:

PRE-DEVELOPMENT:

IMPERVIOUS

0.00 ACRES (0%)

POST-DEVELOPMENT:

PERVIOUS

177.98 ACRES (100%)

16.20 ACRES (9%)

161.78 ACRES (91%)

CONSERVATION EASEMENT AREA CALCULATIONS:

REQUIRED:

106.80 ACRES (60%)

PROVIDED:

106.80 ACRES (60%)

NON-CONSERVED:

71.18 ACRES (40%)

AVERAGE NATURAL SLOPE CALCULATIONS*:

TOTAL SITE:

32.83%

NON-CONSERVED AREA:

25.33%

*AVERAGE NATURAL SLOPE CALCULATED USING SLOPE MAPPING IN
AUTOCAD CIVIL 3D BASED ON BUNCOMBE COUNTY GIS CONTOUR DATA

SOIL TYPE

CkC2, CuC, CuD, EdE, EvD2, EvE2, EwDk, EwE,
EwF, FoD2, FnC, FrA, MwE, TaB, TaC, ToD, TpD
B, C

SOIL GROUPS:

168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 462-4410
FAX (828) 462-5388

Civil Design Concepts, PA

52 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 28786
PHONE (828) 462-4410
FAX (828) 462-5388

PARCEL TABLES FOR:

PINNERS COVE SUBDIVISION

DRAWN BY: SRP
CDC PROJECT NO.: 12143
BC PERMIT NO. TBD

SHEET

C209

SRP

SRP

BCP

SRP

BY

BUNCOMBE COUNTY SUBMITTAL

AGENCY SUBMITTALS

AGENCY SUBMITTALS

AGENCY SUBMITTALS

DESCRIPTION

5/20/22

10/11/22

11/17/22

1/12/23

DATE

1

2

4

5

NO.

22

11/17/23

PROFESSIONAL SEAL

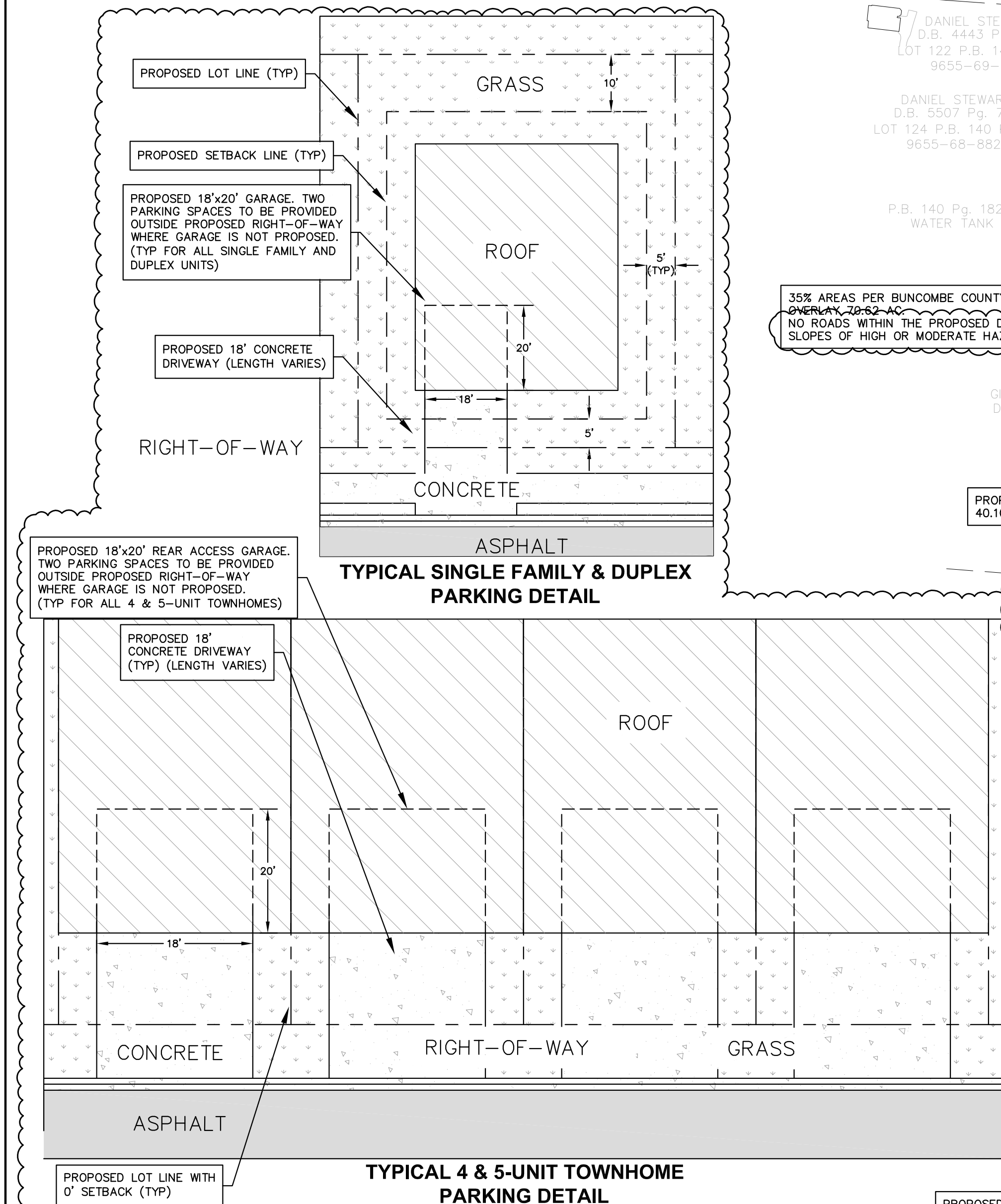
047788

MICHAEL J. CAIN

REGISTERED CIVIL ENGINEER

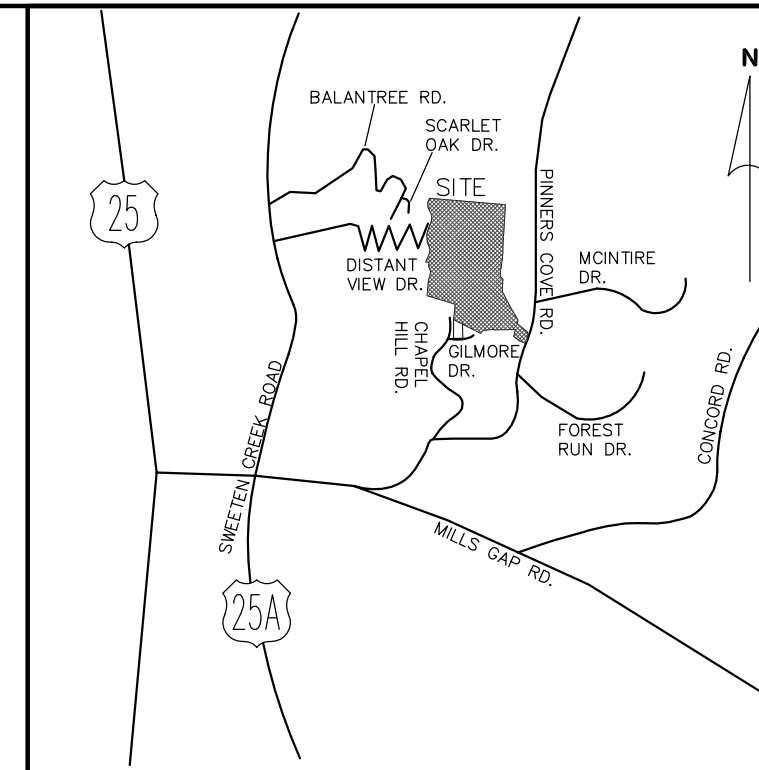
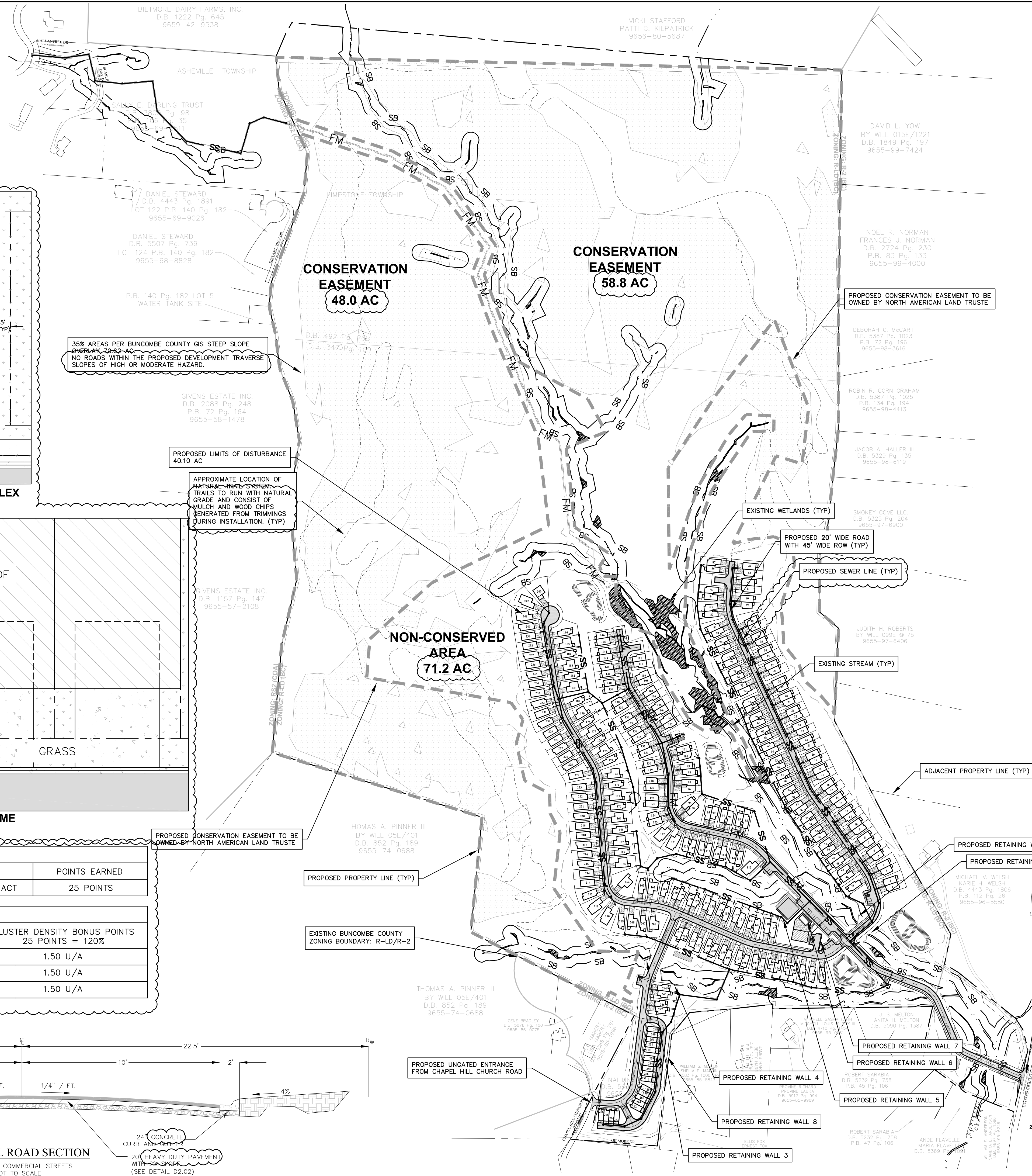
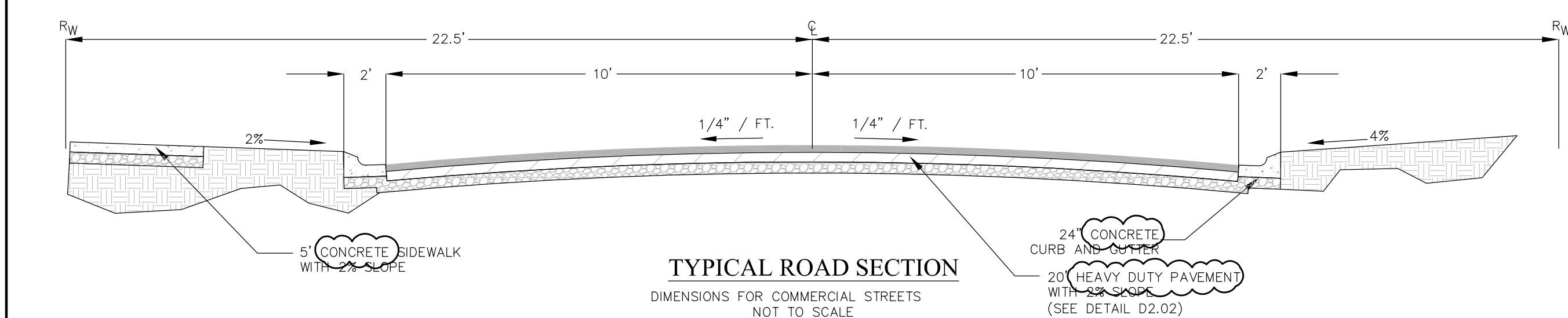
N.C.

RETAINING WALLS		
NUMBER	MAX. HEIGHT (FT)	LENGTH (FT)
1	9.1	49.6
2	15.8	72.7
3	15.2	57.9
4	18.0	173.5
5	5.0	58.0
6	6.5	74.5
7	6.0	82.2
8	5.5	139.1



CLUSTER DENSITY BONUS POINTS	
CRITERIA	POINTS EARNED
AMOUNT OF CONSERVED GREEN SPACE IS GREATER THAN 60% OF THE TRACT	25 POINTS

DENSITY CALCULATIONS		
DISTRICT	CONSERVATION EASEMENT HILLSIDE DENSITY	CLUSTER DENSITY BONUS POINTS 25 POINTS = 120%
R-2 ZONING DENSITY	1.25 U/A	1.50 U/A
R-LD ZONING DENSITY	1.25 U/A	1.50 U/A
SS/HE OVERLAY DENSITY	1.25 U/A	1.50 U/A



DEVELOPMENT DATA

OWNER/DEVELOPER: KLP PINNERS EAT, LLC
222 SOUTH NINTH STREET, SUITE 1600
MINNEAPOLIS, MN 55402
DANIEL PERKINS
(561) 870-2468

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
ASHEVILLE, NC 28801
MICHAEL CAIN, P.E.
(828) 252-5388

SURVEYOR: ED HOLMES & ASSOCIATES
200 RIDGEFIELD COURT, SUITE 208
ASHEVILLE, NC 28806
PHILLIP B. WHITE, P.L.S.
(828) 225-6562

ARCHITECT: DORAN ARCHITECTURE
7803 GLENROY RD, SUITE 200
BLOOMINGTON, MN 55439
JACQUEL HAUJER
(952) 641-9408

PROJECT DATA

PIN: 9655-87-3857, 9655-85-2787
ADDRESS: PINNERS COVE RD,
CHAPEL HILL CHURCH RD
6155/511
PROJECT ACREAGE: 266 ACRES
TOWNSHIP: LIMESTONE
BC ZONING: R-LD, R-2

SETBACKS:

	INTERNAL	EXTERNAL
FRONT:	0'	10'
SIDE:	0'	7'
REAR:	0'	20'

PERMITTED DENSITY: 1.25 U/A x 120% CLUSTER BONUS
PERMITTED UNITS: 266 SINGLE FAMILY UNITS
PROPOSED UNITS: 266 SINGLE FAMILY UNITS
EXISTING USE: VACANT
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
DISTURBED AREA: 41.35 AC (23%)

IMPERVIOUS CALCULATIONS:

	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT:	0.00 ACRES (0%)	177.98 ACRES (100%)
POST-DEVELOPMENT:	16.20 ACRES (9%)	161.78 ACRES (91%)

CONSERVATION EASEMENT AREA CALCULATIONS:

REQUIRED:	106.80 ACRES (60%)
PROVIDED:	106.80 ACRES (60%)
NON-CONSERVED:	71.18 ACRES (40%)

AVERAGE NATURAL SLOPE CALCULATIONS:

TOTAL SITE:	32.83%
NON-CONSERVED AREA:	25.33%

***AVERAGE NATURAL SLOPE CALCULATED USING SLOPE MAPPING IN AUTOCAD CIVIL 3D BASED ON BUNCOMBE COUNTY GIS CONTOUR DATA**

SOIL TYPE CkC2, CuC, CuD, EdE, EvD2, EvE2, EwDk, EwE, EwF, FaD2, FnC, FrA, MwE, TaB, TaC, ToD, TpD
SOIL GROUPS: B, C

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM

811
Know what's below.
Call before you dig.

NORTH

MASTER DEVELOPMENT PLAN

GRAPHIC SCALE
200 0 100 200 400 600
(IN FEET)
1 inch = 200 ft.

168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 462-4410
FAX (828) 262-5385

52 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 28786
PHONE (828) 462-4410
FAX (828) 462-5385

Civil Design Concepts, PA
www.civildesignconcepts.com

NCBELS LICENSE #: C-2194

SRP	SRP	SRP	SRP	BY
BUNCOMBE COUNTY SUBMITTAL	AGENCY SUBMITTALS	AGENCY SUBMITTALS	AGENCY SUBMITTALS	DESCRIPTION
1	2	4	5	
5/20/22	10/11/22	11/17/22	1/12/23	DATE
				NO.

2/2/23
MICHAEL J. JONES
PROF. H. CAROLIN
SEAL
047788
1/12/23

2/2/23
MICHAEL J. JONES
ENGINEER
SEAL
047788
1/12/23

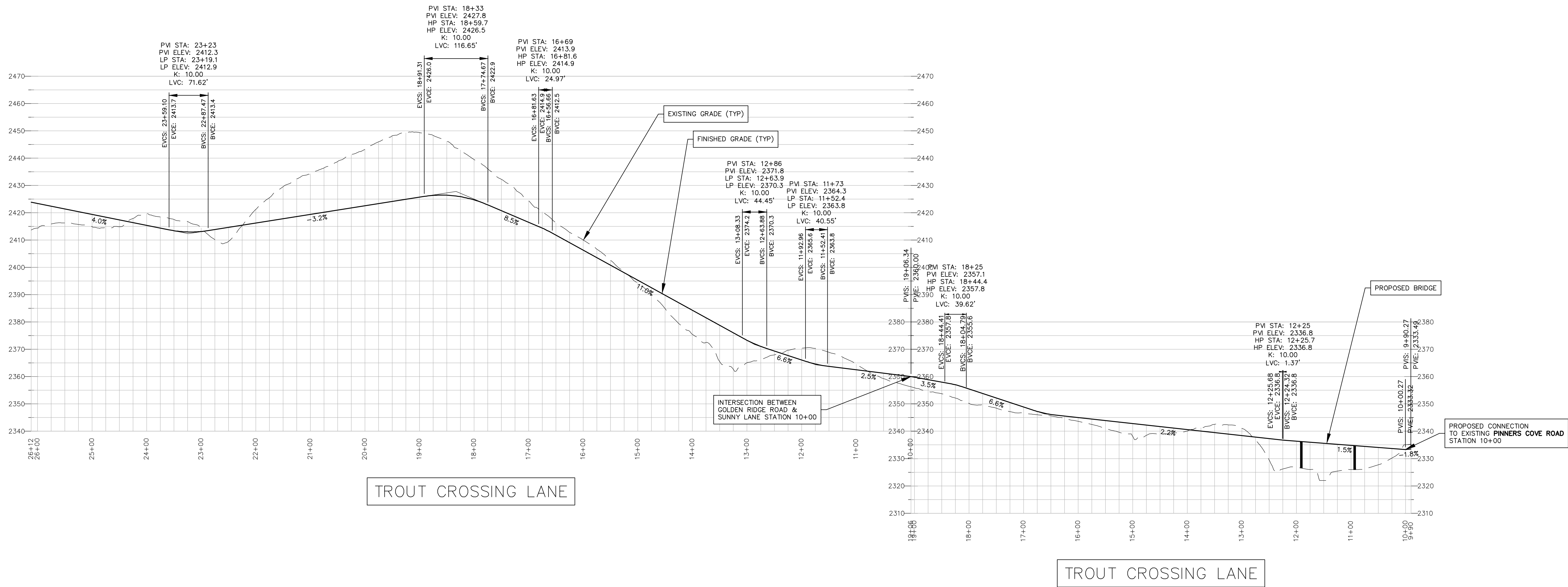
MASTER DEVELOPMENT PLAN FOR:

PINNERS COVE SUBDIVISION

KLIP PINNERS EAT, LLC - BUNCOMBE COUNTY, NORTH CAROLINA

DRAWN BY: CDC PROJECT NO.: 1214.3
BC PERMIT NO. TBD

SHEET
C210

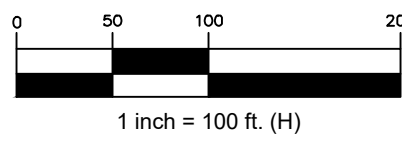


CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



Know what's below.
Call before you dig.

ROAD PROFILES



168 DARTON AVENUE
ASHVILLE, NC 28801
PHONE (828) 252-5588
FAX (828) 252-5585

CDC

Civil Design Concepts, PA

www.civildesignconcepts.com

92 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 27896
PHONE (828) 252-5588
FAX (828) 495-5495

SRP

BUNCOMBE COUNTY SUBMITTAL

5/20/22

1

NO.

DATE

DESCRIPTION

BY

SRP

AGENCY SUBMITTALS

10/11/22

2

SRP

AGENCY SUBMITTALS

1/12/23

5

SEAL

047788

ENGINEER

MICHAEL J. BRYAN

ROAD PROFILES FOR:

PINNERS COVE SUBDIVISION

KLP PINNERS EAT, LLC - BUNCOMBE COUNTY, NORTH CAROLINA

DRAWN BY:

CDC PROJECT NO.:

BC PERMIT NO.

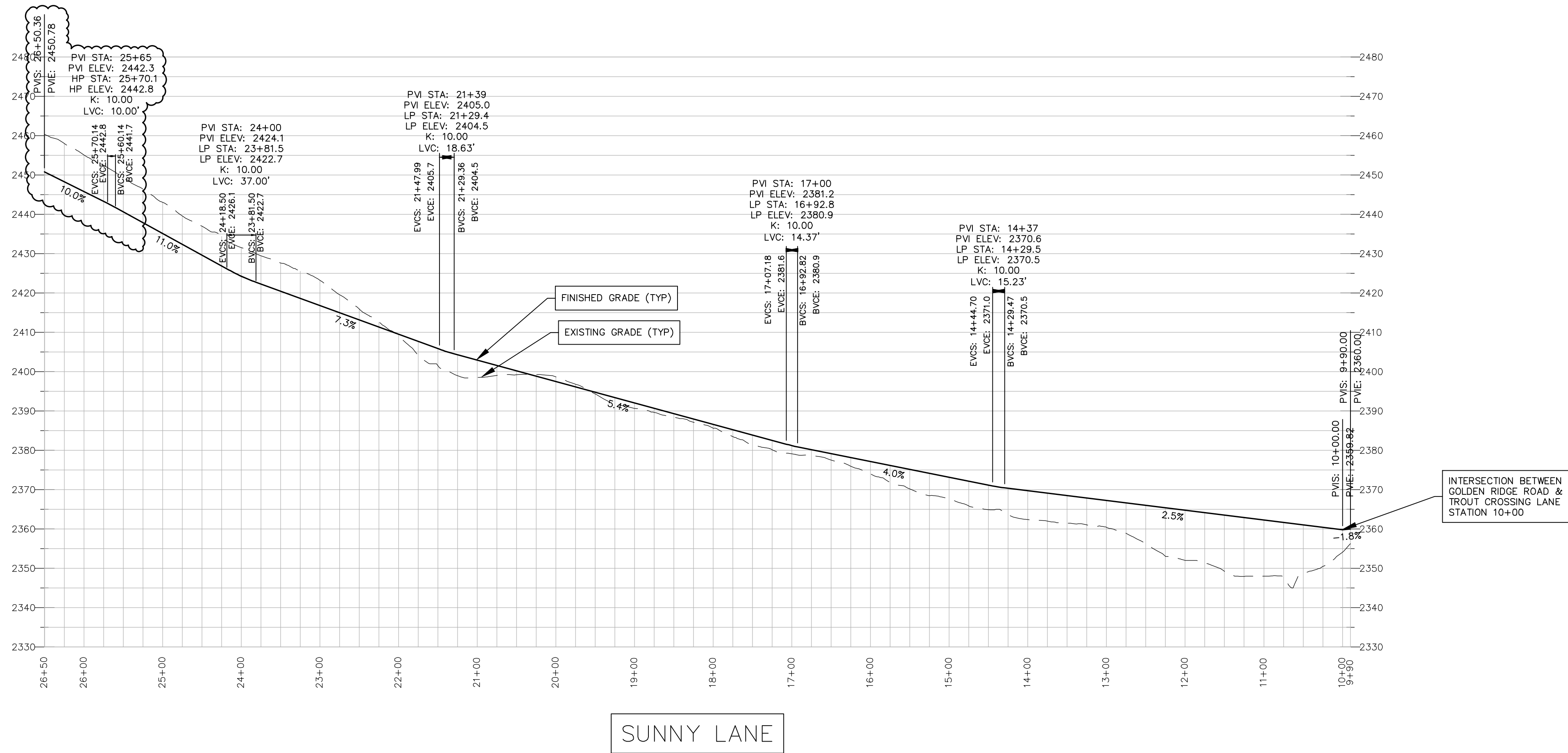
SRP

12143

TBD

SHEET

C220

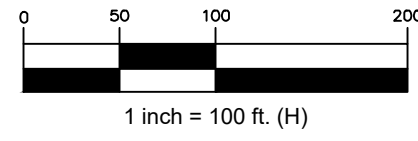


CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



Know what's below.
Call before you dig.

ROAD PROFILES



168 DARTON AVENUE
ASHVILLE, NC 28801
PHONE (828) 252-5585
FAX (828) 252-5585

82 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 27896
PHONE (828) 252-5585
FAX (828) 495-5455

Civil Design Concepts, PA
www.civildesignconcepts.com

NCBELS LICENSE # C-2184

SRP	BUNCOMBE COUNTY SUBMITTAL	5/20/22	1	NO.	DATE	DESCRIPTION	BY
SRP	AGENCY SUBMITTALS	10/11/22	2				
SRP	AGENCY SUBMITTALS	1/12/23	5				

ROAD PROFILES FOR:

PINNERS COVE SUBDIVISION

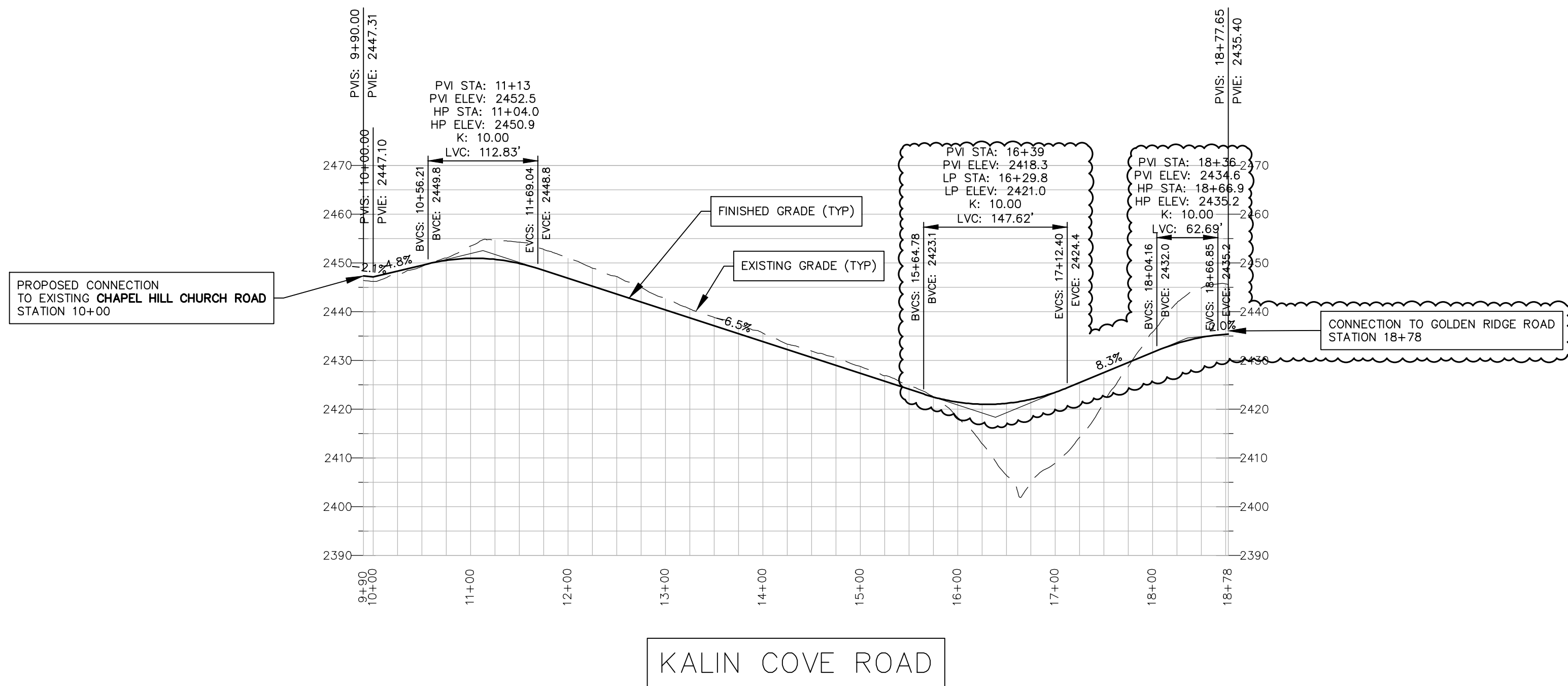
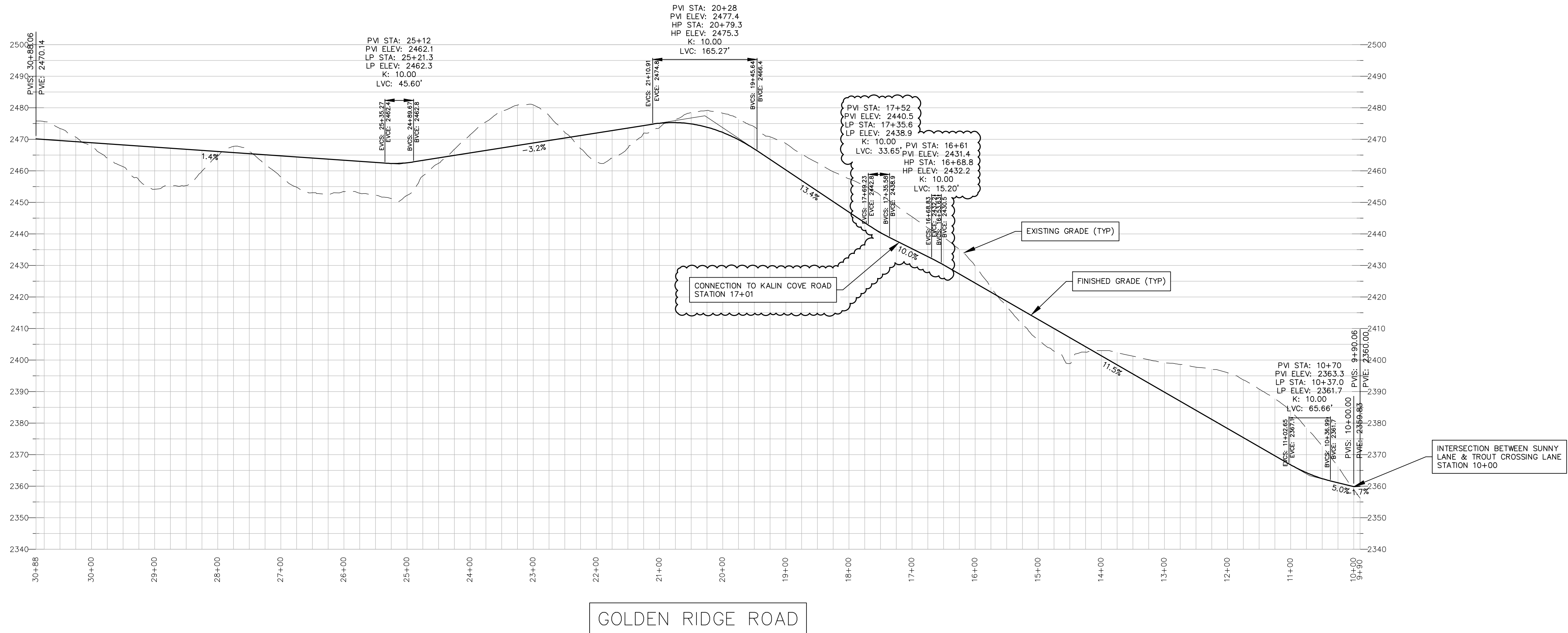
KLP PINNERS EAT, LLC - BUNCOMBE COUNTY, NORTH CAROLINA

DRAWN BY:
CDC PROJECT NO.:
BC PERMIT NO.

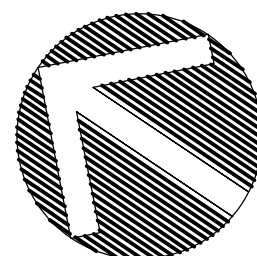
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12143
TBD

SHEET

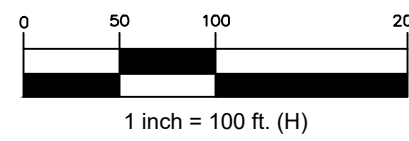
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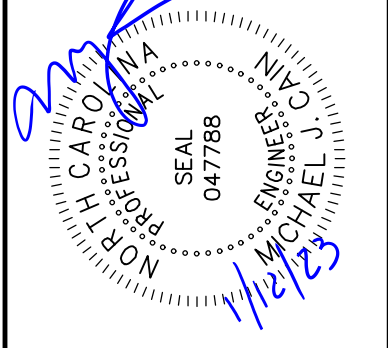
CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



ROAD PROFILES



SRP	BUNCOMBE COUNTY SUBMITTAL	5/20/22	1	NO.	DATE	DESCRIPTION	BY
SRP	AGENCY SUBMITTALS	10/11/22	2				
JCP	AGENCY SUBMITTALS	11/17/22	4				
SRP	AGENCY SUBMITTALS	1/12/23	5				



PINNERS COVE SUBDIVISION

ROAD PROFILES FOR:

DRAWN BY:
CDC PROJECT NO.:
BC PERMIT NO.

SRP
12143
TBD

- NOTES
- SEE GRADING, EROSION CONTROL, AND STORM DRAINAGE DETAIL SHEETS FOR ALL GENERAL NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL PLANS.
 - NO** PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN PER FEMA FLOODMAP 3700965500J.
 - SOIL TYPE: B, C**
 - TO SCHEDULE THE REQUIRED INSPECTIONS ON ALL WORK, CALL THE CIVIL DESIGN CONCEPTS INSPECTIONS HOTLINE AT 828-771-4755, OR EMAIL AT INSPECTIONS@CDCGO.COM. FAILURE TO SCHEDULE INSPECTIONS MAY RESULT IN UNCOVERING OR REDOING WORK
 - RETAINING WALLS:

ALL RETAINING WALL ELEVATIONS SHOWN ARE FROM TOP OF WALL TO FINISH GRADE ELEVATION. CONTRACTOR TO ACCOUNT FOR FOOTER/COVER OVER FOOTER. REFER TO WALL DESIGN FOR FOOTER DESIGN. WALL DESIGN TO ALSO ACCOMMODATE STORM PIPE PENETRATIONS PER PLANS.

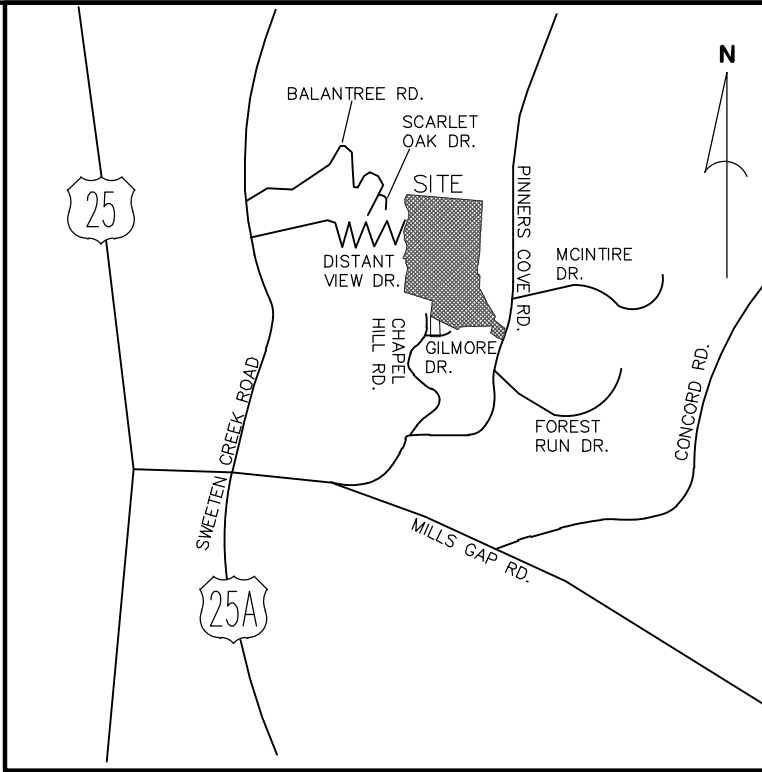
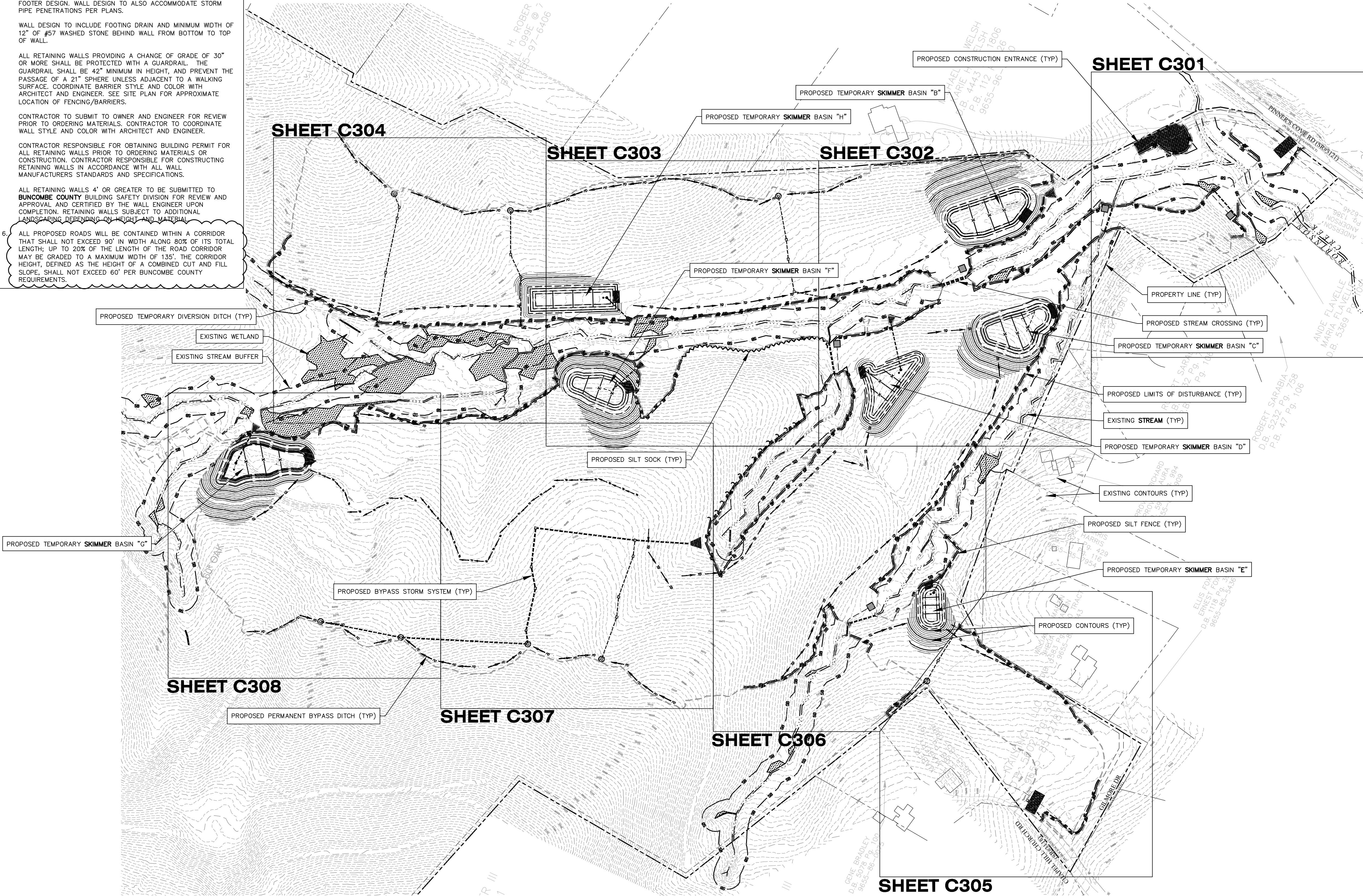
WALL DESIGN TO INCLUDE FOOTING DRAIN AND MINIMUM WIDTH OF 12" OF #57 WASHED STONE BEHIND WALL FROM BOTTOM TO TOP OF WALL.

ALL RETAINING WALLS PROVIDING A CHANGE OF GRADE OF 30" OR MORE SHALL BE PROTECTED WITH A GUARDRAIL. THE GUARDRAIL SHALL BE 42" MINIMUM IN HEIGHT, AND PREVENT THE PASSAGE OF A 21" SPHERE UNLESS ADJACENT TO A WALKING SURFACE. COORDINATE BARRIER STYLE AND COLOR WITH ARCHITECT AND ENGINEER. SEE SITE PLAN FOR APPROXIMATE LOCATION OF FENCING/BARRIERS.

CONTRACTOR TO SUBMIT TO OWNER AND ENGINEER FOR REVIEW PRIOR TO ORDERING MATERIALS. CONTRACTOR TO COORDINATE WALL STYLE AND COLOR WITH ARCHITECT AND ENGINEER.

CONTRACTOR RESPONSIBLE FOR OBTAINING BUILDING PERMIT FOR ALL RETAINING WALLS PRIOR TO ORDERING MATERIALS OR CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR CONSTRUCTING RETAINING WALLS IN ACCORDANCE WITH ALL WALL MANUFACTURERS STANDARDS AND SPECIFICATIONS.

ALL RETAINING WALLS 4' OR GREATER TO BE SUBMITTED TO **BUNCOMBE COUNTY** BUILDING SAFETY DIVISION FOR REVIEW AND APPROVAL AND CERTIFIED BY THE WALL ENGINEER UPON COMPLETION. RETAINING WALLS SUBJECT TO ADDITIONAL LANDSCAPING DEPENDING ON HEIGHT AND MATERIAL.
 - ALL PROPOSED ROADS WILL BE CONTAINED WITHIN A CORRIDOR THAT SHALL NOT EXCEED 90' IN WIDTH ALONG 80% OF ITS TOTAL LENGTH. UP TO 20% OF THE LENGTH OF THE ROAD CORRIDOR MAY BE GRADED TO A MAXIMUM WIDTH OF 135'. THE CORRIDOR HEIGHT, DEFINED AS THE HEIGHT OF A COMBINED CUT AND FILL SLOPE, SHALL NOT EXCEED 60' PER BUNCOMBE COUNTY REQUIREMENTS.



VICINITY MAP
(NOT TO SCALE)

DEVELOPMENT DATA

OWNER/DEVELOPER: KLP PINNERS EAT, LLC
222 SOUTH NINTH STREET, SUITE 1600
MINNEAPOLIS, MN 55402
DANIEL PERKINS
(561) 870-2468

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
168 PATTON AVENUE
ASHEVILLE, NC 28801
MICHAEL CAIN, P.E.
(828) 252-5388

SURVEYOR: ED HOLMES & ASSOCIATES
200 RIDGEFIELD COURT, SUITE 208
ASHEVILLE, NC, 28806
PHILLIP B. WHITE, P.L.S.
(828) 225-6562

ARCHITECT: DORAN ARCHITECTURE
7803 GLENROY RD, SUITE 200
BLOOMINGTON, MN 55439
JACQUEL HAUDER
(952) 641-9408

CONTACT:

PROJECT DATA

PIN: 9655-87-3857, 9655-85-2787
ADDRESS: PINNERS COVE RD, CHURCH RD
8155/511
DEED BOOK/PAGE: 177.98+ ACRES
PROJECT ACREAGE: LIMESTONE
TOWNSHIP: R-LD, R-2
BC ZONING:

SETBACKS: INTERNAL FRONT: 0' SIDE: 0' REAR: 0' EXTERNAL FRONT: 10' SIDE: 7' REAR: 20'

PERMITTED DENSITY: 1.25 U/A x 120% CLUSTER BONUS
PERMITTED UNITS: 266 SINGLE FAMILY UNITS
PROPOSED UNITS: 266 SINGLE FAMILY UNITS

EXISTING USE: VACANT
PROPOSED USE: SINGLE FAMILY RESIDENTIAL

DISTURBED AREA: 41.35 AC (23%)

IMPERVIOUS CALCULATIONS:

	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT:	0.00 ACRES (0%)	177.98 ACRES (100%)
POST-DEVELOPMENT:	16.20 ACRES (9%)	161.78 ACRES (91%)

CONSERVATION EASEMENT AREA CALCULATIONS:

REQUIRED:	106.80 ACRES (60%)
PROVIDED:	106.80 ACRES (60%)
NON-CONSERVED:	71.18 ACRES (40%)

AVERAGE NATURAL SLOPE CALCULATIONS*:

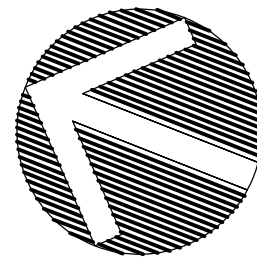
TOTAL SITE:	32.83%
NON-CONSERVED AREA:	25.33%

*AVERAGE NATURAL SLOPE CALCULATED USING SLOPE MAPPING IN AUTOCAD CIVIL 3D BASED ON BUNCOMBE COUNTY GIS CONTOUR DATA

SOIL TYPE: CkC2, CkC, CkD, EdE, EvD2, EvE2, EwDk, EwE, EwF, FdD2, Fnc, FrA, MwE, TaB, TaC, TaD, TpD, B, C

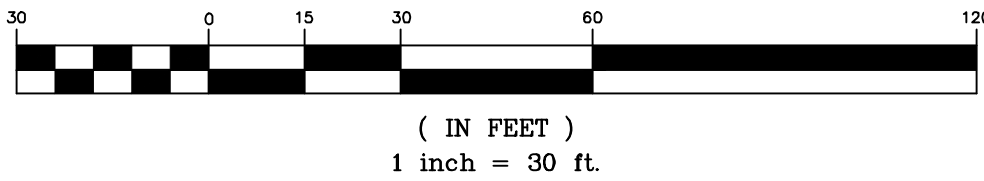
SOIL GROUPS:

CDC INSPECTIONS HOTLINE:
828-771-4755 OR INSPECTION@CDCGO.COM



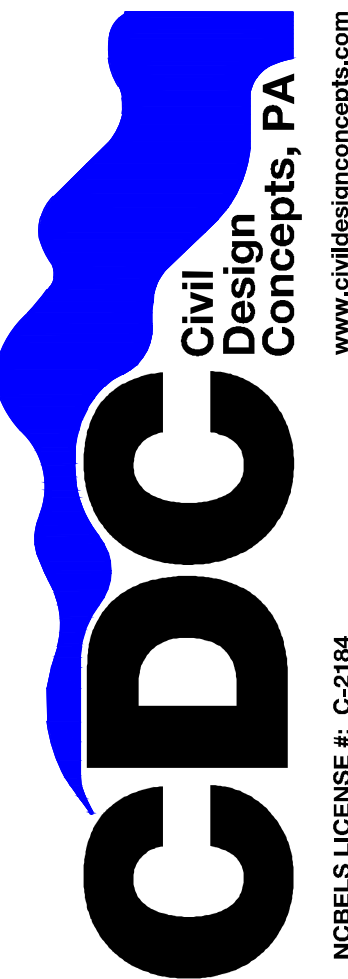
NORTH

MASTER GRADING & EROSION
CONTROL PH1
GRAPHIC SCALE

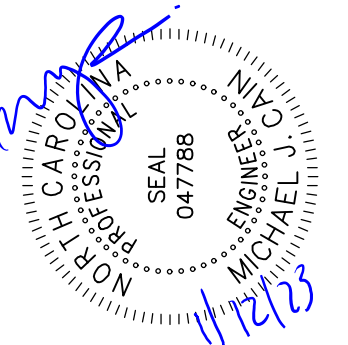


168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385

92 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 28786
PHONE (828) 252-5388
FAX (828) 455-5455



SRP	SRP	BY
BUNCOMBE COUNTY SUBMITTAL	AGENCY SUBMITTALS	DESCRIPTION
1	2	DATE
5/20/22	10/11/22	NO.



PINNERS COVE SUBDIVISION

MASTER GRADING & EROSION CONTROL PH1 FOR:

DRAWN BY: SRP
CDC PROJECT NO.: 12143
BC PERMIT NO. TBD

SHEET

C300

1. SEE GRADING, EROSION CONTROL, AND STORM DRAINAGE DETAIL SHEETS FOR ALL GENERAL NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL PLANS.
2. NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN PER FEMA FLOODMAP 3709065500J.
3. SOIL TYPE: B, C
4. TO SCHEDULE THE REQUIRED INSPECTIONS ON ALL WORK, CALL THE CIVIL DESIGN CONCEPTS HOTLINE AT 828-771-4755, OR EMAIL AT INSPECTIONS@CDCCGO.COM. FAILURE TO SCHEDULE INSPECTIONS MAY RESULT IN UNCOVERING OR REDDING WORK
5. RETAINING WALLS:

WALL DESIGN TO INCLUDE FOOTING DRAIN AND MINIMUM WIDTH OF 12" OF #57 WASHED STONE BEHIND WALL FROM BOTTOM TO TOP OF WALL.

CONTRACTOR TO SUBMIT TO OWNER AND ENGINEER FOR REVIEW
PRIOR TO ORDERING MATERIALS. CONTRACTOR TO COORDINATE
WALL STYLE AND COLOR WITH ARCHITECT AND ENGINEER.

ALL RETAINING WALLS 4' OR GREATER TO BE SUBMITTED TO
BUNCOMBE COUNTY BUILDING SAFETY DIVISION FOR REVIEW AND
APPROVAL AND CERTIFIED BY THE WALL ENGINEER UPON
COMPLETION. RETAINING WALLS SUBJECT TO ADDITIONAL
LANDSCAPING DEPENDING ON HEIGHT AND MATERIAL.

6. ALL PROPOSED ROADS WILL BE CONTAINED WITHIN A CORRIDOR THAT SHALL NOT EXCEED 90' IN WIDTH ALONG 80% OF ITS TOTAL LENGTH; UP TO 20% OF THE LENGTH OF THE ROAD CORRIDOR MAY BE GRADED TO A MAXIMUM WIDTH OF 135'. THE CORRIDOR HEIGHT, DEFINED AS THE HEIGHT OF A COMBINED CUT AND FILL SLOPE, SHALL NOT EXCEED 60' PER BUNCOMBE COUNTY REQUIREMENTS.



SHEET C404

SHEET C403

SHEET C402

SHEET C408

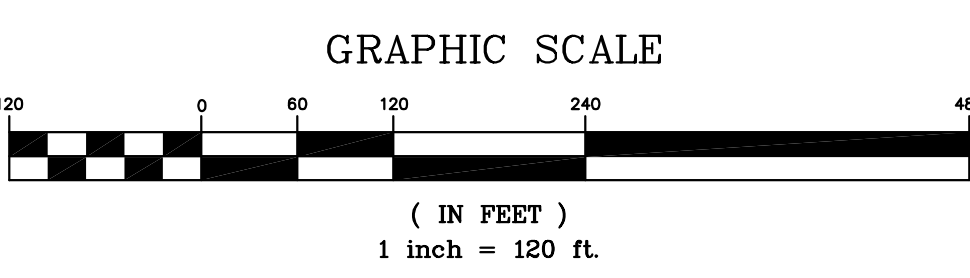
SHEET C407

SHEET C406

SHEET C405

	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT:	0.00 ACRES (0%)	177.98 ACRES (100%)
POST-DEVELOPMENT:	16.20 ACRES (9%)	161.78 ACRES (91%)

MASTER STORM DRAINAGE PLAN



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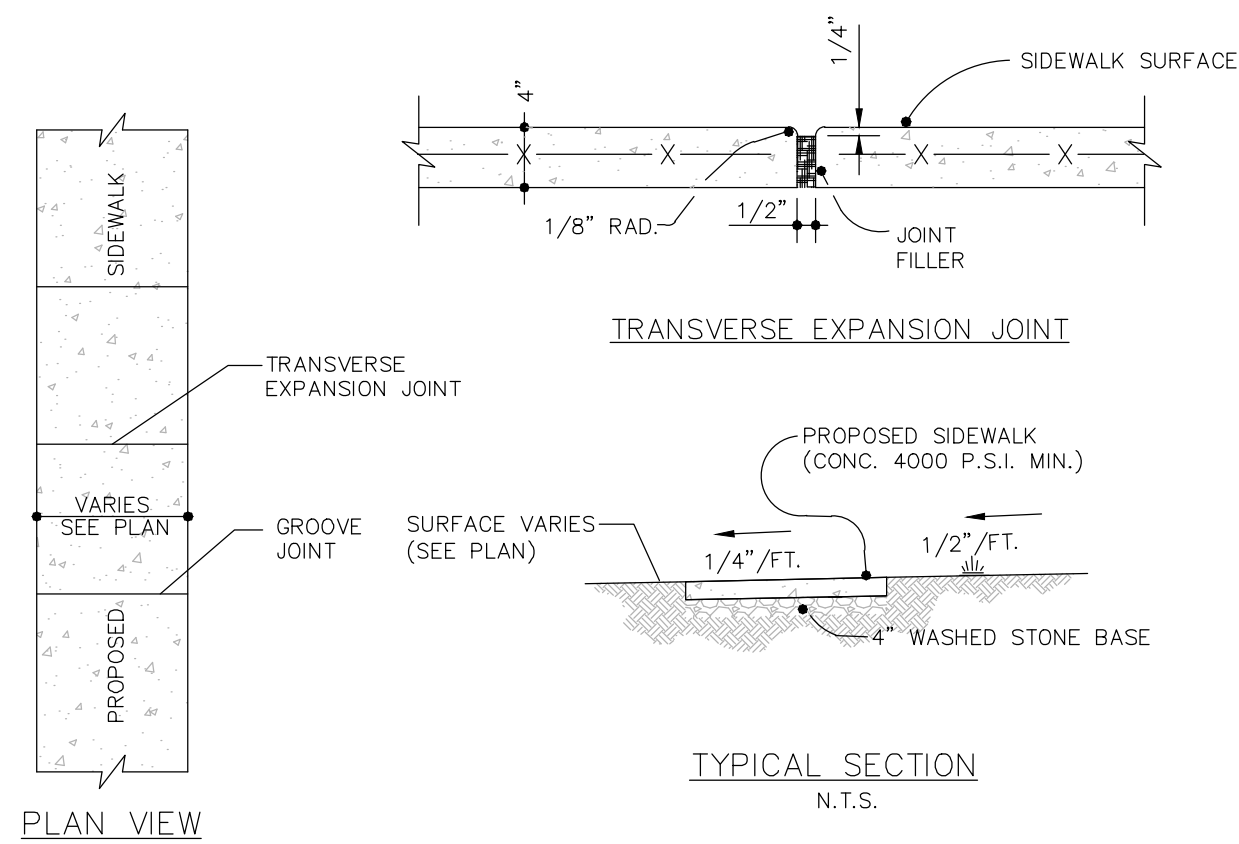
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MASTER STORM DRAINAGE PLAN FOR:
PINNERS COVE SUBDIVISION
KLP PINNERS EAT, LLC BUNCOMBE COUNTY, NORTH CAROLINA

DRAWN BY:	SRP
CDC PROJECT NO.:	12143
BC PERMIT NO.	TBD

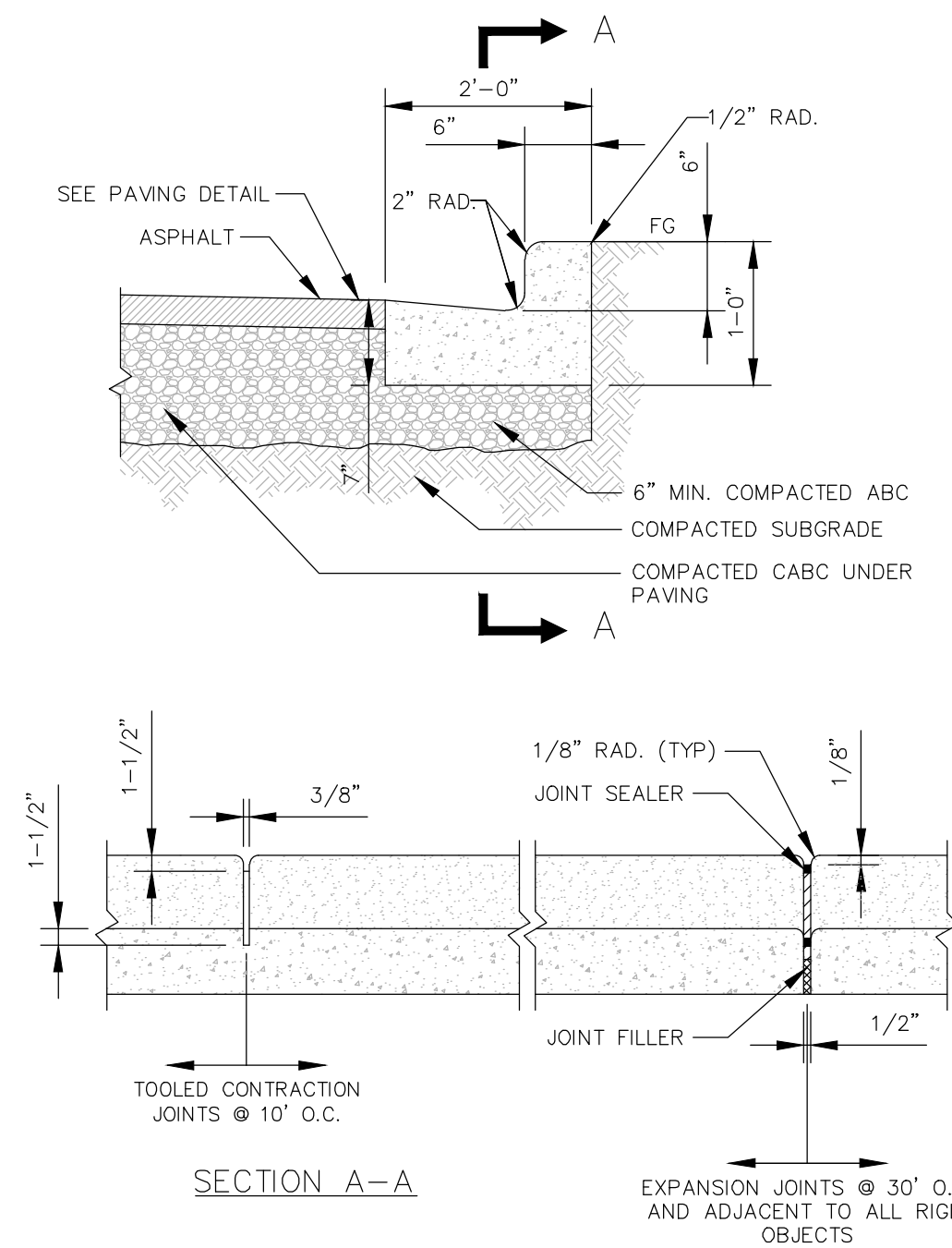
SHEET

C400



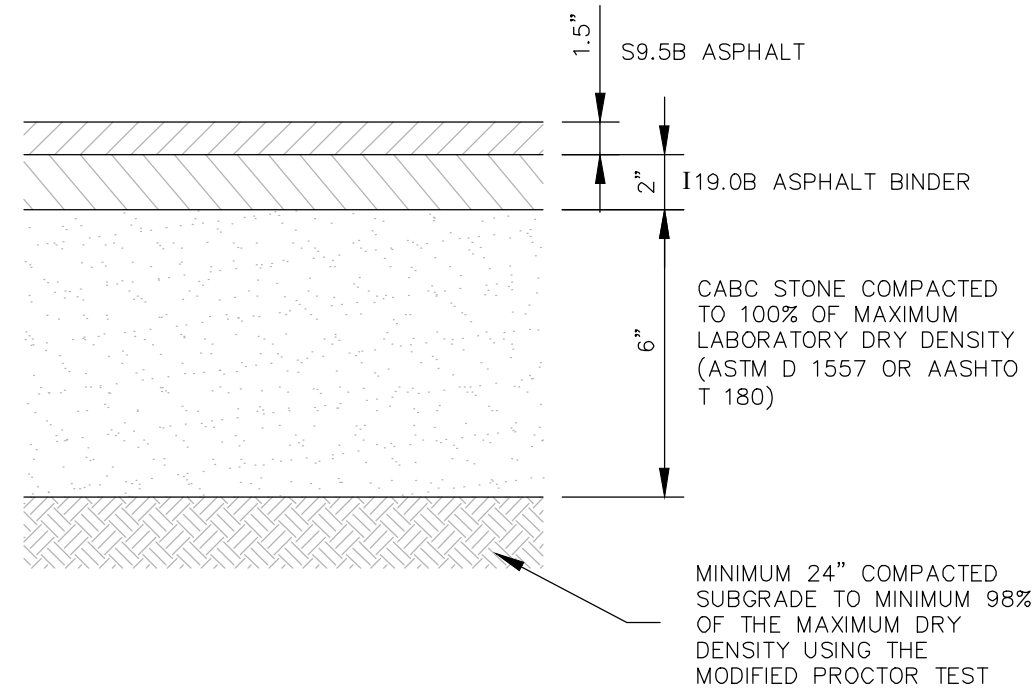
- NOTES:
1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 40 FEET.
 2. ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.
 3. A GROOVE JOINT 1\"/>

SIDEWALK DETAIL
NOT TO SCALE

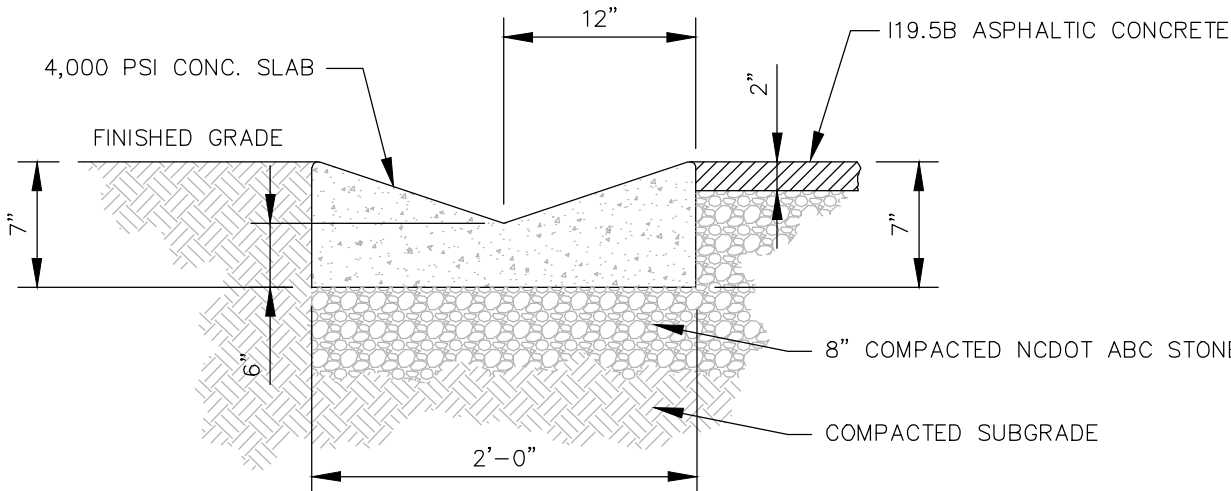


- CONSTRUCTION NOTES:
1. CURB SHALL BE CONSTRUCTED WITH 4000 PSI CONCRETE
 2. SURFACE SHALL BE GIVEN A LIGHT BROOM FINISH WITH THE BRUSH MARKS PARALLEL TO THE CURB.
 3. SUB-GRADE SHALL BE COMPACTED TO 98% OF MODIFIED PROCTOR TEST
 4. CABC SHALL BE COMPACTED TO 100% OF MODIFIED PROCTOR TEST

D2.04 CONCRETE CURB & GUTTER (24\") DETAIL
NOT TO SCALE

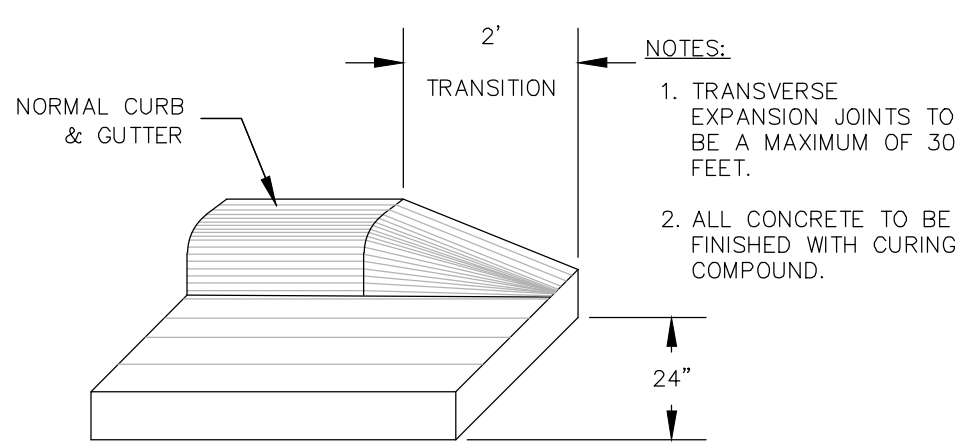


D2.02 TYPICAL HEAVY DUTY PAVEMENT CROSS SECTION
NOT TO SCALE

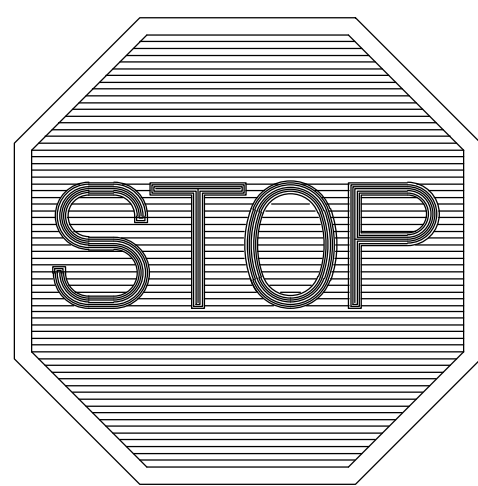


- CONSTRUCTION NOTES:
1. CURB SHALL BE CONSTRUCTED WITH 4000 PSI CONCRETE
 2. SURFACE SHALL BE GIVEN A LIGHT BROOM FINISH WITH THE BRUSH MARKS PARALLEL TO THE CURB.
 3. SUB-GRADE SHALL BE COMPACTED TO 98% OF MODIFIED PROCTOR TEST
 4. CABC SHALL BE COMPACTED TO 100% OF MODIFIED PROCTOR TEST

D2.05 24\"/>

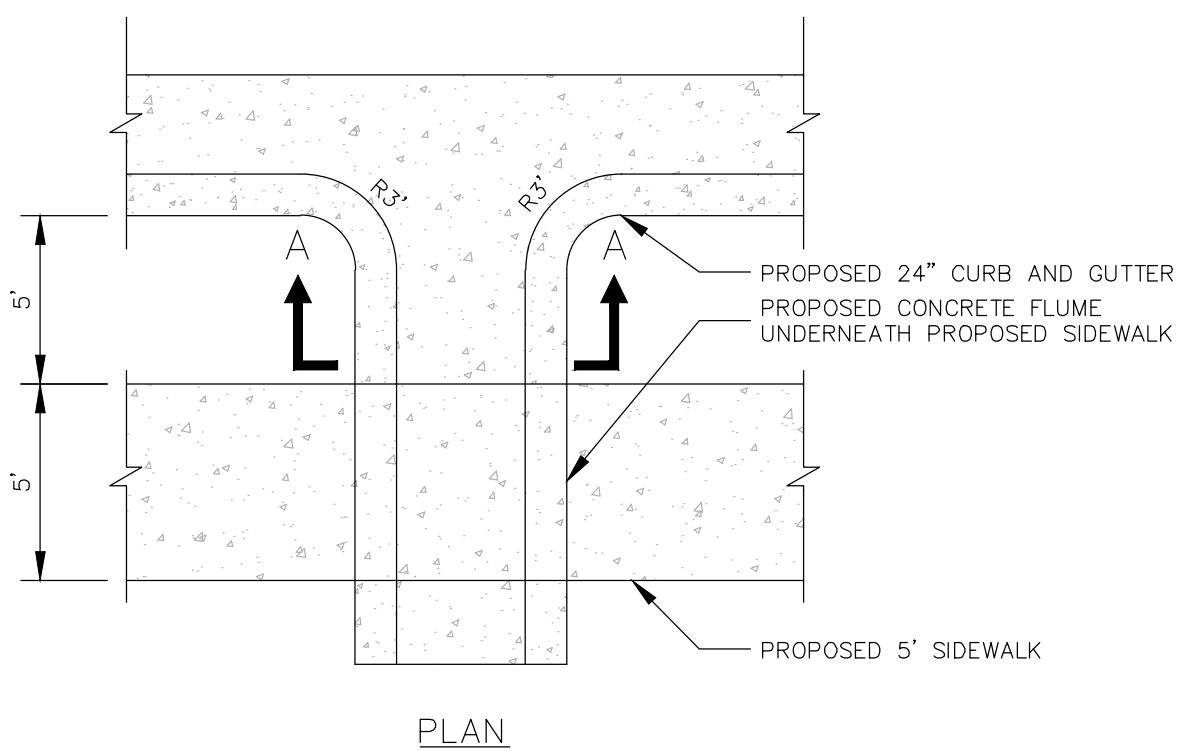
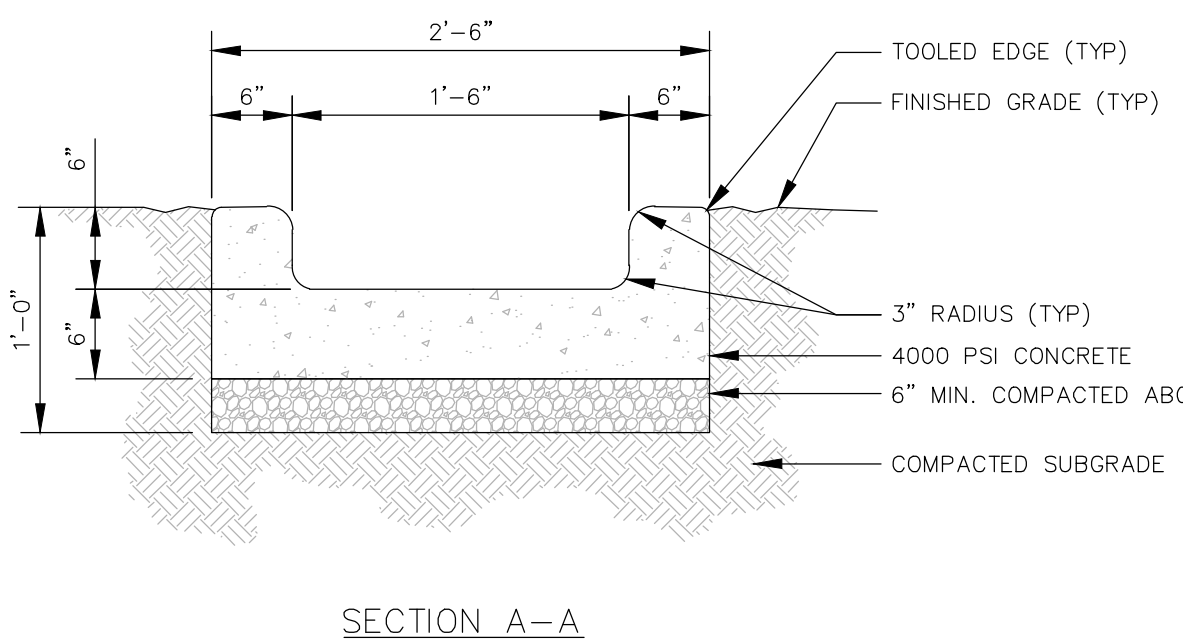


D2.06 CURB & GUTTER END TREATMENT
NOT TO SCALE

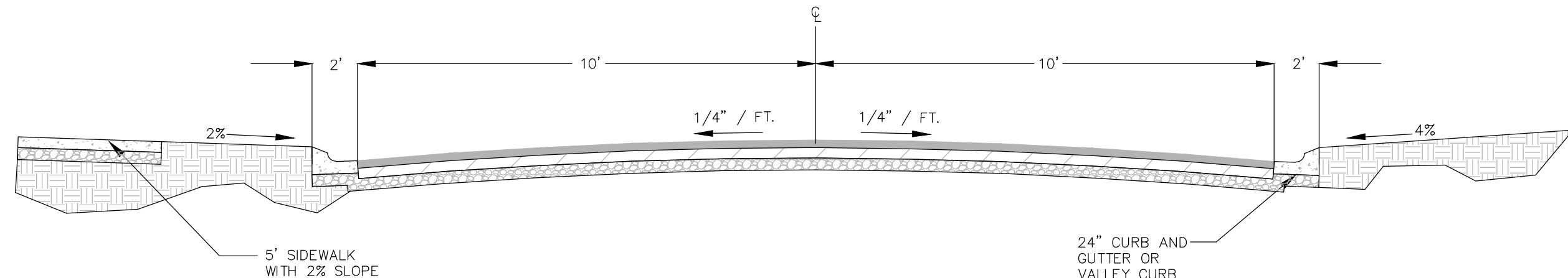


- NOTES:
1. SIGN SHALL HAVE WHITE LETTERS ON A RED REFLECTIVE BACKGROUND.
 2. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD.

D2.08 STOP SIGN DETAIL
NOT TO SCALE



D2.15 30\"/>



- NOTE:
1. GEOTECHNICAL ENGINEER TO APPROVE PROPOSED ROAD CROSS SECTION STONE DEPTH PRIOR TO CONSTRUCTION IN ACCORDANCE WITH NCDOT SUBDIVISION STANDARDS (STONE DEPTH CAN REDUCE TO 6\"/>

D2.14 TYPICAL ROAD SECTION
DIMENSIONS FOR COMMERCIAL STREETS
NOT TO SCALE

D2.07 CURB TRANSITION 24\"/>

NO.	DATE	DESCRIPTION	BY
1	5/20/22	BUNCOMBE COUNTY SUBMITTAL	SRP
2	10/11/22	AGENCY SUBMITTALS	SRP
4	11/17/22	AGENCY SUBMITTALS	UCP

