

Buncombe County Planning Board
November 4, 2013

The Buncombe County Planning Board met November 4, 2013 in the meeting room at 30 Valley Street. Members present were Jim Young, Josh Holmes, Chairman Tom Alexander, Michelle Wood, Bud Sales, Joe Sechler, Bernie Kessel, and Greg Phillips. Also present was Josh O'Conner, Zoning Administrator; and Gillian Phillips and Debbie Truempy, Planning staff. Curt Euler, County Attorney, arrived later in the meeting.

Call to Order

Chairman Alexander called the meeting to order at 9:32 am.

Approval of Agenda

Mr. Sales made a motion to approve the revised agenda. Mr. Young seconded it and the motion passed unanimously.

Approval of Minutes (October 21, 2013)

Mr. Holmes made a motion to approve the minutes as submitted. Ms. Wood seconded the motion and the motion passed unanimously.

Public Hearings (Zoning Map Amendments)

ZPH2013-00028: John Herron has applied to rezone a portion of tax lot PIN 9626-80-3208 (1431 Brevard Road) from Single Family Residential District R-1 to Commercial Service District (CS).

The Board was provided with the staff recommendation (Attachment A), GIS maps (Attachment B), and additional information from the application (Attachment C) prior to the meeting. The Board was provided with a letter asking the case to be continued at the meeting (Attachment D). Chairman Alexander indicated that the applicant has requested the case be continued. Mr. Holmes made a motion to continue the hearing to the December 2nd Planning Board Meeting. Mr. Sechler seconded the motion. The motion passed unanimously. Chairman Alexander indicated to the public present they could forward their comments to staff if they could not make it to the meeting. The Board and Staff then answered questions of those present.

SUB2013-00332

Biltmore Lake, Block J2, located off of Greenwells Glory Drive (PINs 9616-13-7499 and 9616-56-8324) is seeking preliminary approval.

The Board was provided with the development plan (Attachment E) and the proposed staff conditions (Attachment F) prior to the meeting. Ms. Truempy reviewed the plan for the Board.

Will Buie and Lee Thompson were present to represent the applicant. Mr. Buie had an overview of the Biltmore Lake development showing where the section was in reference to the overall development. Mr. Buie indicated that Stormwater management had approved the plan, and will issue a permit with planning board approval. Mr. Sechler asked questions regarding the

proposed driveway. Mr. Buie indicated that Biltmore Farms builds the homes within the development. There was discussion regarding how steep the driveways were. Mr. Sechler asked some questions regarding the proposed stormwater management requirements. Ms. Wood made a motion to approve with staff conditions. Mr. Kessel seconded the motion and the motion passed unanimously.

Public Hearings (Zoning Map Amendments)

ZPH2013-00027: Frances C. Briggs and Gary L. Corn have applied to rezone tax lot PINs 9634-88-8113 (499 Long Shoals Road) and 9634-97-2763 (located to the East of 499 Long Shoals Road), which are currently zoned Residential District R-2 to Employment District (EMP);

The Board was provided with the staff recommendation (Attachment G) and GIS maps (Attachment H) prior to the meeting. Ms. Truempy reviewed the case for the Board.

Gary Corn was present to represent the case. Mr. Corn described how the recent widening of Long Shoals had affected the property, and how you could no longer use the property. He indicated that the family had removed the house from the property and moved it to another property. He indicated that both properties had proximity to public utilities. Mr. Corn also indicated that he and his Aunt, Ms. Briggs, had discussed recombining the two properties. He mentioned to the Board that both the properties were adjacent to property zoned EMP.

The Board then discussed what the smaller tract could be used for if it remained residentially zoned. The Board also discussed how they would feel more comfortable recommending approval of both tracts for EMP if they were recombined into one tract. There was discussion regarding what buffering would be required of a commercial project next to a residential project.

Chairman Alexander then asked if anyone would like to make public comment. Bob Allen, who lived in the subdivision adjacent to Ms. Briggs property, indicated that the residents of the adjacent subdivision were concerned regarding the lot being zoned for commercial uses. Chairman Alexander closed the public hearing. Mr. Sechler made a motion to make a recommendation to approve the requested map amendment for the larger tract (with the PIN ending in 8113) with the consistency statement provided on Attachment G. Ms. Wood seconded the motion, and the motion passed unanimously. Mr. Sechler made a motion to recommend denial of the smaller tract (with the PIN ending in 2763) with the not consistent statement provided on Attachment G. The Board then discussed the proposed map amendment of the smaller tract. Mr. Young seconded the motion. The Board then discussed the proposed motion. Many raised concerns with leaving the smaller tract residentially zoned. There was discussion regarding the history of the tract, given it had previously been within the City of Asheville's ETJ. The Board discussed how they may be able to support EMP zoning for both tracts if they were recombined. The applicant, Ms. Briggs, then requested that the track be withdrawn from the application. Mr. Sechler then withdrew his motion to deny.

Continued discussion of zoning language regarding Public Utilities and Energy Generation Facilities

The Board was provided with the proposed language prior to the Planning Board meeting (Attachment I). Mr. O’Conner reviewed the proposed language for the Board and the changes from the previous meeting. Mr. Sechler raised concerns regarding the definition of “generation facility.” The staff indicated that they would add electrical in front of generation facility. There was discussion regarding how this would affect wind energy facilities. Chairman Alexander polled the Board and it was decided that the language would be advertised for the December 2nd Planning Board meeting.

Discussion of zoning language regarding the creation of a Resort District and related standards

The Board was provided with the proposed language prior to the Planning Board meeting (Attachment J). Mr. O’Conner reminded the Board that they were provided with this language in May 2012. Chairman Alexander asked Board members to be prepared to discuss the language at the next meeting. Patsy Brison, a local attorney, was present to represent the Biltmore Estate, but did not make comment regarding the proposal. The Board asked some questions regarding specific requirements in the ordinance including height limitations, and the allowance of travel trailers.

Public Comment

Mary Standard, a resident of the town of Montreat, indicated that she would not be able to attend the December 2nd meeting, but wanted to voice her support for the proposed text amendment.

Adjournment

There being no further business, Mr. Holmes made a motion to adjourn the meeting. Ms. Woods seconded the motion and the motion passed unanimously. The meeting was adjourned at 10:44 am.

BUNCOMBE COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS

CASE NUMBER : ZPH2013-00028
PROPOSED ZONING CHANGE : R-1 to CS
LOCATION : 1431 Brevard Road
PIN : 9626.80.3208
ACREAGE : 5.47 acres

APPLICANT/OWNER: JOHN HERRON
PO BOX 6411
ASHEVILLE, NC 28816

DEPARTMENT RECOMMENDATION: **DENIAL**

BOARD CONSIDERATIONS: The Board must determine if there is a reasonable basis for the requested change. An applicant's showing of reasonableness must address the totality of the circumstances and must demonstrate that the change is reasonable in light of its effect on all involved. Good Neighbors of South Davidson v. Town of Denton, 355 N.C. 254, 559 S.E.2d 768 (2002). Determination must be, the "product of a complex of factors." Chrismon v. Guilford County, 322 N.C. 611, 370 S.E.2d 579 (1988). Among the factors relevant to this analysis are the size of the tract in question; the compatibility of the disputed zoning action with an existing comprehensive zoning plan; the benefits and detriments resulting from the zoning action for the owner of the newly zoned property, his neighbors, and the surrounding community; and the relationship between the uses envisioned under the new zoning and the uses currently present in adjacent tracts. Id.

REZONING ANALYSIS: The applicant requests the rezoning of approximately 5.47 acres from R-1 (Residential District) to CS (Commercial Service District). The subject property is located at the intersection of Fore Road and Brevard Road. The tract is currently undeveloped. While a portion of the property that was previously within the City of Asheville's ETJ is zoned CS, and there is an established commercial corridor to the north of the subject property, the property to the south is zoned NS (Neighborhood Service District), creating a distinct separation and buffer between the more intense commercial uses located to the north of the subject property and the low density residential uses to the south of the subject property. Additionally, the application indicates that the only developable portion of the property is to the rear of the property, adjacent to R-1, and along Four Road. This portion of the property is adjacent to property zoned R-1 and NS, and none of the developable portion of the property fronts on Brevard Road. While, NS might be an appropriate zoning for the subject property, CS would not be given its proximity to low density residential uses and its lack of frontage on Brevard Road.

The proposed map amendment is not consistent with the Buncombe County Land Use Plan as the Land Use Constraint maps within the Buncombe County Comprehensive Land Use Plan, 2013 Update shows the following regarding the subject property:

- Not outside of steep slope areas
- Not outside of moderate and high slope stability hazards
- Adjacent to property zoned for low density residential uses.

The subject property is adjacent to property zoned for low density residential uses, and while it could be appropriate as a transitional area if it was zoned NS, between the CS commercial corridor on Brevard Road and the low density residential zoned property surrounding the subject property, the requested CS zoning would not be appropriate. The proposed CS zoning would be detrimental to the owner, adjacent

neighbors, and surrounding community as it is not consistent with the surrounding property zoned for low density residential uses. Therefore the Buncombe County Department of Planning and Development recommends **DENIAL** of the request.

LAND USE PLAN CONSISTENCY STATEMENTS

NOT CONSISTENT: The map amendment is not consistent with the Buncombe County Comprehensive Land Use Plan as the Land Use Constraint maps within the Buncombe County Comprehensive Land Use Plan, 2013 Update shows the following regarding the subject property:

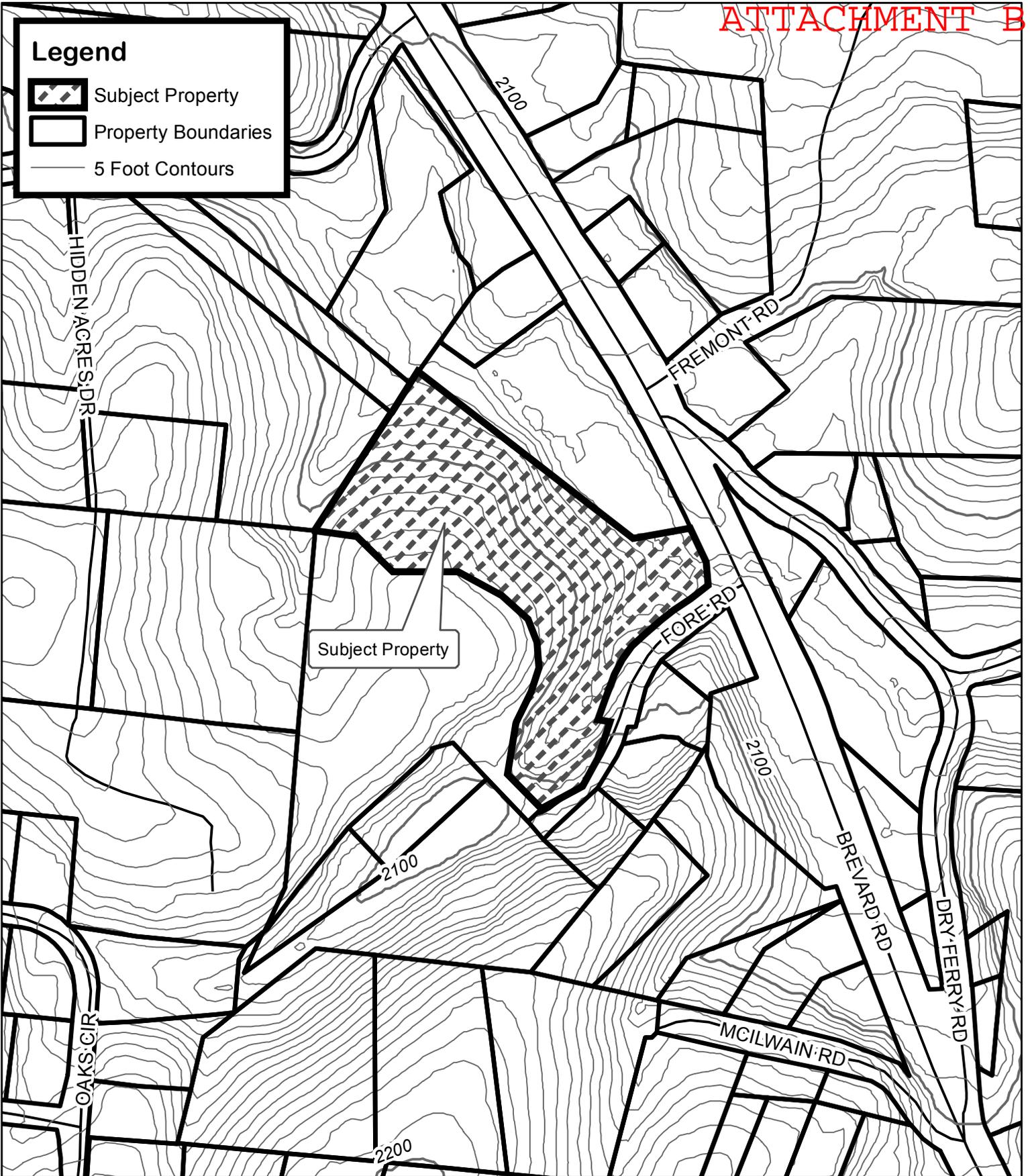
- Not outside of steep slope areas
- Not outside of moderate and high slope stability hazards
- Adjacent to property zoned for low residential uses.

As the property is adjacent to property zoned for low density residential uses, the proposed CS zoning would be detrimental to the owner, adjacent neighbors, and surrounding community as it is not consistent with the surrounding low density residential property. Therefore, the requested zoning would not be reasonable and in the interest of the public.

CONSISTENT: The proposed map amendment is consistent with the Buncombe County Land Use Plan as the Land Use Constraint maps within the Buncombe County Comprehensive Land Use Plan, 2013 Update shows the following regarding the subject property:

- Reasonable proximity to a transportation corridor
- Reasonable proximity to public utilities
- Outside high elevations
- Outside of flood areas

As the property is adjacent to property zoned CS, the proposed map amendment is appropriate and is therefore reasonable and in the interest of the public.



**John Herron
Map Amendment**

Case Number: ZPH2013-00028
 Approximate Property Size: 5.47 acres
 Application Date: September 27, 2013
 Planning Board Hearing Date: November 4, 2013



Created By: Buncombe County Planning
 Date: October 18, 2013

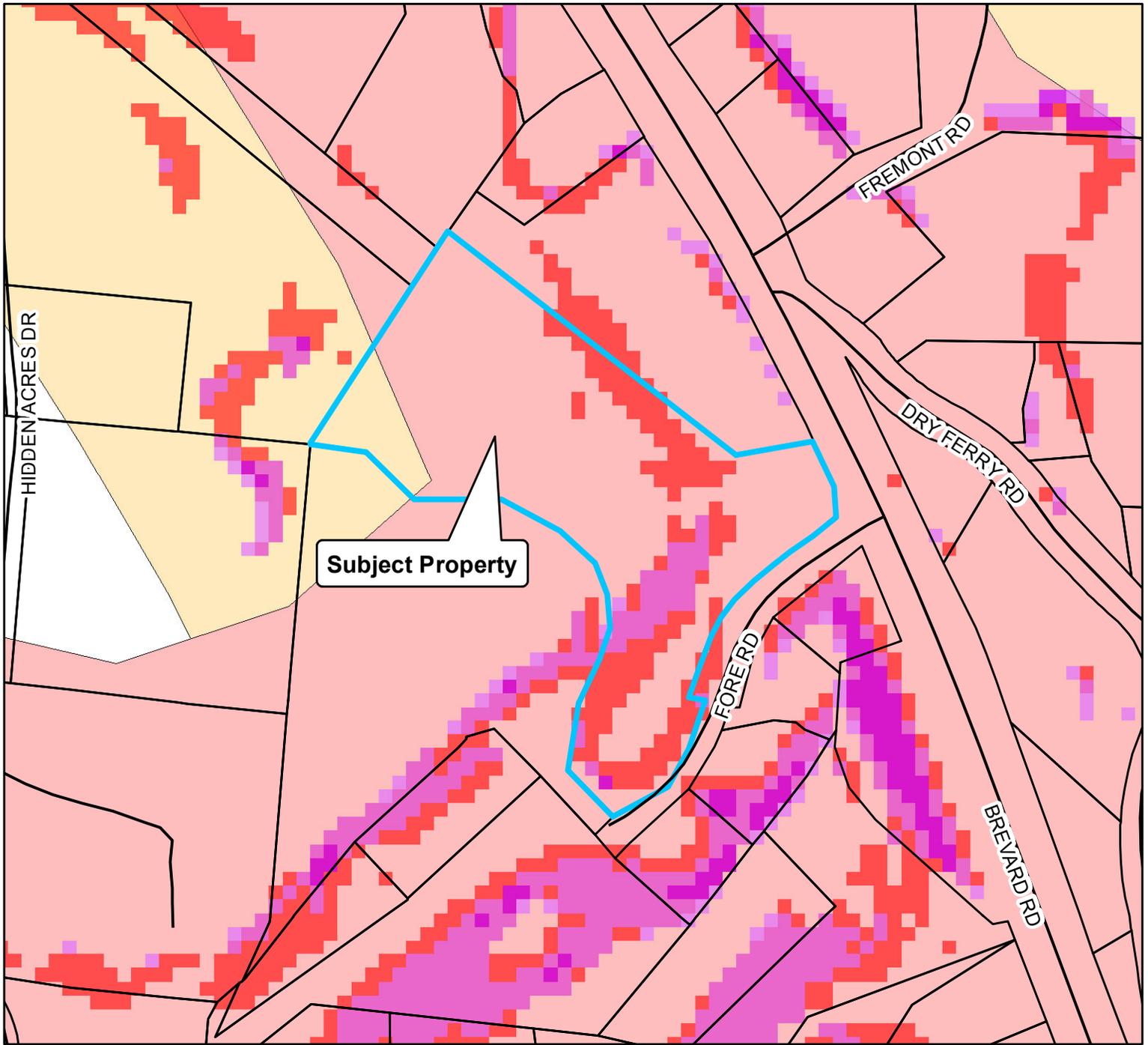


John Herron
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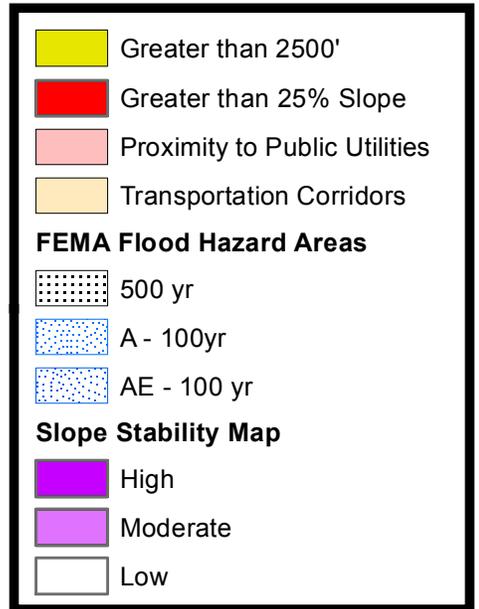


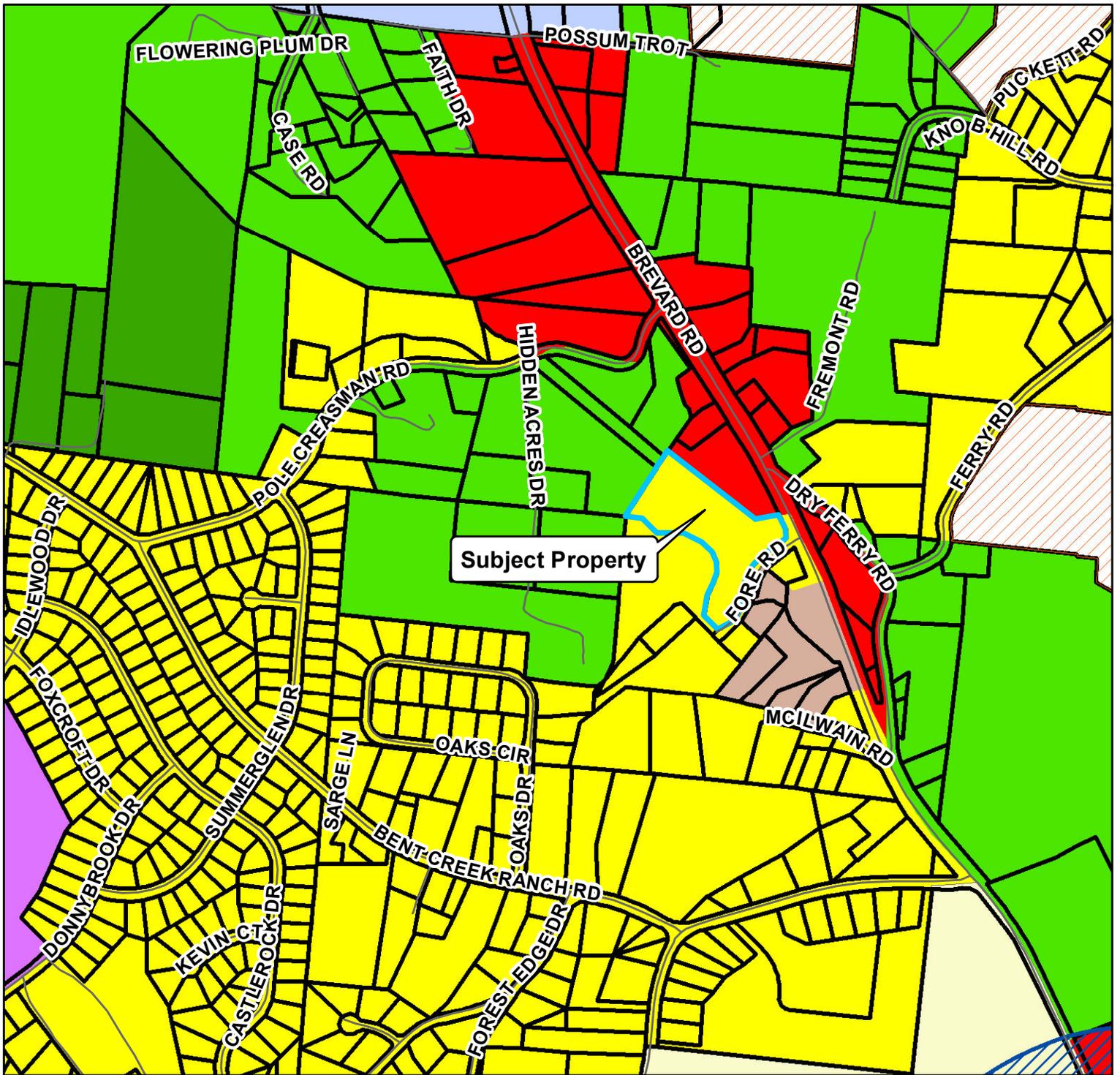
**John Herron
Map Amendment**



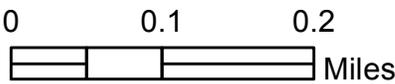
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Created By: Buncombe County Planning
 Date: October 18, 2013





John Herron Map Amendment



| | | | | | |
|-------------------------|-------------------|--|------|------------------------|-------------------------------|
| | Subject Property | | OU | Zoning Overlays | |
| | CITY OF ASHEVILLE | | PS | | Blue Ridge Parkway Overlay |
| Zoning Districts | | | R-1 | | Protected Ridge Overlay |
| | BDM | | R-2 | | Protected Ridge & Parkway |
| | CS | | R-3 | | Steep Slope/High Elev. |
| | EMP | | R-LD | | Steep Slope/High Elev. & Pkwy |
| | NS | | | | |

Case Number: ZPH2013-00028
 Approximate Property Size: 5.47 acres
 Application Date: September 27, 2013
 Planning Board Hearing Date: November 4, 2013



Created By: Buncombe County Planning
 Date: October 18, 2013

ZPH2013-00028
ADDITIONAL INFORMATION SUBMITTED BY
APPLICANT

ATTACHMENT C

JOHN HERRON HAS APPLIED TO REZONE A PORTION OF TAX LOT PIN 9626-80-3208 (1431 BREVARD RD) FROM SINGLE FAMILY RESIDENTIAL DISTRICT R-1 TO COMMERCIAL SERVICE DISTRICT (CS)

MOBILE HOME PARK

MOBILE HOME PARK

Craigs oil lube

CELEBRITY HOT DOGS

CAROLINA METAL

STORAGE BUI

HWY 191 BREVARD RD.

WETLAND

WETLAND

THIS IS THE ONLY PROPERTY USABLE

John and Melissa Herron
P. O. Box 6411
Asheville, N. C.
28816
828-776-6411

PROGRESS ENERGY/DUKE
POWER RIGHT-OF-WAY

THIS IS THE ONLY USABLE PROPERTY

OLD MOTEL

WETLAND

THIS IS THE ONLY PROPERTY USABLE

THIS IS ZONED COMMERCIAL

Disturbed
Q STA. 246+63.80
N= 680845.87
E= 928045.34

TOWER #27

GRAVEL

Asheville-Edin (Double Circuit) Tower

TOWER #26

Fore Road

Brevard Road

THIS IS ZONED COMMERCIAL

530 52750

This is the property after Progress Energy eminent domained it & took down the trees.



This is what you see now, with another transmission line, on the left where it is cleared.



This is 1431 Brevard Rd. Approx 600' road frontage. The front part is zoned commercial and I have been told that part is wet land



This is the way the property looked, when we purchased it, as commercial property - The whole tract.



These are pictures of trees & size of trees
taken down, that hid power line.



These trees are over 36" across the butt



There was approx 25 trees that were this big, plus all small trees.



LONG, PARKER, WARREN, ANDERSON & PAYNE, P.A.

ATTORNEYS AT LAW
14 SOUTH PACK SQUARE, SUITE 600
ASHEVILLE, NORTH CAROLINA 28801

(828) 258-2296

ROBERT B. LONG, JR.
WILLIAM A. PARKER
STEVE R. WARREN
PHILIP S. ANDERSON
RONALD K. PAYNE
ANDREW B. PARKER
RODNEY G. HASTY
ANNE S. SALTER

MAILING ADDRESS
Post Office Box 7216
Asheville, NC 28802

FACSIMILE
(828) 253-1073

November 1, 2013

Buncombe County Planning Department
46 Valley Street
Asheville, North Carolina 28801

ATTACHMENT D

Attn: Josh Connor

**RE: Meeting Monday, November 4, 2013
John Herron Map Amendment**

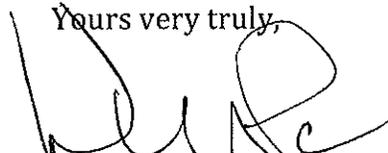
Gentlemen:

I am writing to confirm that Bob Long, Jr. continues to be in a Superior Court jury trial out of the county. Based upon the information available to us at this time, it would appear that Mr. Long will be unavailable on Monday, November 4, 2013, and for a considerable time thereafter. It is my understanding that the above matter is scheduled to be heard at the Planning Board meeting on Monday, November 4, 2013. We would respectfully request a continuance of the hearing in regard to this matter to a date to be agreed upon.

If you need anything further, please feel free to contact me.

Kind regards.

Yours very truly,



William A. Parker

WAP/fg

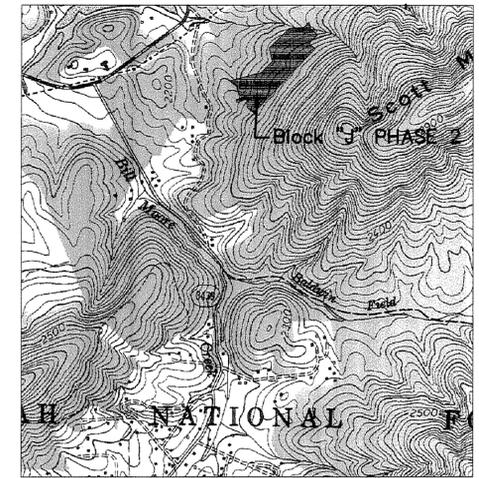
sub2013-00332
submitted 10-04-2013

APPROVED BY THE BC PB AT THEIR 11/4/2013 MEETING

BILTMORE LAKE

BLOCK "J" PHASE 2

BUNCOMBE COUNTY NORTH CAROLINA



VICINITY MAP

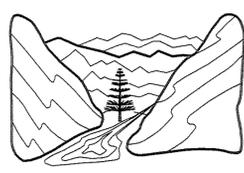
N.T.S.

ATTACHMENT E

1. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.
2. Provide a written statement from the Buncombe County Stormwater Administrator stating that a stormwater management plan has been submitted and approved for the project. No grading shall occur on the site until an approved Buncombe County Stormwater Permit is obtained.
3. Provide proof of approval of system design for City of Asheville water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
4. Provide proof of approval of system design from the Metropolitan Sewerage District. Proof of acceptance of the sewer lines into the Metropolitan Sewerage District sewage system will be required prior to recordation of a final plat or release of a financial guarantee.
5. Provide proof of approval of addresses from E-911 Addressing.
6. Provide proof of consultation with a geotechnical engineer for road construction in areas of tract in excess of 30 percent natural slope and for all areas designated as High Hazard or Moderate Hazard on the Buncombe County Slope Stability Index Map or indicate that no such areas exist.

INDEX

| SHEET NO. | DESCRIPTION |
|-----------|--|
| C-100 | SUBDIVISION PLAN |
| C-200 | INITIAL CLEARING AND EROSION CONTROL PLAN |
| C-201 | GRADING AND EROSION CONTROL PLAN |
| C-202 | BRASSIE COURT PLAN & PROFILE |
| C-203 | GRADING AND EROSION CONTROL DETAILS |
| C-204 | GRADING AND EROSION CONTROL DETAILS |
| C-300 | STORM DRAINAGE PLAN |
| C-301 | STORM DRAINAGE DETAILS |
| C-302 | STORM DRAINAGE DETAILS |
| C-400 | SANITARY SEWER SYSTEM LAYOUT |
| C-401 | SANITARY SEWER MAIN "A" & "B" PLAN & PROFILE |
| C-402 | SANITARY SEWER MAIN "C" PLAN & PROFILE |
| C-403 | SANITARY SEWER DETAILS |
| C-500 | WATER SYSTEM LAYOUT |
| C-501 | WATER MAIN PLAN & PROFILE |
| C-502 | WATER SYSTEM DETAILS |
| C-503 | WATER SYSTEM DETAILS |



WILLIAM G LAPSLEY & ASSOCIATES P.A.
 CONSULTING ENGINEERS & LAND PLANNERS
 NC License No.: C-0556
 214 N. King Street
 Hendersonville, NC 28792
 Phone: (828) 687-7177
 wgla.com

NOTES:

- 1.) MEASURES BEYOND THOSE SHOWN ON THE PLANS SHOULD BE APPROVED BY THE OWNER.
- 2.) ALL STORM DRAINAGE INLETS (INCLUDING ALL EXISTING INLETS) SHALL HAVE GRAVEL INLET PROTECTION AS SHOWN ON THE DETAIL SHEET.
- 3.) CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED SEDIMENTATION AND EROSION CONTROL PERMIT AND FOLLOW ALL DIRECTIVES. CONTRACTOR SHALL READ AND UNDERSTAND THE NPDES REQUIREMENTS OF THE PERMIT INCLUDING BUT NOT LIMITED TO:
-PLACEMENT OF RAIN GAUGE ON THE SITE
-INSPECTION OF ALL EROSION CONTROL MEASURES FOLLOWING SPECIFIED RAINFALL EVENTS OR WEEKLY.
-KEEP OF INSPECTION LOG FOR REVIEW UPON REQUEST BY NODENR, BUNCOMBE COUNTY, OWNER OR ENGINEER.
- 4.) ALL SLOPES OR GREATER 4:1 SHALL BE MATTED OR HYDRO-SEEDED AS SOON AS PRACTICALLY POSSIBLE. THE OWNER MAY REQUIRE THE CONTRACTOR TO CEASE NEW CONSTRUCTION UNTIL ALL SEEDING, MATTING AND EROSION CONTROL MAINTENANCE HAS BEEN COMPLETED.
- 5.) IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE LIFE OF THE PROJECT.
- 6.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD STAKING NECESSARY FOR THE CONSTRUCTION OF THE PROJECT. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC COPY OF THE DESIGN FOR STAKING PURPOSES. HOWEVER ALL ELECTRONIC INFORMATION SHOULD BE COORDINATED WITH THE PLANS.
- 7.) CONTRACTOR SHALL REMOVE ALL EROSION CONTROL MEASURES AT COMPLETION OF PROJECT. AFTER SITE HAS STABILIZED AND RESTORE TO FINAL GRADE.
- 8.) CONTRACTOR MUST KEEP ALL EXISTING STREETS CLEAR OF SEDIMENT. BROOMING OR SWEEPING OF THE STREETS WILL BE THE CONTRACTORS RESPONSIBILITY.
- 9.) ALL PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED GRADE.
- 10.) THE SITE SHOULD BALANCE ON THE GRADING, HOWEVER IF THE CONTRACTOR HAS TO USE A BORROW OR WASTE SITE, THEN THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF ACTIVE GRADING PERMIT FOR THE BORROW OR WASTE SITE TO BE USED.
- 11.) SEE SHEETS C-202 & C-203 FOR DETAILS.

CONSTRUCTION SEQUENCE:

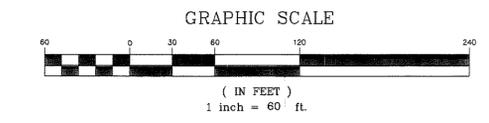
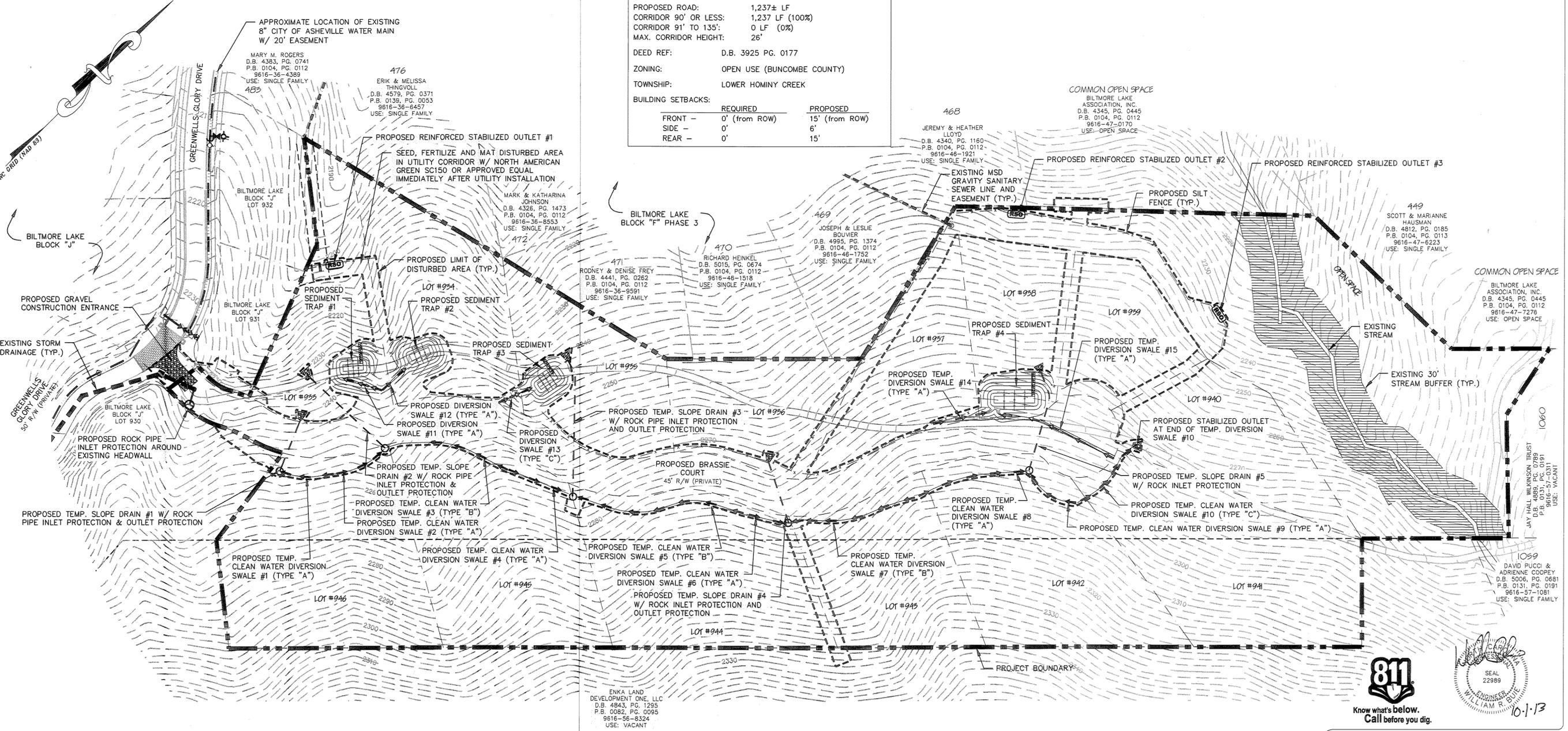
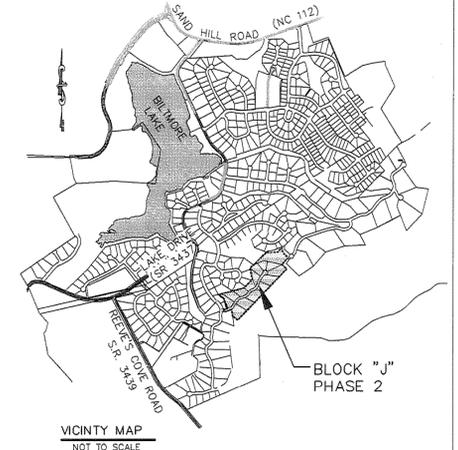
1. OBTAIN PLAN APPROVAL AND COPIES OF ALL APPLICABLE PERMITS.
2. HOLD PRECONSTRUCTION CONFERENCE.
3. INSTALL STABILIZED CONSTRUCTION ENTRY/EXIT.
4. PERFORM CLEARING NECESSARY TO INSTALL PERIMETER CONTROLS. NO GRUBBING OR EXCAVATION IS ALLOWED.
5. INSTALL PERIMETER CONTROLS SUCH AS SILT FENCES, SEDIMENT TRAPS/BASINS AND TEMPORARY DIVERSIONS.
6. INSTALL ALL CLEAN WATER DIVERSIONS AND DIVERSION PIPES ALONG WITH STABILIZED OUTLETS.
7. PROCEED WITH CLEARING AND GRUBBING WITHIN THE LIMITS AS SHOWN ON THE INITIAL CLEARING & EROSION CONTROL PLAN.
8. ROUGH GRADE THE SITE AND STOCKPILE TOPSOIL AS NECESSARY.
9. ANY DENUDED AREA THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN THE NPDES STABILIZATION TIME FRAME SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEEDING AND MULCHING.
10. INSTALL ALL SLOPE MATTING AS SOON AS SLOPES HAVE BEEN BROUGHT TO GRADE.
11. CONSTRUCT STORM DRAINAGE SYSTEM AND OTHER UTILITIES.
12. INSTALL INLET PROTECTION AT ALL STORM DRAINAGE BASINS.
13. ONCE THE ROUGH GRADING HAS BEEN COMPLETED, SLOPES STABILIZED AND STORM DRAINAGE INSTALLED, THE TEMPORARY SLOPE DRAINS MAY BE ABANDONED AND REMOVED.
14. CLEARING, GRUBBING AND GRADING MAY PROCEED FOR THE UPPER LOTS.
15. SEDIMENT TRAPS AND PERIMETER EROSION CONTROL MEASURES MAY BE ABANDONED WAS RUNOFF IS DIRECTED AWAY FROM THESE AREAS.
16. ALL EROSION CONTROL PRACTICES SHALL BE INSPECTED IN ACCORDANCE WITH NPDES REGULATIONS AND NEEDED REPAIRS SHALL BE MADE IMMEDIATELY.
17. PERMANENT GROUND COVER SHOULD BE ESTABLISHED AS SOON AS POSSIBLE AND IN ACCORDANCE WITH NPDES REQUIREMENTS.

DEVELOPMENT BLOCK:

PROJECT NAME: BILTMORE LAKE BLOCK "J" PHASE 2
PROJECT ADDRESS: GREENWELLS GLORY DRIVE
OWNER/DEVELOPER: BILTMORE LAKE, LLC
 ONE TOWN SQUARE BLVD, SUITE 330
 ASHEVILLE, NC 28803
 (828) 209-2000
CONTACT PERSON: LEE THOMASON
 ONE TOWN SQUARE BLVD, SUITE 330
 ASHEVILLE, NC 28803
 (828) 209-2000
ENGINEER: WILLIAM R. BUIE, P.E.
 WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.
 214 N. KING STREET
 HENDERSONVILLE, NC 28792
 (828) 687-7177
PIN #: 9616-13-7499 AND
 POTON OF 9616-56-8324
TOTAL PROPERTY SIZE: 15.82± AC.
TOTAL # OF PROPOSED LOTS: 14 LOTS
DENSITY: 1 LOT / 1.13 AC.
PROPOSED ROAD: 1,237± LF
CORRIDOR 90' OR LESS: 1,237 LF (100%)
CORRIDOR 91' TO 135': 0 LF (0%)
MAX. CORRIDOR HEIGHT: 26'
DEED REF: D.B. 3925 PG. 0177
ZONING: OPEN USE (BUNCOMBE COUNTY)
TOWNSHIP: LOWER HOMINY CREEK
BUILDING SETBACKS:

| | REQUIRED | PROPOSED |
|---------|---------------|----------------|
| FRONT - | 0' (from ROW) | 15' (from ROW) |
| SIDE - | 0' | 6' |
| REAR - | 0' | 15' |

- LEGEND**
- 2290 EXISTING 2' CONTOUR
 - 2280 PROPOSED 2' CONTOUR
 - PROPOSED LIMIT OF DISTURBED AREA
 - PROPOSED GRAVEL CONSTRUCTION ENTRANCE
 - x x x x PROPOSED SILT FENCE
 - (RSD) PROPOSED REINFORCED STABILIZED OUTLET
 - → → PROPOSED TEMP. CLEAN WATER DIVERSION SWALE
 - ← ← ← PROPOSED TEMP. DIVERSION SWALE+
 - - - PROPOSED SLOPE DRAIN
 - PROPOSED ROCK PIPE INLET PROTECTION
 - ▲ PROPOSED OUTLET PROTECTION
 - EXISTING STORM DRAINAGE
 - EXISTING WATER MAIN
 - EXISTING SANITARY SEWER



TOTAL DISTURBED AREA
 5.15± ACRES TOTAL

WILLIAM G. LAPSLEY & ASSOCIATES P.A.
 Consulting Engineers & Land Planners
 NC License No. C-0556
 214 N. King Street
 Hendersonville, North Carolina 28792
 (828) 687-7177
 wga.com

Revisions

| No. | Description |
|-----|-------------|
| | |
| | |
| | |

date: 8/27/13
job: 13162
drawn: TWT

sheet
 C-200

WILLIAM G. LAPSLEY & ASSOCIATES P.A.
 CONSULTING ENGINEERS & LAND PLANNERS
 HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE BLOCK "J" PHASE 2
 BUNCOMBE COUNTY
 NORTH CAROLINA

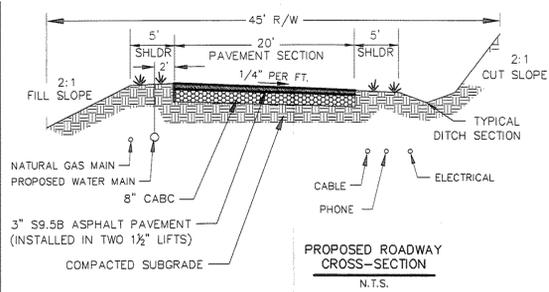
INITIAL CLEARING & EROSION CONTROL PLAN



F:\USERS\williams\projects\BiltmoreLake\BiltmoreLake.dwg, 10/12/2013 11:28:43 AM, 1:50

NOTES:

- 1.) MEASURES BEYOND THOSE SHOWN ON THE PLANS SHOULD BE APPROVED BY THE OWNER.
- 2.) ALL STORM DRAINAGE INLETS (INCLUDING ALL EXISTING INLETS) SHALL HAVE GRAVEL INLET PROTECTION AS SHOWN ON THE DETAIL SHEET.
- 3.) CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED SEDIMENTATION AND EROSION CONTROL PERMIT AND FOLLOW ALL DIRECTIVES. CONTRACTOR SHALL READ AND UNDERSTAND THE NPDES REQUIREMENTS OF THE PERMIT INCLUDING BUT NOT LIMITED TO:
-PLACEMENT OF RAIN GAUGE ON THE SITE
-INSPECTION OF ALL EROSION CONTROL MEASURES FOLLOWING SPECIFIED RAINFALL EVENTS OR WEEKLY
-UPKEEP OF INSPECTION LOG FOR REVIEW UPON REQUEST BY NCDENR, CITY OF ASHEVILLE, OWNER OR ENGINEER.
- 4.) ALL SLOPES OR GREATER 4:1 SHALL BE MATTED OR HYDRO-SEEDED AS SOON AS PRACTICALLY POSSIBLE. THE OWNER MAY REQUIRE THE CONTRACTOR TO CEASE NEW CONSTRUCTION UNTIL ALL SEEDING, MATTING AND EROSION CONTROL MAINTENANCE HAS BEEN COMPLETED.
- 5.) IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE LIFE OF THE PROJECT.
- 6.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD STAKING NECESSARY FOR THE CONSTRUCTION OF THE PROJECT. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC COPY OF THE DESIGN FOR STAKING PURPOSES. HOWEVER ALL ELECTRONIC INFORMATION SHOULD BE COORDINATED WITH THE PLANS.
- 7.) CONTRACTOR SHALL REMOVE ALL EROSION CONTROL MEASURES AT COMPLETION OF PROJECT. AFTER SITE HAS STABILIZED AND RESTORE TO FINAL GRADE.
- 8.) CONTRACTOR MUST KEEP ALL EXISTING STREETS CLEAR OF SEDIMENT, BROOMING OR SWEEPING OF THE STREETS WILL BE THE CONTRACTORS RESPONSIBILITY.
- 9.) ALL PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED GRADE.
- 10.) THE SITE SHOULD BALANCE ON THE GRADING, HOWEVER IF THE CONTRACTOR HAS TO USE A BORROW OR WASTE SITE, THEN THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF ACTIVE GRADING PERMIT FOR THE BORROW OR WASTE SITE TO BE USED.
- 11.) SEE SHEETS C-202 & C-203 FOR DETAILS.



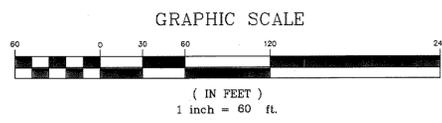
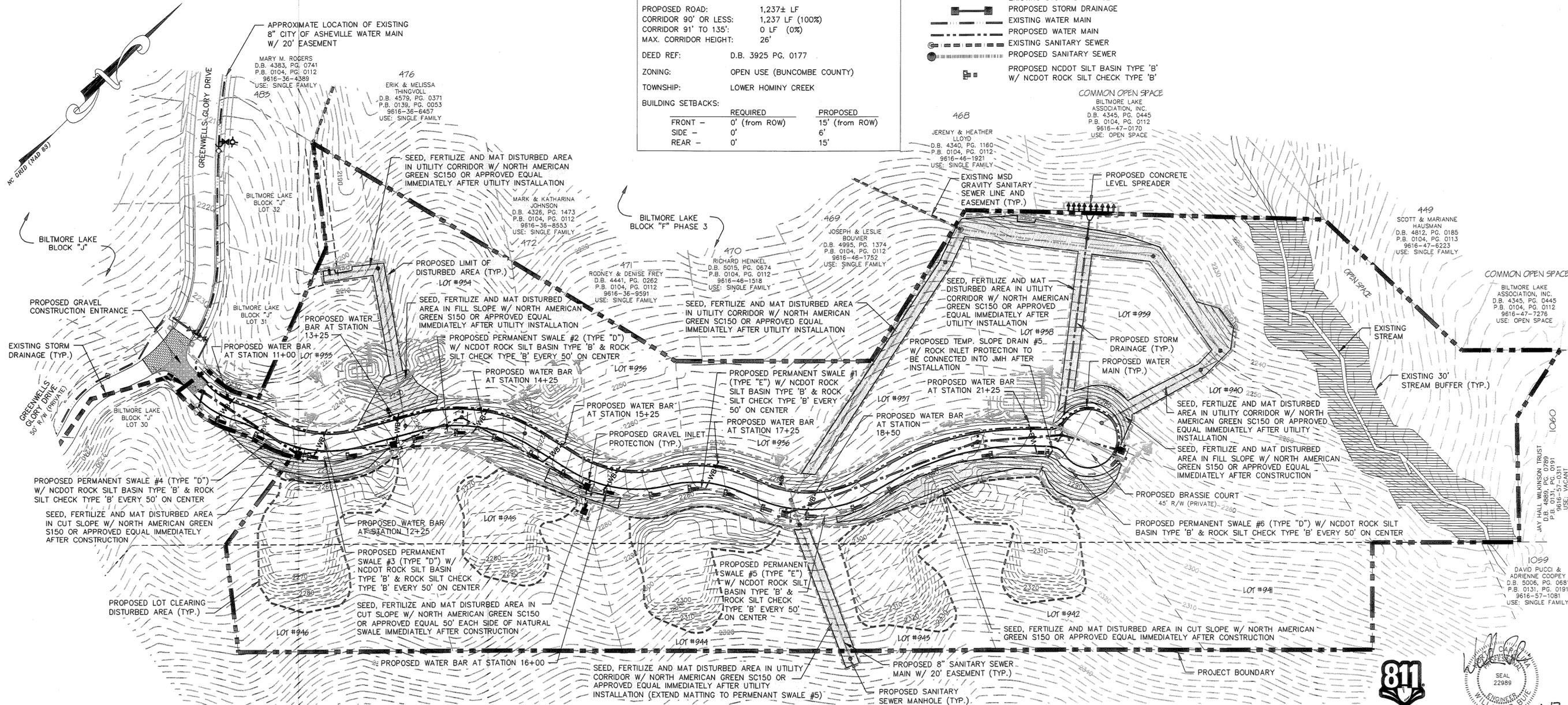
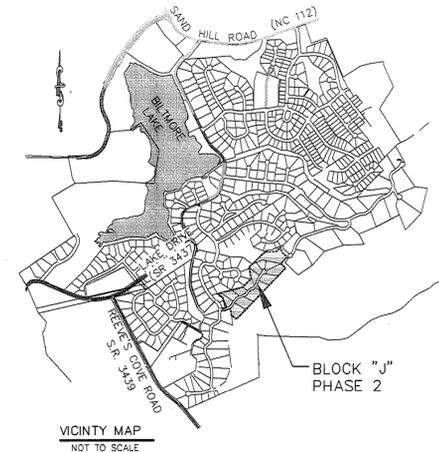
DEVELOPMENT BLOCK:

PROJECT NAME: BILTMORE LAKE BLOCK "J" PHASE 2
PROJECT ADDRESS: GREENWELLS GLORY DRIVE
OWNER/DEVELOPER: BILTMORE LAKE, LLC
 ONE TOWN SQUARE BLVD, SUITE 330
 ASHEVILLE, NC 28803
 (828) 209-2000
CONTACT PERSON: LEE THOMASON
 ONE TOWN SQUARE BLVD, SUITE 330
 ASHEVILLE, NC 28803
 (828) 209-2000
ENGINEER: WILLIAM R. BUIE, P.E.
 WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.
 214 N. KING STREET
 HENDERSONVILLE, NC 28792
 (828) 687-7177
PIN #: 9616-13-7499 AND
 PORTION OF 9616-56-8324
TOTAL PROPERTY SIZE: 15.82± AC.
TOTAL # OF PROPOSED LOTS: 14 LOTS
DENSITY: 1 LOT / 1.13 AC.
PROPOSED ROAD: 1,237± LF
CORRIDOR 90' OR LESS: 1,237 LF (100%)
CORRIDOR 91' TO 135': 0 LF (0%)
MAX. CORRIDOR HEIGHT: 26'
DEED REF: D.B. 3925 PG. 0177
ZONING: OPEN USE (BUNCOMBE COUNTY)
TOWNSHIP: LOWER HOMINY CREEK
BUILDING SETBACKS:

| | REQUIRED | PROPOSED |
|---------|---------------|----------------|
| FRONT - | 0' (from ROW) | 15' (from ROW) |
| SIDE - | 0' | 6' |
| REAR - | 0' | 15' |

LEGEND

- 2290— EXISTING 2' CONTOUR
- 2280— PROPOSED 2' CONTOUR (ROADWAY AND UTILITY GRADING)
- - -2280- - - PROPOSED 2' CONTOUR (LOT GRADING)
- - - - - PROPOSED LIMIT OF DISTURBED AREA (LOT CLEARING)
- [Symbol] PROPOSED GRAVEL CONSTRUCTION ENTRANCE
- [Symbol] PROPOSED SILT FENCE
- [Symbol] PROPOSED REINFORCED STABILIZED OUTLET
- [Symbol] PROPOSED GRAVEL INLET PROTECTION
- [Symbol] PROPOSED ROCK PIPE INLET PROTECTION
- [Symbol] PROPOSED OUTLET PROTECTION
- [Symbol] PROPOSED PERMANENT SWALE
- [Symbol] PROPOSED WATER BAR
- [Symbol] PROPOSED SLOPE MATTING
- [Symbol] EXISTING STORM DRAINAGE
- [Symbol] PROPOSED STORM DRAINAGE
- [Symbol] EXISTING WATER MAIN
- [Symbol] PROPOSED WATER MAIN
- [Symbol] EXISTING SANITARY SEWER
- [Symbol] PROPOSED SANITARY SEWER
- [Symbol] PROPOSED NCDOT SILT BASIN TYPE 'B' W/ NCDOT ROCK SILT CHECK TYPE 'B'



TOTAL DISTURBED AREA
5.15± ACRES

WILLIAM G. LAPSLEY & ASSOCIATES P.A.
 Consulting Engineers & Land Planners
 NC License No: C-0556
 214 N. King Street
 Hendersonville, North Carolina 28792
 (828) 687-7177
 wga.com

Revisions

| No. | Description |
|-----|-------------|
| | |
| | |
| | |

date: 8/27/13
job: 13162
drawn: TWT

sheet
C-201

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 CONSULTING ENGINEERS & LAND PLANNERS
 HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE BLOCK "J" PHASE 2
 BUNCOMBE COUNTY
 NORTH CAROLINA

GRADING & EROSION CONTROL PLAN

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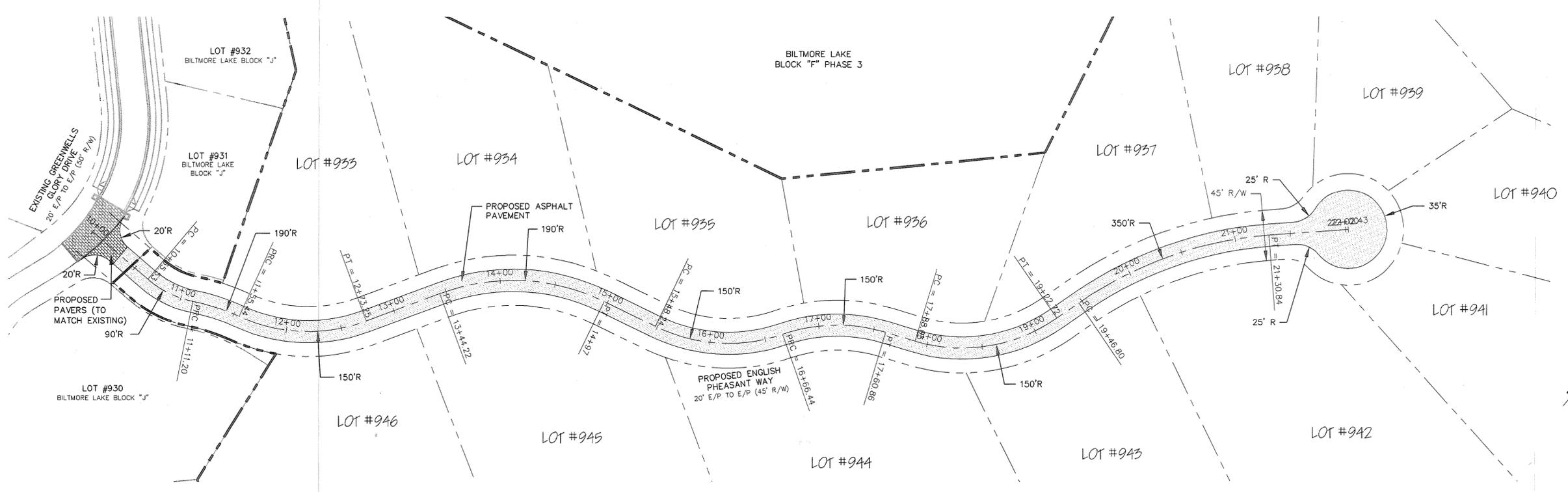


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 HENDERSONVILLE, NORTH CAROLINA

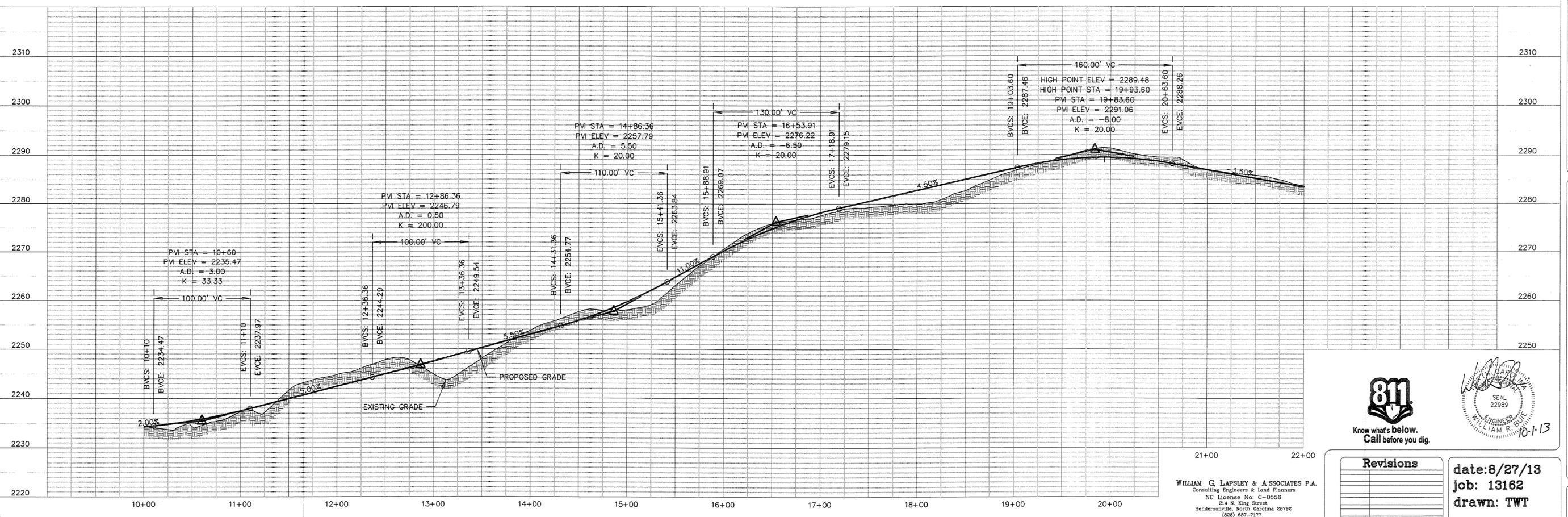
BILTMORE LAKE
 BLOCK "J" PHASE 2
 BUNCOMBE COUNTY
 NORTH CAROLINA

BRASSIE COURT
 PLAN & PROFILE

sheet
 C-202



HORIZONTAL SCALE 1"=50'
 VERTICAL SCALE 1"=10'

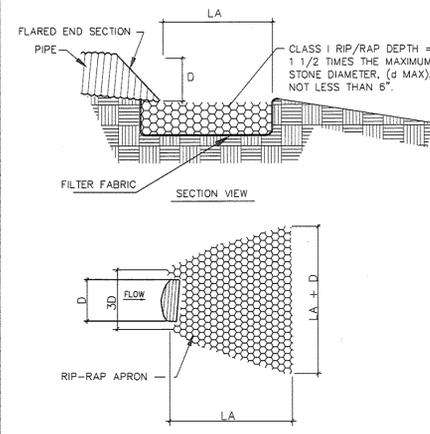


| Revisions |
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date: 8/27/13
 job: 13162
 drawn: TWT

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 Hendersonville, North Carolina 28792
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 wglia.com

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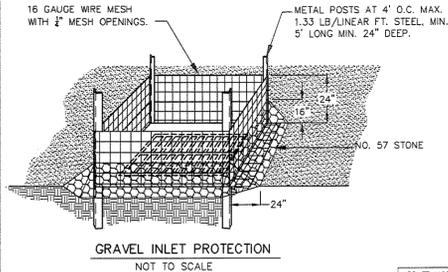
| NO. | D | LA | d50 SIZE |
|---------------------------|-----|-----|----------|
| CLEAN WATER DIVERSION #10 | N/A | 10' | 6" |
| SLOPE DRAIN #1 | 12" | 8' | 6" |
| SLOPE DRAIN #2 | 18" | 10' | 6" |
| SLOPE DRAIN #3 | 24" | 12' | 6" |
| SLOPE DRAIN #4 | 24" | 12' | 6" |

NOTES:
d50 = MEDIAN STONE SIZE
dMAX = 1.5 X d50

TYPICAL PIPE OUTLET
NOT TO SCALE

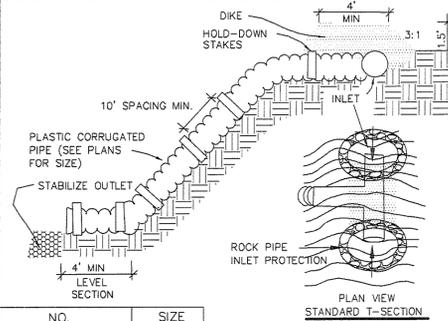
UPDATE 03/008

- NOTES:
- EXCAVATE AROUND INLET MIN. 1', MAX. 2' BELOW TOP OF INLET FOR SEDIMENT STORAGE.
 - INSPECT INLETS AT LEAST WEEKLY AND AFTER SIGNIFICANT (3 INCH OR GREATER) RAIN FALL EVENT
 - CLEAR THE MESH WIRE OF ANY DEBRIS OF OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS.
 - TAKE CARE NOT TO DAMAGE OF UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL.
 - REPLACE STONE AS NEEDED



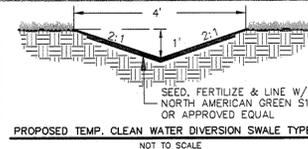
GRAVEL INLET PROTECTION
NOT TO SCALE

UPDATE 11/2009

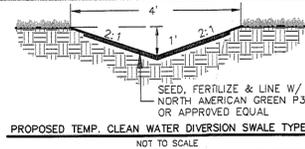


TEMPORARY SLOPE DRAIN
NOT TO SCALE

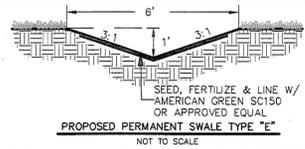
| NO. | SIZE |
|----------------|------|
| SLOPE DRAIN #1 | 12" |
| SLOPE DRAIN #2 | 18" |
| SLOPE DRAIN #3 | 24" |
| SLOPE DRAIN #4 | 24" |
| SLOPE DRAIN #5 | 12" |



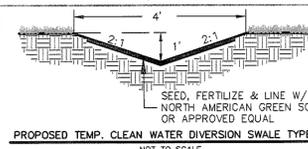
PROPOSED TEMP. CLEAN WATER DIVERSION SWALE TYPE "A"
NOT TO SCALE



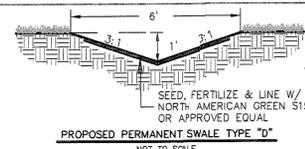
PROPOSED TEMP. CLEAN WATER DIVERSION SWALE TYPE "C"
NOT TO SCALE



PROPOSED PERMANENT SWALE TYPE "E"
NOT TO SCALE



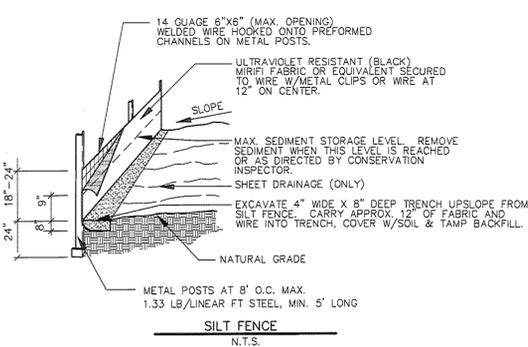
PROPOSED TEMP. CLEAN WATER DIVERSION SWALE TYPE "B"
NOT TO SCALE



PROPOSED PERMANENT SWALE TYPE "D"
NOT TO SCALE

NOTE:

SILT FENCES SHOULD NOT BE USED IN AREAS OF CONCENTRATED FLOW (CREEKS, DITCHES, SWALE, ETC.)



SILT FENCE
N.T.S.

- CONSTRUCTION SPECIFICATIONS
- CONSTRUCT THE SEDIMENT BARRIER OF STANDARD OR EXTRA STRENGTH SYNTHETIC FILTER FABRIC.
 - ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE THE GROUND SURFACE.
 - CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER FABRIC TO THE NEXT POST.
 - SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN FABRIC ON THE UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUNDS TENSILE STRENGTH.
 - WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE POSTS A MAXIMUM OF 8 FEET APART. SUPPORT POSTS SHOULD BE DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24 INCHES.
 - EXTRA STRENGTH FILTER FABRIC WITH 6 FEET POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUND TENSILE STRENGTH.
 - EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 8 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 - PLACE 12 INCHES OF THE FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
 - BACKFILL THE TRENCH WITH SOIL PLACED OVER THE FILTER FABRIC AND COMPACT. THOROUGH COMPACT OF THE BACKFILL IS CRITICAL TO SILT FENCE PERFORMANCE.
 - DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.

REINFORCED STABILIZED OUTLET Sediment Fence (Silt Fence) 6

Reinforced, Stabilized Outlets Any outlet where storm flow bypass occurs must be stabilized against erosion.

Set outlet elevation so that water depth cannot exceed 1.5 ft at the lowest point along the fence line (Figure 6.62c). Set fabric height at 1 ft maximum between support posts spaced no more than 4 ft apart. Install a horizontal brace between the support posts to serve as an overflow weir and to support top of fabric. Provide a riprap splash pad as shown in Figure 6.62c.

Excavate foundation for the splash pad a minimum 5 ft wide, 1 ft deep, and 5 ft long on level grade. The finished surface of the riprap should blend with surrounding area, allowing no overfall. The area around the pad must be stable.

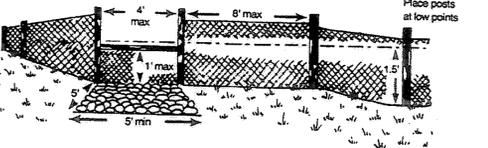


Figure 6.62c Perspective of reinforced, stabilized outlet for sediment fence.

Construction Dig a trench approximately 8 inches deep and 4 inches wide, or a V-trench, in the line of the fence as shown in Figure 6.62d.

Drive posts securely, at least 18 inches into the ground, on the downslope side of the trench. Space posts a maximum of 8 ft if fence is supported by wire, 6 ft if extra-strength fabric is used without support wire. Adjust spacing to place posts at low points along the fence line.

Fasten support wire fence to upslope side of posts, extending 6 inches into the trench as shown in Figure 6.62d.

Attach continuous length of fabric to upslope side of fence posts. Avoid joints, particularly at low points in the fence line. Where joints are necessary, fasten fabric securely to support posts and overlap to the next post.

6.62.4

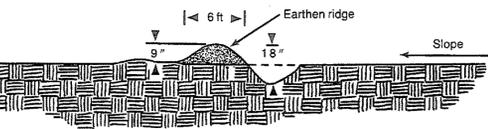
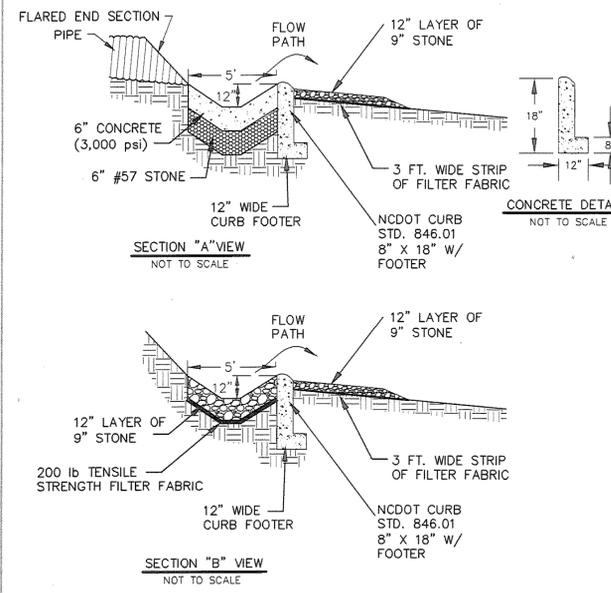


Figure 6.62b Section view of a water bar.

Maintenance Periodically inspect right-of-way diversions for wear and after every heavy rainfall for erosion damage. Immediately remove sediment from the flow area and repair the dike. Check outlet areas and make timely repairs as needed. When permanent road drainage is established and the area above the temporary right-of-way diversions is permanently stabilized, remove the dike and fill the channel to blend with the natural ground, and appropriately stabilize the disturbed area.

- Construction Specifications
- Install the diversion as soon as the right-of-way has been cleared and graded.
 - Disk the base for the constructed ridge before placing fill.
 - Track the ridge to compact it to the design cross section.
 - Locate the outlet on an undisturbed area. Adjust field spacing of the diversion to use the most stable outlet areas. When natural areas are not deemed satisfactory, provide outlet protection (Practices 6.40, Level Spreader, and 6.41, Outlet Stabilization Structure).
 - Immediately seed and mulch the portions of the diversions not subject to construction traffic. Stabilize with gravel areas to be crossed by vehicles.

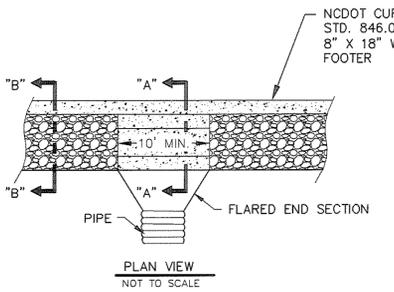
WATER BAR
NOT TO SCALE



SECTION "A" VIEW
NOT TO SCALE

SECTION "B" VIEW
NOT TO SCALE

- NOTES:
- BOTTOM WIDTH SHALL BE 12" W/ 2:1 SIDE SLOPES.
 - 60 LF CONCRETE LEVEL SPREADER LENGTH.
 - EXTEND CONCRETE CURB LEVEL SPREADER AROUND BOTH ENDS FOR 6' (LENGTH NOT INCLUDED IN NOTE #2).



CONCRETE VELOCITY DISSIPATER DETAIL
NOT TO SCALE



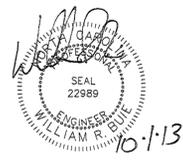
WILLIAM G. LAPSLEY & ASSOCIATES P.A.
CONSULTING ENGINEERS & LAND PLANNERS
HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE
BLOCK "J" PHASE 2
BUNCOMBE COUNTY
NORTH CAROLINA

GRADING & EROSION CONTROL DETAILS



Know what's below.
Call before you dig.



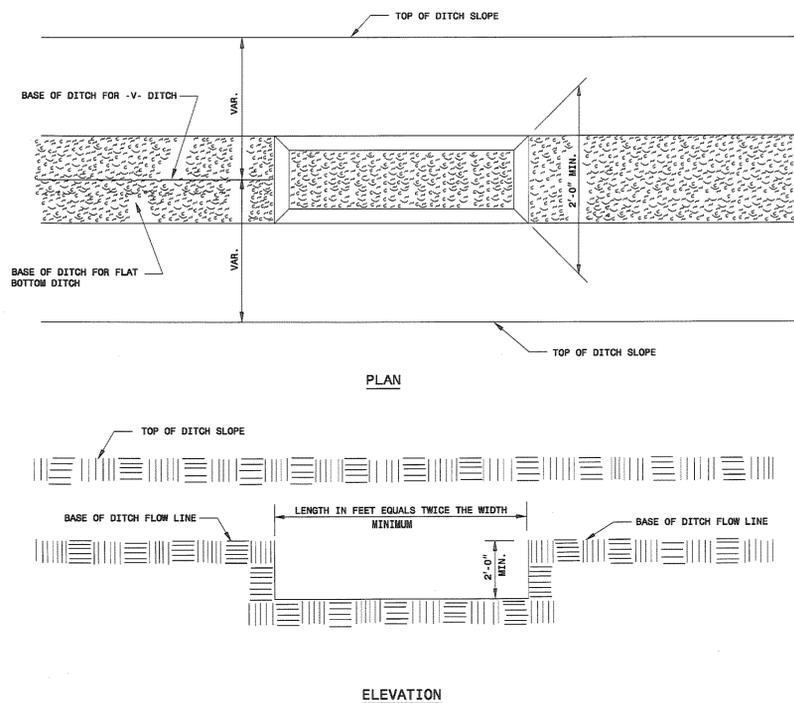
Revisions

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date: 8/27/13
job: 13162
drawn: TWT

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C-203

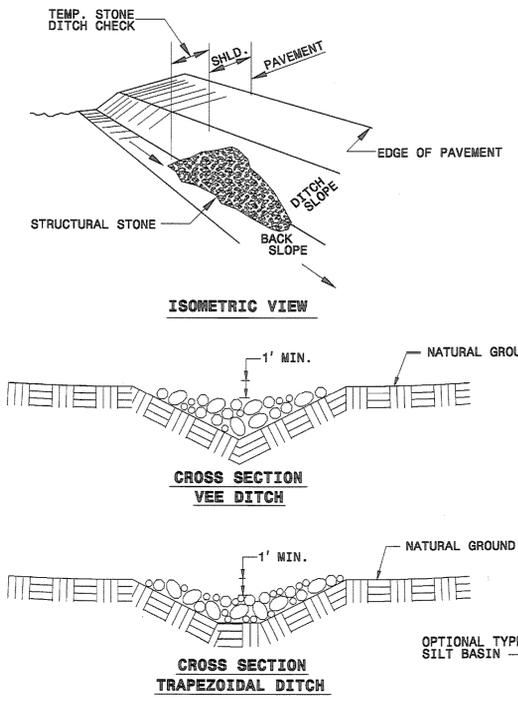


STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
RALEIGH, N. C.

7-06

ENGLISH STANDARD DRAWING FOR
SILT BASIN TYPE "B"

SHEET 1 OF 1
1630.02



NOTES:

USE CLASS 'B' EROSION CONTROL STONE FOR STRUCTURAL STONE.

THE ENGINEER MAY DIRECT THE OPTION OF CLASS "A" STONE FOR SITES HAVING LESS THAN ONE (1) ACRE DRAINAGE AREA AND A DITCH GRADE LESS THAN 3%.

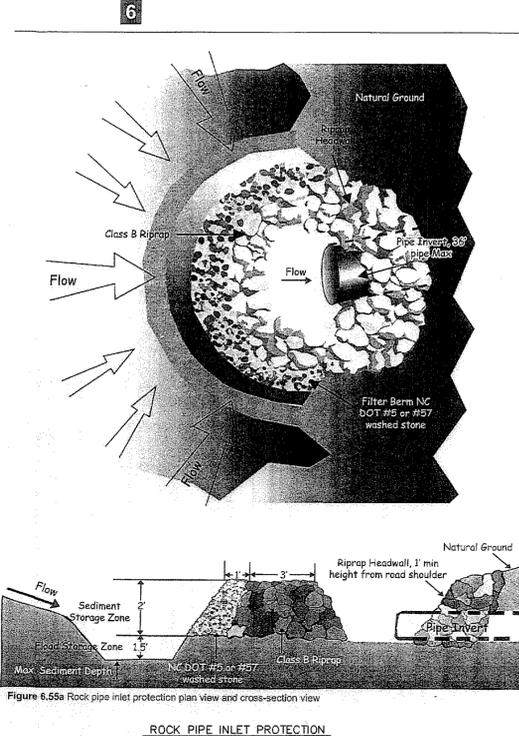
USE NO. 5 OR NO. 57 STONE FOR SEDIMENT CONTROL. PLACE SEDIMENT CONTROL STONE AS DIRECTED BY THE ENGINEER.

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
RALEIGH, N. C.

7-06

ENGLISH STANDARD DRAWING FOR
TEMPORARY ROCK PIPE INLET PROTECTION TYPE "B"

SHEET 1 OF 1
1633.02



SEEDING SPECIFICATIONS

I. TEMPORARY COVER

A. LIME & FERTILIZER - CONTRACTOR SHALL FURNISH AND APPLY LIME AND FERTILIZER TO THE SOIL AS REQUIRED TO PROVIDE SATISFACTORY CONDITIONS FOR SEED GERMINATION. AN APPLICATION RATE OF 2000 LBS PER ACRE OF GROUND AGRICULTURAL LIME AND 750 LBS/ACRE OF FERTILIZER (10-10-10).

THESE MATERIALS SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE PLANTED. THE SOIL SHALL BE TILLED TO A DEPTH OF 3 - 4 INCHES WITH EQUIPMENT APPROVED BY THE ENGINEER.

B. TEMPORARY COVER SEEDING - CONTRACTOR SHALL SELECT A QUICK GROWING GRASS WITH HIGH SEEDING VIGOR THAT IS SUITED TO THE AREA, THE TIME OF PLANTING, AND THAT WILL NOT INTERFERE WITH PLANTS TO BE SOWN LATER FOR PERMANENT COVER.

MAY THROUGH AUGUST

SUNDANGRASS 50 LB/AC.
OR GERMAN MILLET 40 LB/AC.

SEPT THROUGH APRIL

RYEGRASS 120 LBS/AC.

ALL SEEDS SHALL HAVE BEEN TESTED NOT MORE THAN 6 MONTHS PRIOR TO THE DATE OF SEEDING.

CONTRACTORS SHALL APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULPACKER SEEDER, OR HYDRAULICALLY.

A SLURRY MIXTURE OF WATER, FERTILIZER, SEED, AND CELLULOSE FIBER MULCH IS ACCEPTABLE ON THIS PROJECT.

C. MULCHING - IN ORDER TO REDUCE DAMAGE FROM WATER RUN-OFF AND IMPROVE MOISTURE CONDITIONS FOR SEEDLINGS, A MULCH MATERIAL SHALL BE FURNISHED WHEN TEMPORARY SEEDING IS TO BE DONE. ACCEPTABLE MATERIALS ARE

A. DRY UNCHOPPED, UNWEATHERED SMALL GRAIN STRAW OR HAY FREE OF SEEDS OF COMPETING PLANTS - 1-2 TON/ACRE

B. WOOD FIBER (EXCLUSION)

C. WOOD CELLULOSE FIBER - 500 LBS/ACRE WITHOUT STRAW

D. JUTE MATTING -

II. PERMANENT COVER

A. CONTRACTOR SHALL FURNISH AND APPLY 90 LBS./1000 S.F. OF GROUND AGRICULTURAL LIME (2 TONS PER ACRE), 25 LBS./1000 S.F. OF FERTILIZER (10-10-10) (1000 LBS. PER ACRE), AND 2.5 LBS./1000 S.F. KENTUCKY 31 TALL FESCUE (100 LBS. PER ACRE) IN THE MANNER DESCRIBED ABOVE IN PARTS 1, 2 & 3. APPLY NURSE CROP AS FOLLOWS:

MAY 1 - AUG. 15 - 10 LBS./AC. GERMAN MILLET OR 15 LBS./AC. SUNDANGRASS

AUG 15 - MAY 1 - 40 LBS./AC. RYE (GRAIN)

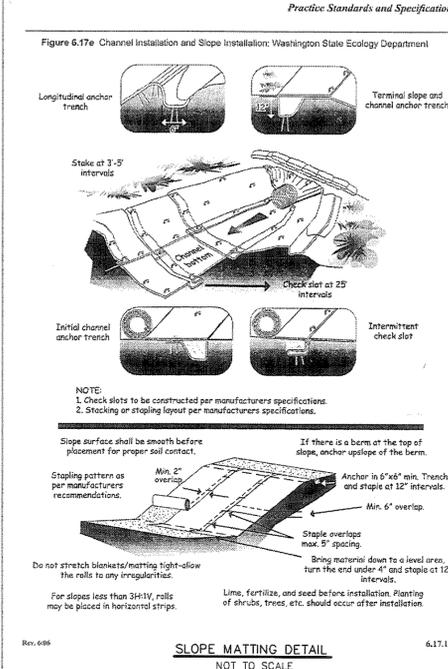
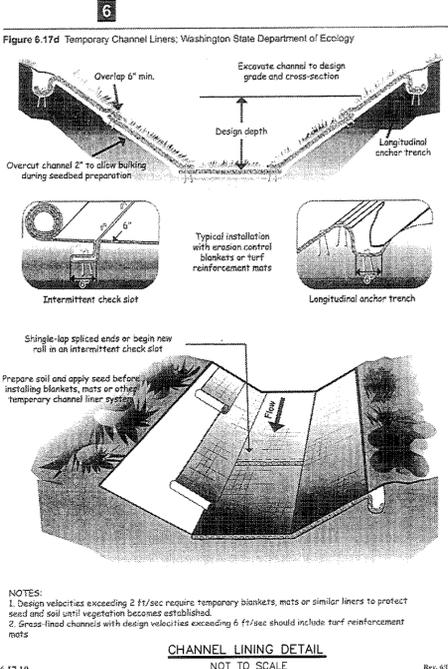
B. SEEDING DATES: KY31 TALL FESCUE

AUG. 20 - SEPT. 15 (BELOW 2500' ELEVATION)
MARCH 1 - MAY 1

JULY 15 - AUG. 30 (ABOVE 2500' ELEVATION)
MARCH 5 - MAY 15

C. MULCHING

APPLY 4,000 LB PER ACRE OF GRAIN STRAW SUITABLY TACKED DOWN. ADD NETTING TO STEEP SLOPES AND STAPLE PER MANUFACTURERS RECOMMENDATIONS.



GENERAL CONSTRUCTION NOTES

1. All work and construction activities on the project site shall comply with all applicable OSHA regulations and requirements. It is the Contractor's responsibility to maintain a safe work site.

2. The Engineer and Owner reserve the right to modify project work items (including grading) as deemed necessary for the successful completion of the project. The Contractor may suggest adjustments to grading or other work items to be approved by the Engineer or Owner.

3. The Contractor shall comply with the Geotechnical Report for the placement of fill and compaction requirements. If no report is available, the following minimum standards shall apply.

Placement of fill:

A. Place the material in successive horizontal layers not exceeding 8" for the full width of the cross section.

B. Fill shall be placed only when it is within 3% of its optimum moisture content as determined by a Standard Proctor ASTM D 698.

C. Each layer of fill shall be spread evenly and shall be compacted to its specified density as determined by Standard Proctor ASTM D 698 before new layers are placed and compacted.

D. Sloped ground surfaces steeper than one vertical to four horizontal, on which fill is to be placed, shall be stepped or benched such that fill material will bond to the existing surfaces.

E. Embankment slopes shall be constructed by filling one (1) foot beyond the proposed finished slope surface for each lift. Compaction equipment shall work to the edge of each lift. After the entire fill is placed and compacted, the outside face of the slope shall be trimmed to the design slope with a dozer. Unless indicated on the drawings, no fill slopes shall be steeper than 2 horizontal to 1 vertical.

Compaction:

A. Structural Fill Under Buildings and Within 10' of Building Perimeter: 100% of Standard Proctor the entire depth of fill.

B. Under Walks, Drives, Pads, and Paved Areas: 95% of Standard Proctor except 100% of Standard Proctor in the upper 2".

C. Under Lawns and Planting Areas Beyond 10' from Building: 95% of Standard Proctor.

D. Backfill in Trenches: Comply with compaction requirements for the area through which the trench runs.

4. All erosion control devices such as silt fences, diversions, sediment traps, etc. shall be maintained in workable conditions for the life of the project and shall be removed at the completion of the project only with the Engineer's approval. See the NPDES requirements on this plan sheet for more detail. If during the life of the project a storm causes silt erosion which changes the finished grades or creates gullies and washed areas, these shall be repaired by the Contractor at no extra cost. The Contractor shall adhere to the approved erosion control plan and take any additional measures necessary to prevent sediment from leaving the site.

5. Disposable Materials:

A. Clearing and grubbing wastes shall be removed from the site and properly disposed of by the contractor at their expense, unless otherwise specified.

B. Solid wastes to be removed such as sidewalks, curbs, pavement, etc. may be placed in specified disposal areas if permitted by the appropriate agencies and approved by the Owner. This material shall be spread and mixed with dirt eliminating oil voids. This material shall have a minimum cover of 2'. The Contractor shall maintain specified compaction requirements in these areas. When disposal sites are not provided, the Contractor shall remove this waste from the site and properly dispose of it at their expense.

C. Abandoned utilities such as culverts, water pipe, hydrants, casting, pipe appurtenances, utility poles, etc. shall be the property of the specified utility agency or company having jurisdiction. Before the Contractor can remove, destroy, salvage, re-use, seal or store for their own use any abandoned utility, they must present to the owner written permission from the utility involved.

D. Unless otherwise noted on the plans, burning will not be allowed on this project. Should burning be allowed by the owner, it is the Contractor's responsibility to obtain all necessary permits (at their expense) and follow all applicable rules and regulations.

6. Unless otherwise specified, all base, paving, curbing and other concrete work shall conform to the local municipality or NCDOT specifications for construction. All water and sewer construction shall conform to the local utility requirements and/or the NCDENR minimum standards.

7. In the event excessive ground water or springs are encountered within the limits of construction, the Contractor shall install necessary underdrains and stone as directed by the Engineer. All work shall be paid based upon the unit prices unless otherwise specified.

8. The Contractor is responsible for the coordination of adjustment of all utility surface accesses (including manhole covers, valve boxes, etc.) whether he performs the work or the utility company performs the work.

9. The Contractor shall control all "dust" by periodic watering and shall provide access at all times for property owners within the project and for emergency vehicles. All open ditches and hazardous areas shall be clearly marked in accordance with OSHA regulations.

10. All areas of exposed soil shall be seeded, fertilized and mulched according to the specifications. The finished surface shall be to grade and smooth, free of all rocks larger than 3" equipment tracks, dirt clods, bumps, ridges, and gouges prior to seeding. The surface shall be loosened to a depth of 1" +/- to accept seed. The Contractor shall not proceed with seeding operations without first obtaining the Engineer's approval of the graded surface. All seeding shall be performed by a mechanical hydro-seeder. The Engineer prior to seeding must approve seed on any area.

NCDENR Self Inspection Program for Erosion and Sedimentation Control

Effective October 1, 2010, persons conducting land disturbing activities larger than one acre must inspect their project at each phase of the project, and document the inspection in writing.

1. The financially responsible party, landowner or their agent may conduct the inspection.

2. All erosion and sedimentation control measures, including sedimentation control basins, sedimentation traps, sedimentation ponds, rock dams, temporary diversions, temporary slope drains, rock check dams, sediment fence or barriers, all forms of inlet protection, storm drainage facilities, energy dissipaters, and stabilization methods of open channels must be inspected.

3. The need for ground cover should also be checked. Temporary or permanent ground cover must be provided on exposed graded slopes and fill within 21 calendar days of the completion of a phase of grading. Permanent ground cover must be provided within 15 working days or 90 calendar days (80 days in HQW zones), whichever term is shorter, upon the completion of construction or development.

4. The actual dimensions (length and width) of the basins have to be checked, usually with a tape measure, and compared to the dimensions on the approved plan. Only relative elevations, comparing the bottom and top elevations are necessary.

5. A significant deviation means an omission, alteration or relocation of an erosion or sedimentation control measure that prevents the measure from performing as intended. If the approved erosion and sedimentation control plan cannot be followed, a revised plan should be submitted for review.

6. Use the form Self-Inspection Report for Land Disturbing Activity as required by NCGS 115A. 54.1' It can be completed by hand or computer as an Excel spreadsheet. An alternative is to make notations on the copy of the approved erosion and sedimentation control plan that is kept on the project site. Rule 15A NCDOT 04B.0151 states that documentation shall be accomplished by installing and tagging each measure or practice shown on a copy of the approved erosion and sedimentation control plan or by completing, dating and signing an inspection report that lists each measure, practice or device shown on the approved erosion and sedimentation control plan.

7. NPDES Self-Monitoring Report may only be used to report that the maintenance and repair requirements for all temporary and permanent erosion and sedimentation control measures, practices and devices have been performed.

8. Unlike the NPDES Self-Monitoring Report, the Self-Inspection Report for Land Disturbing Activity does not have to be weekly. Rather, this report is completed after each phase of an approved erosion and sedimentation control plan is completed. Not every project will have all the possible phases, but the list of phases includes the following:
Installation of perimeter erosion and sediment control measures;
Clearing and grubbing of existing ground cover;
Completion of any phase of grading of slopes or fill;
Installation of storm drainage facilities;
Completion of construction or development;
Establishment of permanent ground cover sufficient to restrain erosion.

9. Do not mail the report. The records must be made available to the erosion control inspector at the site. Any documentation of inspections that occur on a copy of the approved erosion and sedimentation control plan shall occur on a single copy of the plan and that plan shall be made available on the site. Any inspection reports shall also be made available on the site.

NPDES REQUIREMENTS

The contractor should be aware that any project with a disturbed area of greater than one acre must now comply with NPDES requirements for new construction projects. The contractor should obtain a copy of the plan approval and should follow all requirements including but not limited to:

A.) GROUND STABILIZATION

| Site Area Description | Stabilization Time Frame | Stabilization Time Frame Exceptions |
|--|--------------------------|---|
| Perimeter dikes, swales, ditches and slopes | 7 Days | None |
| High Quality Water (HQW) Zones | 7 Days | None |
| Slopes steeper than 3:1 | 7 Days | If Slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed |
| Slopes 3:1 or flatter | 14 Days | 7 days for slopes greater than 50 feet in length |
| All other areas with slopes flatter than 4:1 | 14 Days | None (except for perimeters and HQW Zones) |

*Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable. (Section II (2)(B))

1. Placement and upkeep of rain gauge on site that must be monitored throughout the course of the project.

2. The contractor shall keep a log of all rainfall events, erosion control activities, and inspections throughout the course of the project. This log must be kept on site at all times and be available for inspection.

3. The contractor shall inspect all erosion control measures in accordance with the NPDES requirements. A minimum inspection schedule of weekly and with in 24 hours after every significant (1/2 inch or more) rainfall event (obtain copy of the permit for this project for details).

B.) INSPECTIONS

1. Inspection reports must be available on-site during business hours unless a site-specific exemption is approved.

2. Records must be kept for 3 years and available upon request.

C.) BUILDING WASTE HANDLING

1. No paint or liquid wastes in stream or storm drains.

2. Dedicated areas for demolition, construction and other wastes located 50' from storm drains and streams unless no reasonable alternatives are available.

3. Earthen-material stockpiles located 50' from storm drains unless no reasonable alternative available.

4. Concrete materials must be controlled to avoid contact with surface waters, wetlands, or buffers.

811
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SEAL
22989
WILLIAM G. LAPSLEY
10-1-13

Revisions

date: 8/27/13
job: 13162
drawn: TWT

sheet
C-204

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HENDERSONVILLE, NORTH CAROLINA

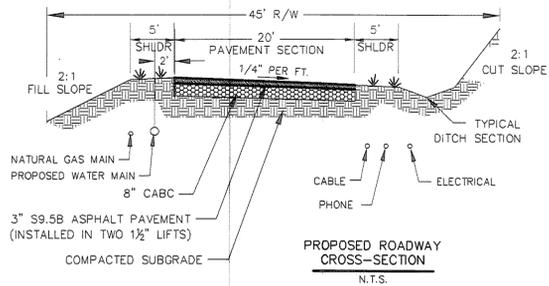
BILTMORE LAKE
BLOCK "J" PHASE 2
BUNCOMBE COUNTY
NORTH CAROLINA

GRADING & EROSION CONTROL DETAILS

sheet
C-204

NOTES:

- 1.) 2' CONTOUR INTERVAL
- 2.) THIS PARCEL IS NOT LOCATED WITHIN A 100yr FLOOD PLAIN
- 3.) ALL STORM DRAINAGE INLETS SHALL BE PROVIDED WITH GRAVEL INLET PROTECTION AS DETAILED ON SHEET C-202.
- 4.) ALL STORM DRAINAGE PIPE SHALL BE HDPE SMOOTH WALL INTERIOR, BELL AND SPIGOT, SOIL TIGHT JOINTS, UNLESS OTHERWISE SPECIFIED ON PLANS.
- 5.) CONTRACTOR SHALL ENSURE ALL EXISTING AND PROPOSED ELEVATIONS OF EXISTING AND PROPOSED STORM DRAINAGE STRUCTURES, PIPES AND GRADES WILL PROVIDE POSITIVE DRAINAGE TO STRUCTURES PRIOR TO INSTALLATION.
- 6.) ALL PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISH GRADE.
- 7.) ALL DRAINAGE STRUCTURES THAT ARE GREATER THAN 4' IN DEPTH SHALL HAVE ACCESS STEPS INSTALLED 16" ON CENTER.
- 8.) SEE SHEETS C-301 FOR ADDITIONAL DETAILS ON OCS STRUCTURES.



DEVELOPMENT BLOCK:

PROJECT NAME: BILTMORE LAKE BLOCK "J" PHASE 2
PROJECT ADDRESS: GREENWELLS GLORY DRIVE
OWNER/DEVELOPER: BILTMORE LAKE, LLC
 ONE TOWN SQUARE BLVD, SUITE 330
 ASHEVILLE, NC 28803
 (828) 209-2000
CONTACT PERSON: LEE THOMASON
 ONE TOWN SQUARE BLVD, SUITE 330
 ASHEVILLE, NC 28803
 (828) 209-2000
ENGINEER: WILLIAM R. BUIE, P.E.
 WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.
 214 N. KING STREET
 HENDERSONVILLE, NC 28792
 (828) 687-7177

PIN #: 9616-13-7499 AND PORTION OF 9616-56-8324

TOTAL PROPERTY SIZE: 15.82± AC.
TOTAL # OF PROPOSED LOTS: 14 LOTS
DENSITY: 1 LOT / 1.13 AC.

PROPOSED ROAD: 1,237± LF
CORRIDOR 90' OR LESS: 1,237 LF (100%)
CORRIDOR 91' TO 135': 0 LF (0%)
MAX. CORRIDOR HEIGHT: 26'

DEED REF: D.B. 3925 PG. 0177

ZONING: OPEN USE (BUNCOMBE COUNTY)
TOWNSHIP: LOWER HOMINY CREEK

BUILDING SETBACKS:

| | REQUIRED | PROPOSED |
|---------|---------------|----------------|
| FRONT - | 0' (from ROW) | 15' (from ROW) |
| SIDE - | 0' | 6' |
| REAR - | 0' | 15' |

STRUCTURE TABLE

| STRUCTURE | TOP ELEV. | DROP INV. IN | INV. ELEV. | DEPTH | TYPE |
|-----------|-----------|--------------|------------|-------|---------|
| 1A | 2275.00 | --- | 2270.00 | 5.00 | OTCB |
| 1B | 2265.90 | --- | 2259.90 | 6.00 | OTCB |
| 2 | 2253.04 | --- | 2238.70 | 14.34 | EX JMH |
| 3 | 2246.47 | --- | 2239.25 | 7.22 | OTCB |
| 4 | 2240.80 | 2234.80 | 2225.04 | 15.76 | OTCB |
| 5 | 2235.58 | --- | 2224.69 | 10.89 | EX JMH |
| 6 | 2232.08 | --- | 2227.83 | 4.25 | OTCB |
| 7 | 2228.16 | --- | 2225.20 | 2.96 | JMH |
| 8 | 2224.50 | 2224.94 | 2222.94 | 1.56 | OCS* |
| 9 | 2220.76 | --- | 2225.13 | 4.37 | OTCB |
| 10 | 2219.00 | --- | 2230.00 | 10.00 | JMH |
| 11 | 2231.23 | 2223.23 | 2220.23 | 11.00 | EX OCS* |

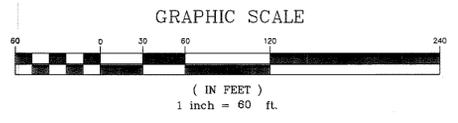
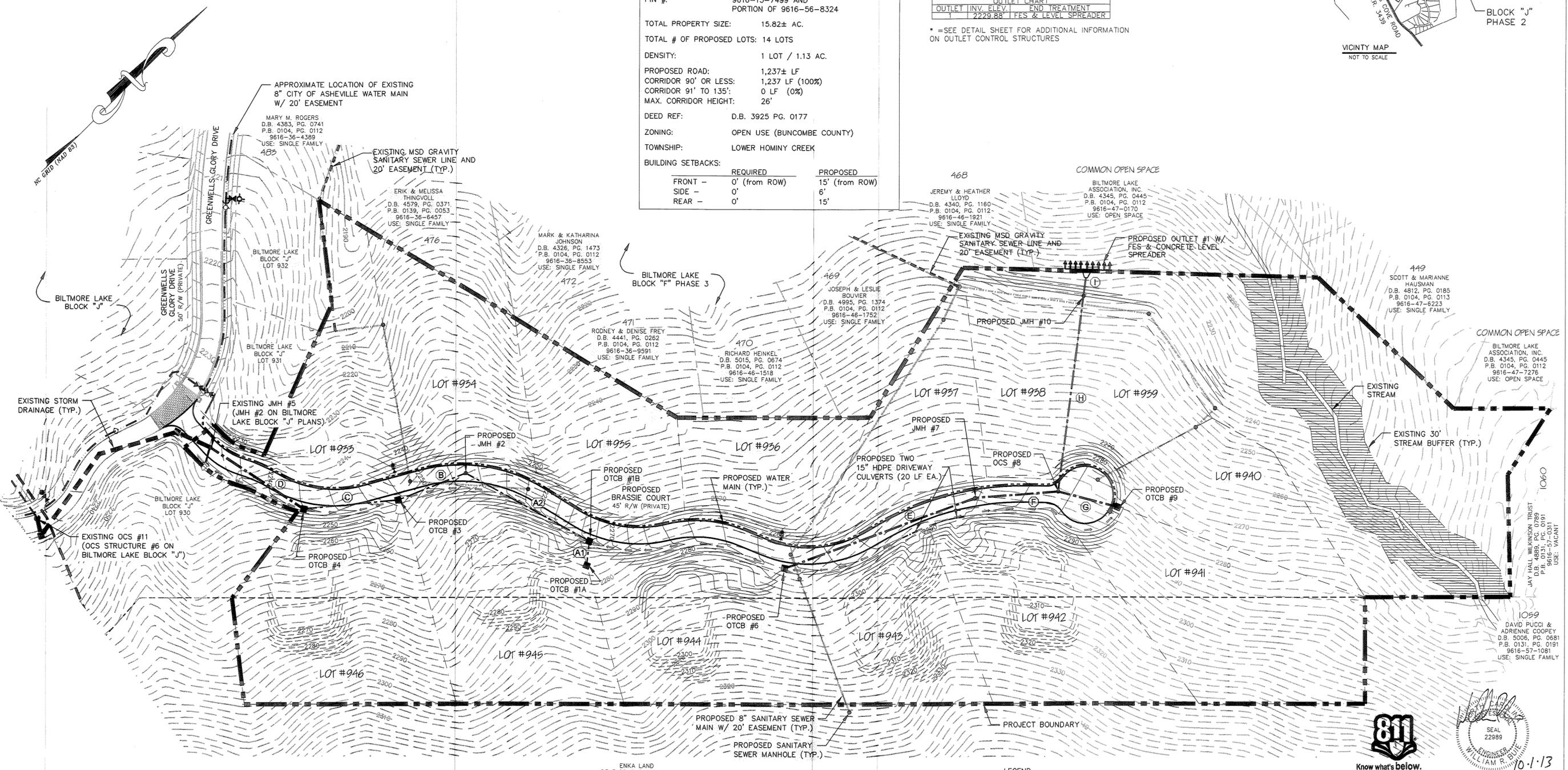
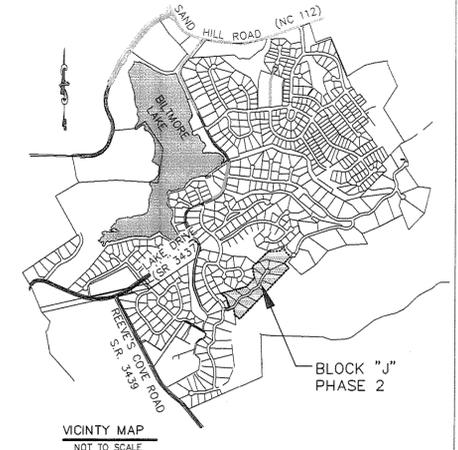
PIPING CHART

| SEGMENT | FROM | TO | LENGTH (LF) | SIZE (Ø) | SLOPE (%) | MATERIAL |
|---------|------|----------|-------------|----------|-----------|-----------|
| A1 | 1A | 1B | 30 | 18" | 33.67 | HDPE (WT) |
| A2 | 1B | 2 | 174 | 18" | 12.18 | HDPE |
| B | 2 | 3 | 90 | 24" | 13.90 | HDPE |
| C | 3 | 4 | 117 | 24" | 2.95 | HDPE |
| D | 4 | 5 | 138 | 36" | 0.25 | HDPE (WT) |
| E | 6 | 7 | 251 | 30" | 0.25 | HDPE (WT) |
| F | 7 | 8 | 103 | 30" | 0.25 | HDPE (WT) |
| G | 7 | 8 | 76 | 30" | 0.25 | HDPE (WT) |
| H | 8 | 10 | 240 | 18" | 17.89 | HDPE |
| I | 10 | OUTLET 1 | 23 | 18" | 0.52 | HDPE |

OUTLET CHART

| OUTLET INV. ELEV. | END TREATMENT |
|-------------------|----------------------|
| 1 2229.88 | FES & LEVEL SPREADER |

* - SEE DETAIL SHEET FOR ADDITIONAL INFORMATION ON OUTLET CONTROL STRUCTURES



LEGEND

- EXISTING STORM DRAIN LINE
- - - PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN STRUCTURE
- EXISTING WATER MAIN
- - - PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER

811
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Revisions

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date: 8/27/13
job: 13162
drawn: TWT

sheet C-300

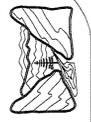
WILLIAM G. LAPSLEY & ASSOCIATES P.A.
 Consulting Engineers & Land Planners
 NC License No. C-0556
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 CONSULTING ENGINEERS & LAND PLANNERS
 HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE BLOCK "J" PHASE 2
 BUNCOMBE COUNTY
 NORTH CAROLINA

STORM DRAINAGE PLAN

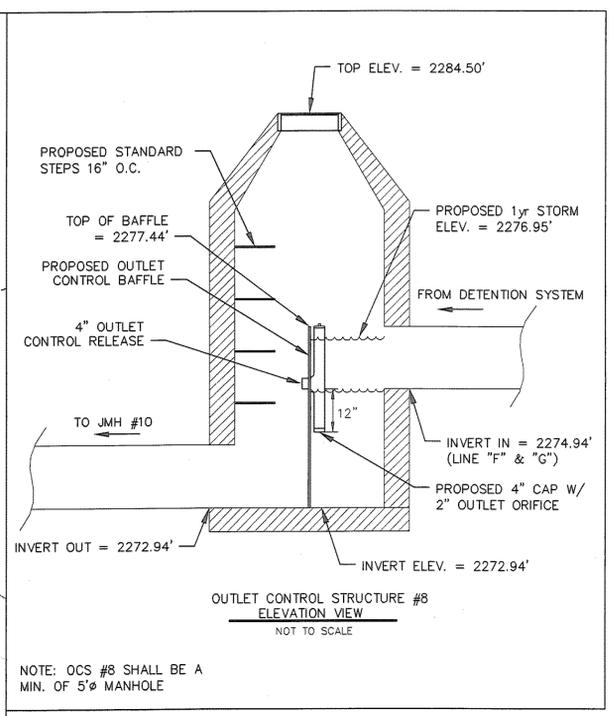
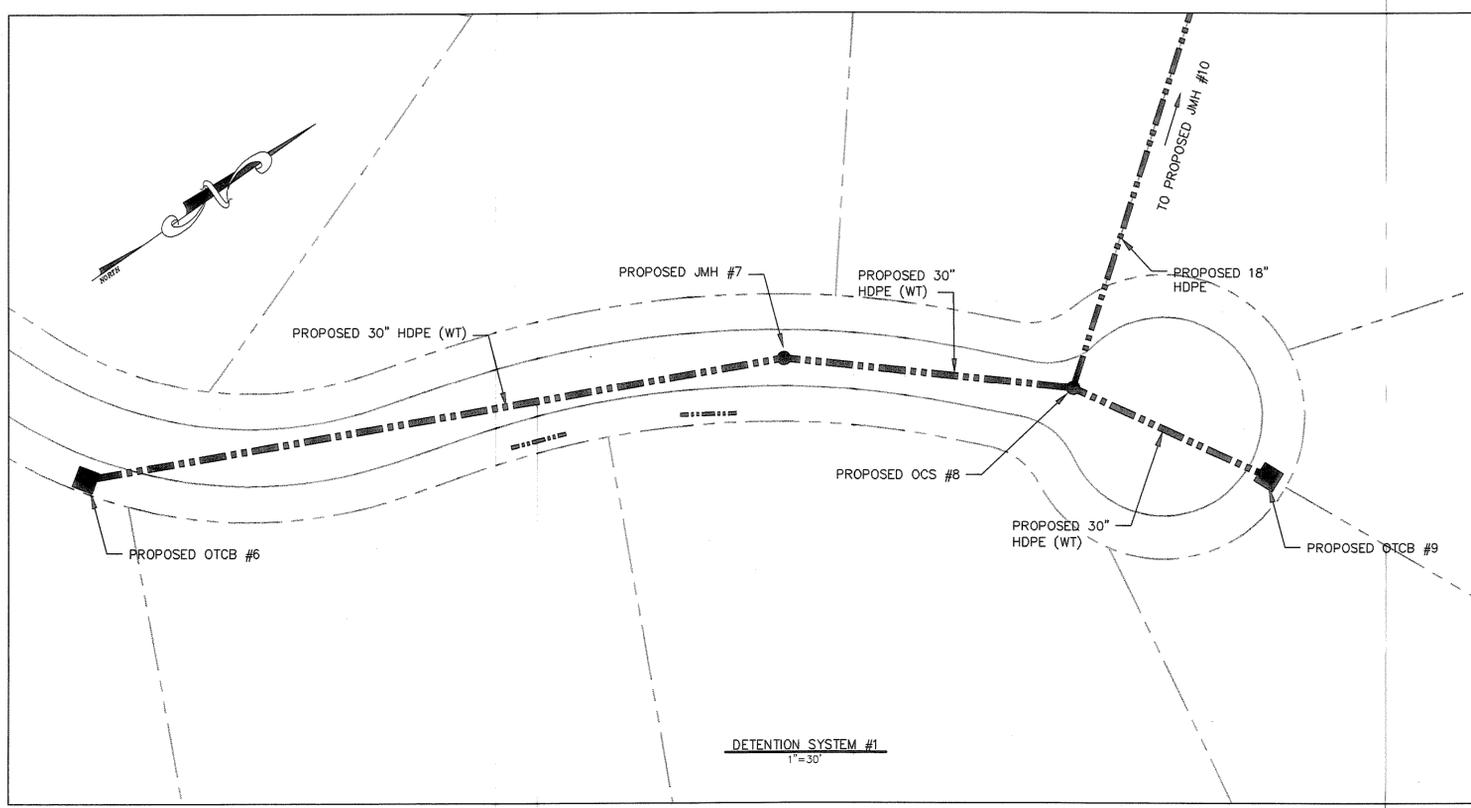
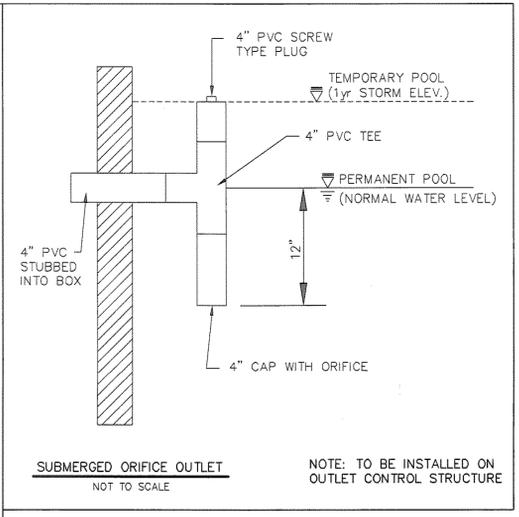
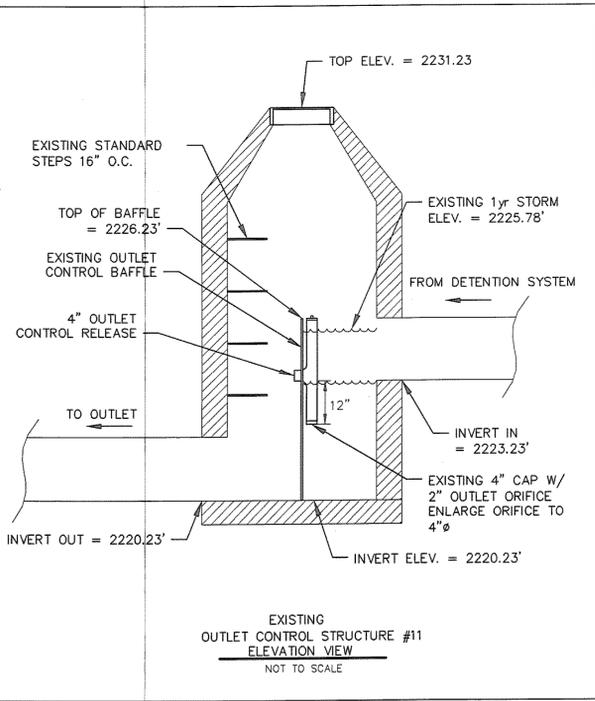
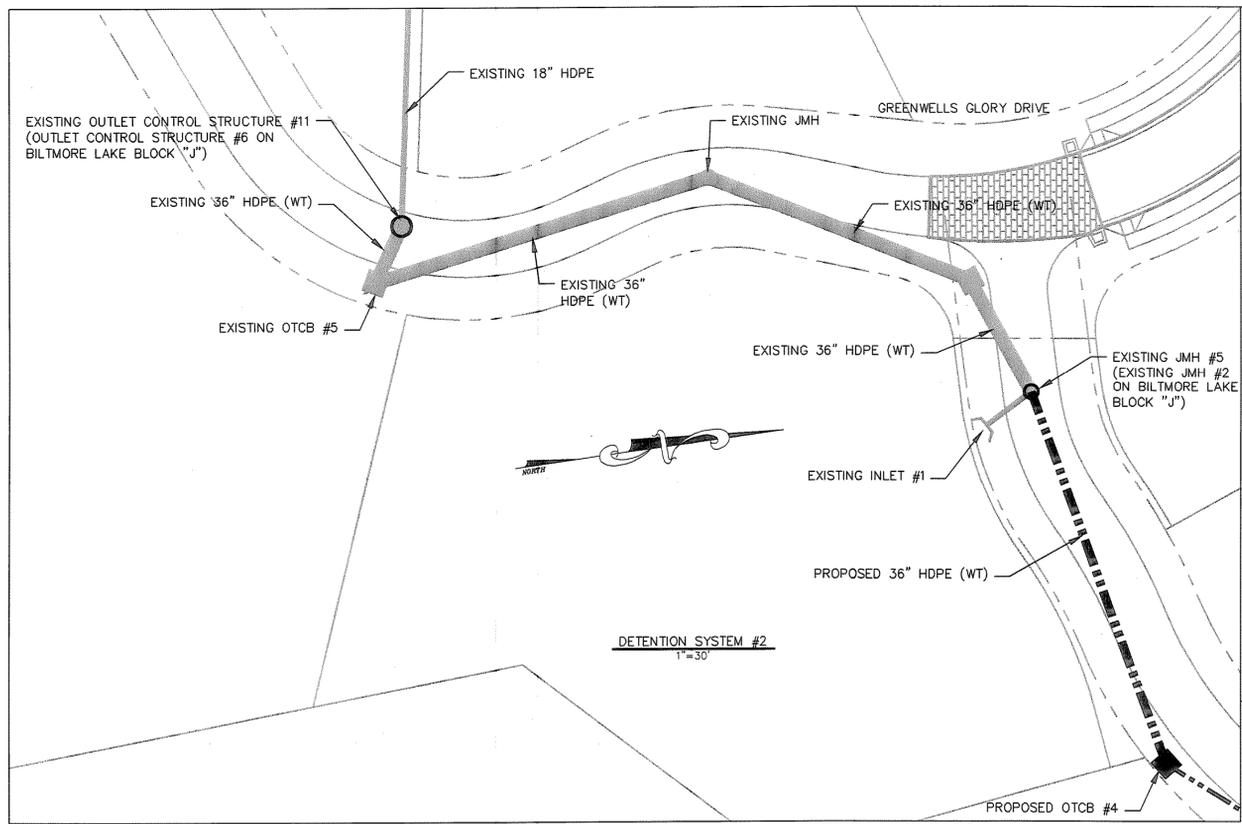
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BILTMORE LAKE
 BLOCK "J" PHASE 2
 BUNCOMBE COUNTY
 NORTH CAROLINA

STORM DRAINAGE DETAILS



Revisions

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date: 8/27/13
 job: 13162
 drawn: TWT

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 wglia.com

sheet
 C-301

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- NOTES:
1. CITY OF ASHEVILLE STANDARDS SUPERSEDE ALL OTHERS.
 2. INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF ASHEVILLE'S CURRENT DESIGN GUIDELINES UNDER THE INSPECTION OF THE CITY OF ASHEVILLE AND BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.
 3. THE WATERLINE SHALL BE PLACED WITHIN THE BENCH WITH A MINIMUM 2' SEPARATION FROM THE EDGE OF PAVEMENT AND A MINIMUM OF 3' SEPARATION FROM THE EDGE OF SLOPES.
 4. ALL WATER METERS SHALL BE PLACED IN FRONT OF THE PROPERTY WHICH THEY WILL SERVE AND THEY MUST BE INSTALLED IN RELATIVELY FLAT AREAS NOT IN STEEP BANKS OR SLOPES.
 5. ALL FIRE HYDRANTS MUST BE PLACED IN RELATIVELY FLAT AREAS, NOT IN STEEP BANKS OR SLOPES, AND MUST HAVE 3' OF CLEAR SPACE AROUND THE HYDRANT.
 6. ALL BRASS FITTINGS MUST BE CERTIFIED LEAD FREE.
 7. ALL METERS SHALL BE PLACED PER CITY OF ASHEVILLE DETAIL AS SHOWN ON DETAIL SHEET.
 8. ALL PROPOSED ROADS ARE TO BE PRIVATE.
 9. A MINIMUM OF 3 FEET IS REQUIRED BETWEEN THE WATER LINES AND ANY OTHER UNDERGROUND UTILITY.
 10. WATER MAIN SHALL BE INSTALLED WITH 3 FEET COVER OVER WATER MAIN. ALL FIRE HYDRANTS, WATER METERS AND AIR RELEASE VALVES SHALL BE LOCATED OUTSIDE DRIVEWAYS.
 11. RESTRAINED JOINTS BY A CITY OF ASHEVILLE APPROVED PIPE MANUFACTURER ARE TO BE USED FOR ALL PUBLIC WATER LINES; THRUST BLOCKS ARE PERMITTED WHERE CONNECTIONS ARE MADE TO EXISTING WATER MAIN OR WHERE THE USE OF MECHANICAL RESTRAINT IS NOT FEASIBLE.
 12. ALL WATER METERS ARE TO BE LOCATED WITHIN 5' OF EDGE OF PAVEMENT.
 13. 911 ADDRESSES ISSUED FROM BUNCOMBE COUNTY ARE REQUIRED BY BUNCOMBE COUNTY BEFORE WATER RELEASE.

DEVELOPMENT BLOCK:

PROJECT NAME: BILTMORE LAKE BLOCK "J" PHASE 2

PROJECT ADDRESS: GREENWELLS GLORY DRIVE

OWNER/DEVELOPER: BILTMORE LAKE, LLC
ONE TOWN SQUARE BLVD, SUITE 330
ASHEVILLE, NC 28803
(828) 209-2000

CONTACT PERSON: LEE THOMASON
ONE TOWN SQUARE BLVD, SUITE 330
ASHEVILLE, NC 28803
(828) 209-2000

ENGINEER: WILLIAM R. BUIE, P.E.
WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.
214 N. KING STREET
HENDERSONVILLE, NC 28792
(828) 687-7177

PIN #: 9616-13-7499 AND
PORTION OF 9616-56-8324

TOTAL PROPERTY SIZE: 15.82± AC.

TOTAL # OF PROPOSED LOTS: 14 LOTS

DENSITY: 1 LOT / 1.13 AC.

PROPOSED ROAD: 1,237± LF

CORRIDOR 90' OR LESS: 1,237 LF (100%)

CORRIDOR 91' TO 135': 0 LF (0%)

MAX. CORRIDOR HEIGHT: 26'

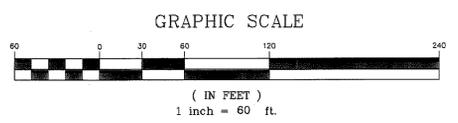
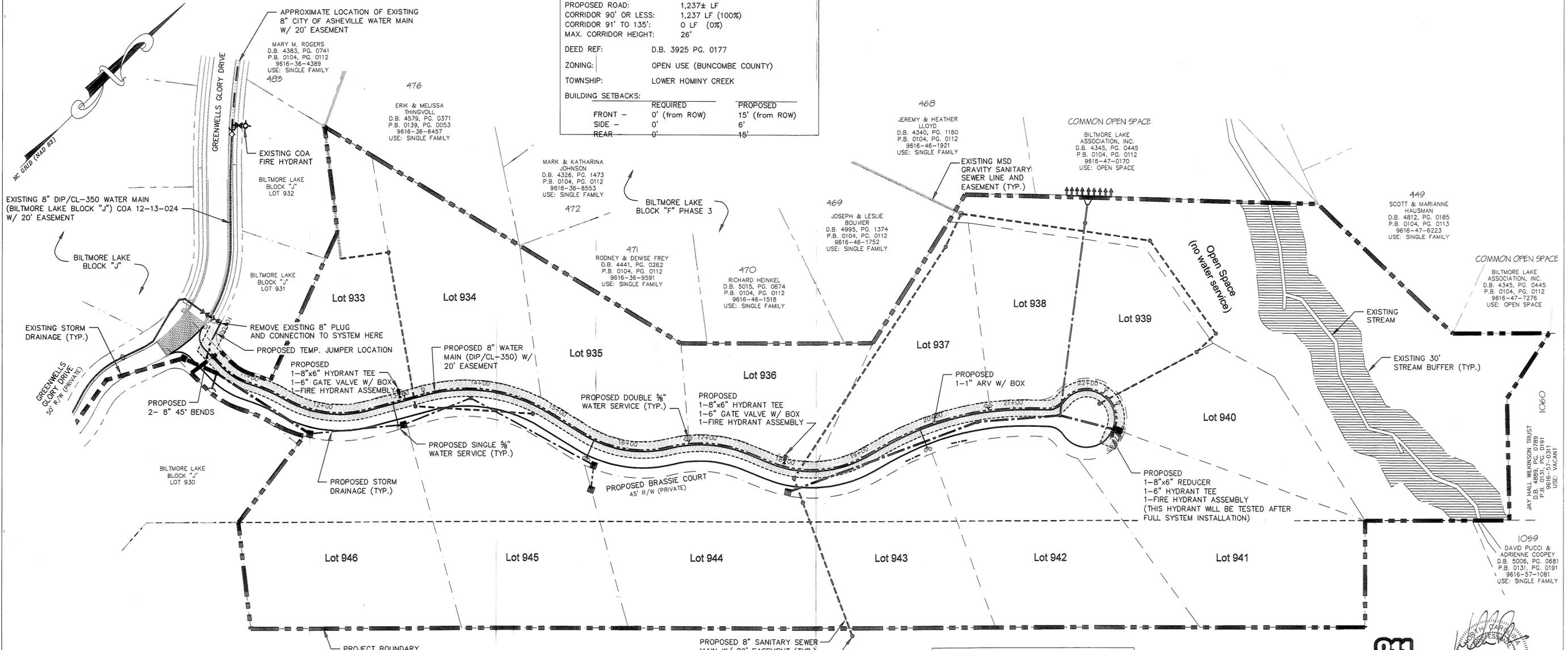
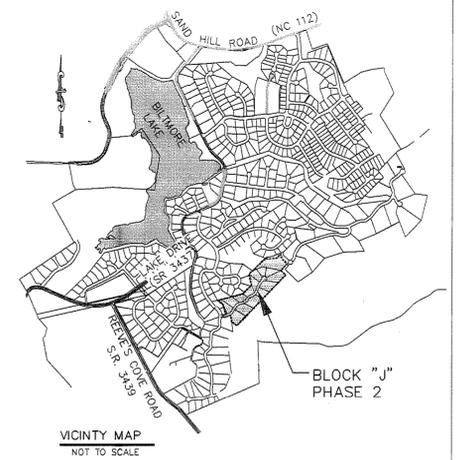
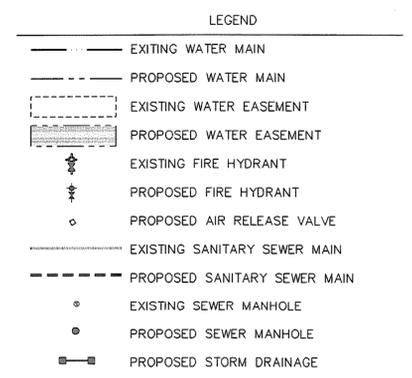
DEED REF: D.B. 3925 PG. 0177

ZONING: OPEN USE (BUNCOMBE COUNTY)

TOWNSHIP: LOWER HOMINY CREEK

BUILDING SETBACKS:

| | REQUIRED | PROPOSED |
|---------|---------------|----------------|
| FRONT - | 0' (from ROW) | 15' (from ROW) |
| SIDE - | 0' | 6' |
| REAR - | 0' | 15' |



NOTE:
* A MINIMUM OF 10 FT. HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES MUST BE MAINTAINED.
WHERE THE SEWER LINE INSTALLATION DOES NOT CONFORM TO THIS REQUIREMENT OR HAVE A MINIMUM COVER OF 36" FROM THE GROUND SURFACE OR 24" VERTICAL SEPARATION FROM STORM DRAINAGE LINES - SEWER PIPE MUST BE OF A FERROUS MATERIAL.

CITY OF ASHEVILLE PROJECT NO. WPFY 13-14-010
WATER LINE EASEMENT PLAT PB _____ PG _____
WATER LINE EASEMENT DOCUMENT DB _____ PG _____
ESTOPPEL CERTIFICATE REQUIRED YES_X_NO _____

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Revisions

| No. | Description |
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date: 8/27/13
job: 13162
drawn: TWT



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CONSULTING ENGINEERS & LAND PLANNERS
HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE BLOCK "J" PHASE 2
BUNCOMBE COUNTY
NORTH CAROLINA

WATER SYSTEM LAYOUT

sheet
C-500

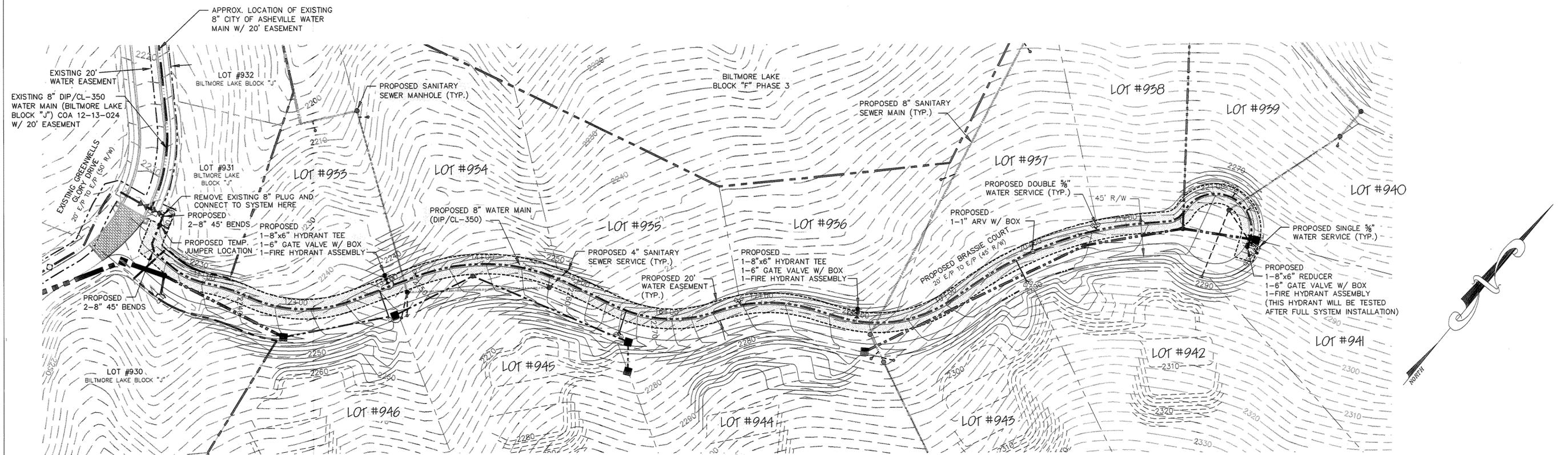


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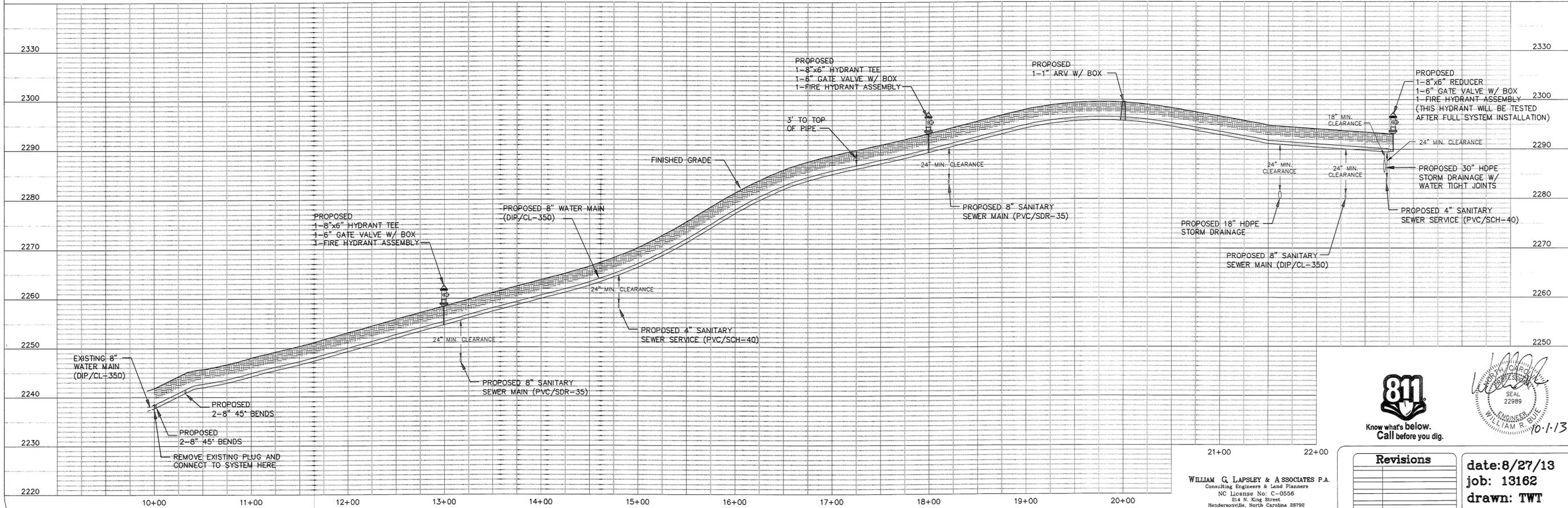
BILTMORE LAKE
BLOCK "J" PHASE 2
BUNCOMBE COUNTY
NORTH CAROLINA

WATER MAIN
PLAN & PROFILE

sheet
C-501



HORIZONTAL SCALE 1"=50'
VERTICAL SCALE 1"=10'



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| Revisions |
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drawn: TWT

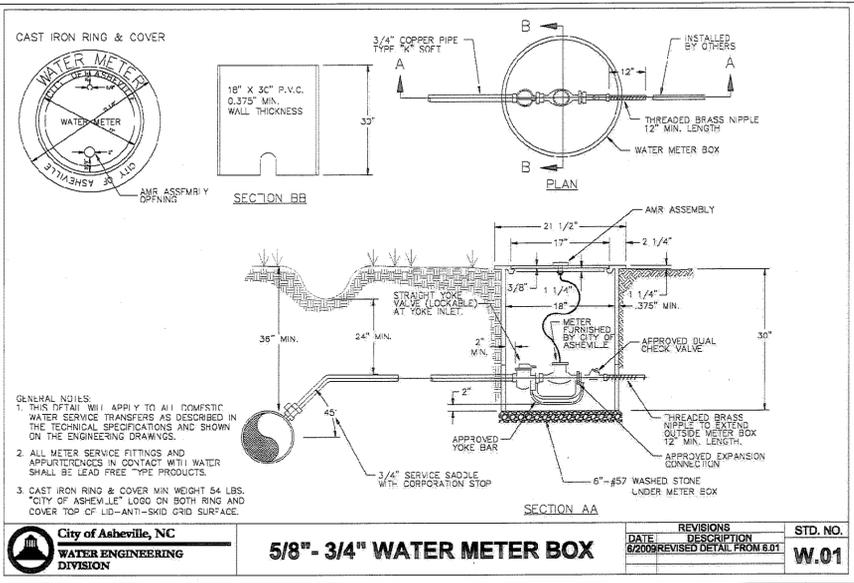
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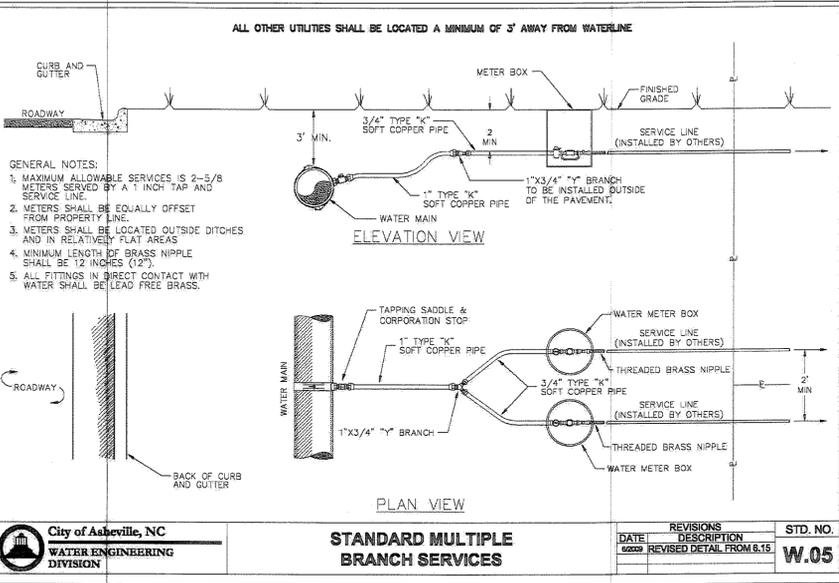
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BILTMORE LAKE
BLOCK "J" PHASE 2
BUNCOMBE COUNTY
NORTH CAROLINA

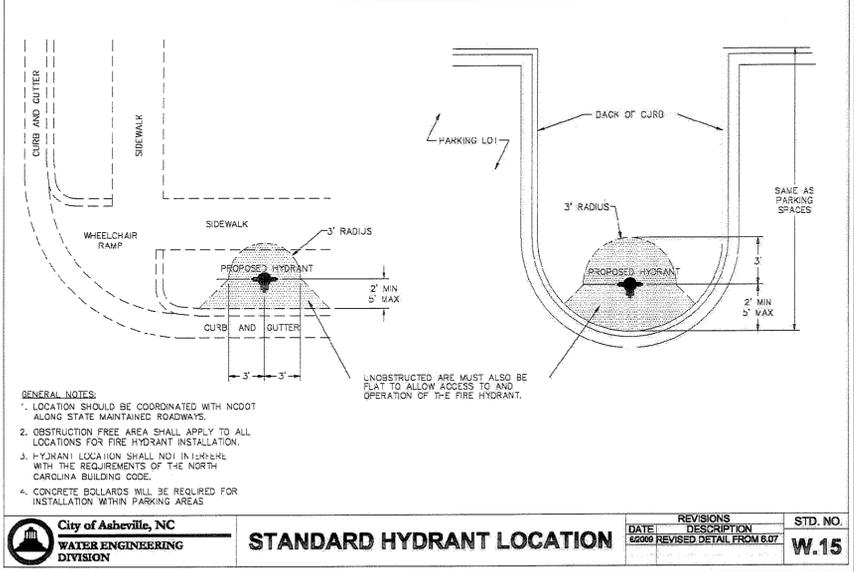
WATER SYSTEM DETAILS



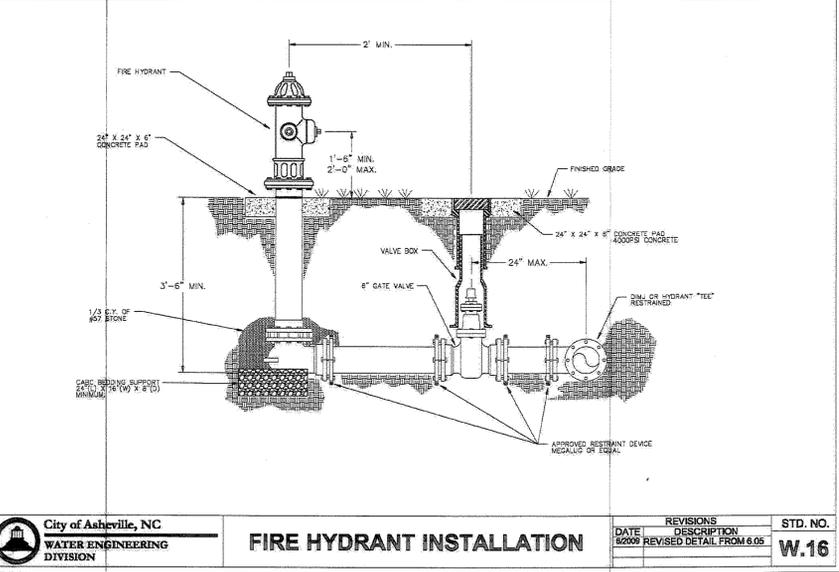
City of Asheville, NC
WATER ENGINEERING DIVISION
5/8" - 3/4" WATER METER BOX
DATE: 8/2009 REVISION: REVISED DETAIL FROM 8.07
STD. NO. W.01



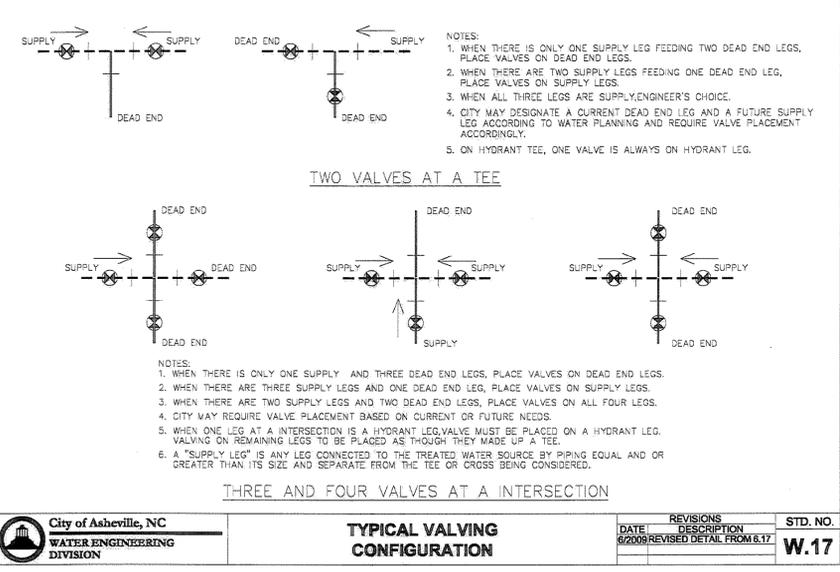
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WATER ENGINEERING DIVISION
STANDARD MULTIPLE BRANCH SERVICES
DATE: 8/2009 REVISION: REVISED DETAIL FROM 8.15
STD. NO. W.05



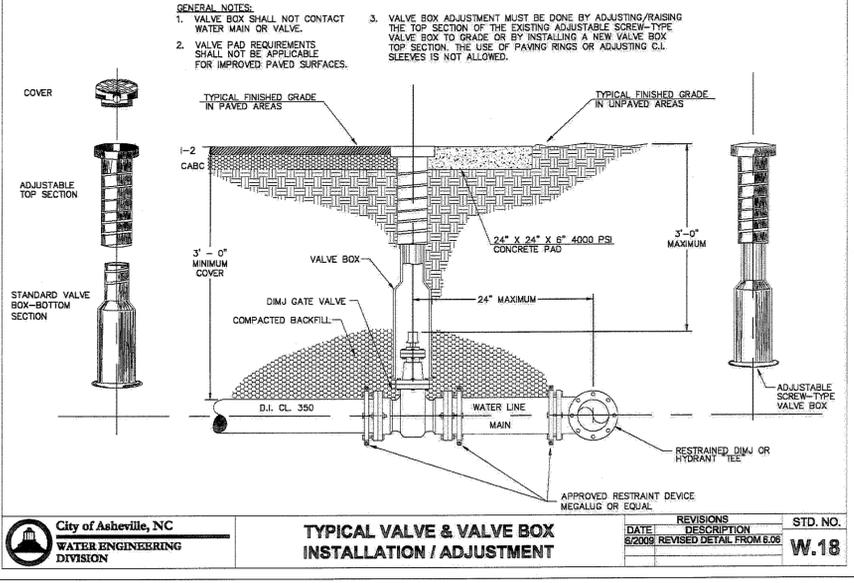
City of Asheville, NC
WATER ENGINEERING DIVISION
STANDARD HYDRANT LOCATION
DATE: 8/2009 REVISION: REVISED DETAIL FROM 8.07
STD. NO. W.15



City of Asheville, NC
WATER ENGINEERING DIVISION
FIRE HYDRANT INSTALLATION
DATE: 8/2009 REVISION: REVISED DETAIL FROM 6.05
STD. NO. W.16



City of Asheville, NC
WATER ENGINEERING DIVISION
TYPICAL VALVING CONFIGURATION
DATE: 8/2009 REVISION: REVISED DETAIL FROM 8.17
STD. NO. W.17



City of Asheville, NC
WATER ENGINEERING DIVISION
TYPICAL VALVE & VALVE BOX INSTALLATION / ADJUSTMENT
DATE: 8/2009 REVISION: REVISED DETAIL FROM 8.06
STD. NO. W.18



| Revisions |
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date: 8/27/13
job: 13162
drawn: TWT

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Hendersonville, North Carolina 28752
(608) 687-7177
wgl@a.com

sheet
C-502

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WILLIAM G. LAPSLEY & ASSOCIATES P.A.
CONSULTING ENGINEERS & LAND PLANNERS
HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE
BLOCK "J" PHASE 2
BUNCOMBE COUNTY
NORTH CAROLINA

WATER SYSTEM DETAILS

sheet
C-503

TYPICAL TRENCH DETAIL

NOTE: BCL HOLES NOT SHOWN

REVISIONS
DATE: 8/2009
DESCRIPTION: REVISED DETAIL FROM 6.19
STD. NO.: W.21

City of Asheville, NC
WATER ENGINEERING DIVISION

THRUST BLOCK FOR FITTINGS & RESTRAINING REQUIREMENTS

RECOMMENDED MINIMUM RESTRAINED LENGTH REQUIRED EACH SIDE OF FITTING (FEET)

| FITTING TYPE | SIZE | WORKING PRESSURE (PSI) | 125 | 150 | 175 | 200 |
|---|----------|------------------------|-----|-----|-----|-----|
| HORIZ. 11 1/4 DEG. | 8" | 4 | 4 | 5 | 6 | 8 |
| | 10" | 6 | 7 | 8 | 10 | 12 |
| | 12" | 8 | 10 | 12 | 14 | 16 |
| HORIZ. 22 1/2 DEG. | 8" | 6 | 7 | 8 | 10 | 12 |
| | 10" | 8 | 10 | 12 | 14 | 16 |
| | 12" | 10 | 12 | 14 | 17 | 20 |
| REDUCER | 8 X 6" | 14 | 17 | 20 | 23 | 28 |
| | 10 X 8" | 14 | 17 | 20 | 23 | 28 |
| | 12 X 10" | 14 | 17 | 20 | 23 | 28 |
| HORIZ. 45 DEG. | 8" | 16 | 20 | 23 | 28 | 35 |
| | 10" | 20 | 24 | 28 | 35 | 45 |
| | 12" | 24 | 29 | 35 | 45 | 60 |
| DEAD END | 8" | 20 | 24 | 28 | 35 | 45 |
| | 10" | 24 | 29 | 35 | 45 | 60 |
| | 12" | 28 | 34 | 41 | 52 | 70 |
| TEE | 8" | 24 | 29 | 35 | 45 | 60 |
| | 10" | 28 | 34 | 41 | 52 | 70 |
| | 12" | 32 | 39 | 47 | 60 | 80 |
| 90 DEG. VERT. BENDS TO BE CALCULATED ON A CASE BY CASE BASIS. | | | | | | |

Legend:
 [Symbol] = 1 JOINT EQUIVALENT
 [Symbol] = 2 JOINTS EQUIVALENT
 [Symbol] = 3 JOINTS EQUIVALENT
 [Symbol] = 4 JOINTS EQUIVALENT

TABLE OF "A" DIMENSIONS (IN FEET)

| BEND | 90 | 45 | 22 1/2 | 11 1/4 | TEE |
|------|-----|-----|--------|--------|-----|
| 6" | 1.4 | 1.1 | 1.0 | 1.0 | 1.2 |
| 8" | 1.9 | 1.5 | 1.5 | 1.5 | 1.6 |
| 10" | 2.4 | 1.8 | 1.8 | 1.8 | 2.0 |
| 12" | 2.8 | 2.1 | 2.0 | 2.0 | 2.4 |
| 16" | 3.8 | 2.8 | 2.5 | 2.5 | 2.8 |
| 24" | 5.6 | 4.2 | 3.0 | 3.0 | 4.5 |

REVISIONS
DATE: 8/2009
DESCRIPTION: REVISED DETAIL FROM 6.13
STD. NO.: W.22

City of Asheville, NC
WATER ENGINEERING DIVISION

NEW WATER LINE PRESSURE TEST BACKFLOW PREVENTION ASSEMBLY

GENERAL NOTES:
 1. PRIOR TO CONNECTING TO THE EXISTING WATERLINE, THE NEW WATER LINE WILL BE PRESSURE TESTED, DISINFECTED AND A CLEAR WATER SAMPLE OBTAINED.
 2. ALL WATER FOR FILLING AND FLUSHING OF NEW WATER LINE WILL BE DRAWN THROUGH THE DOUBLE CHECK VALVE ASSEMBLY.
 3. THE COSTS FOR PROVIDING DOUBLE CHECK VALVE ASSEMBLY AND SLEEVE NECESSARY FOR FINAL CONNECTION WILL BE INCIDENTAL TO THE WATER LINE INSTALLATION.
 4. CONTRACTOR WILL BE REQUIRED TO HAVE WATER METER TESTED TO MEET ACCURACY STANDARDS OF ANWA C700, BY THE CITY OF ASHEVILLE WATER MAINTENANCE DIVISION ANNUALLY. METER MUST BEAR A CERTIFICATION TAG AT ALL TIMES.

REVISIONS
DATE: 8/2009
DESCRIPTION: REVISED DETAIL FROM 6.21
STD. NO.: W.28

City of Asheville, NC
WATER ENGINEERING DIVISION

STANDARD AIR RELEASE VALVE INSTALLATION

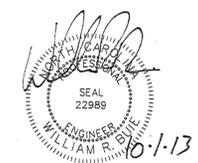
GENERAL NOTES:
 1. PIPE AND FITTINGS SIZE SHALL MATCH THE SIZE OF THE PROPOSED AIR RELEASE VALVE TO BE INSTALLED.
 2. REFER TO STANDARD DETAIL FOR METER BOX SPECIFICATIONS.
 3. LOCATION TO BE SAME AS METER BOX DETAILS W.01 & W.05

REVISIONS
DATE: 8/2009
DESCRIPTION: REVISED DETAIL FROM 6.10
STD. NO.: W.24

City of Asheville, NC
WATER ENGINEERING DIVISION



Know what's below.
Call before you dig.

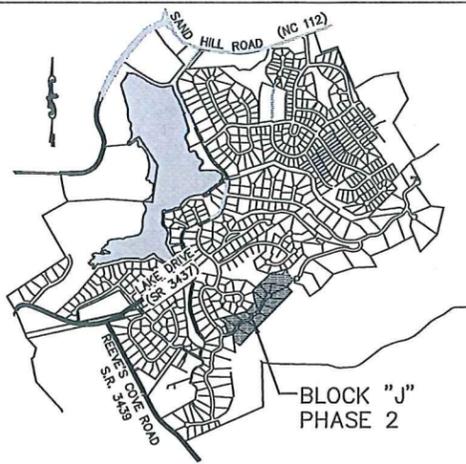
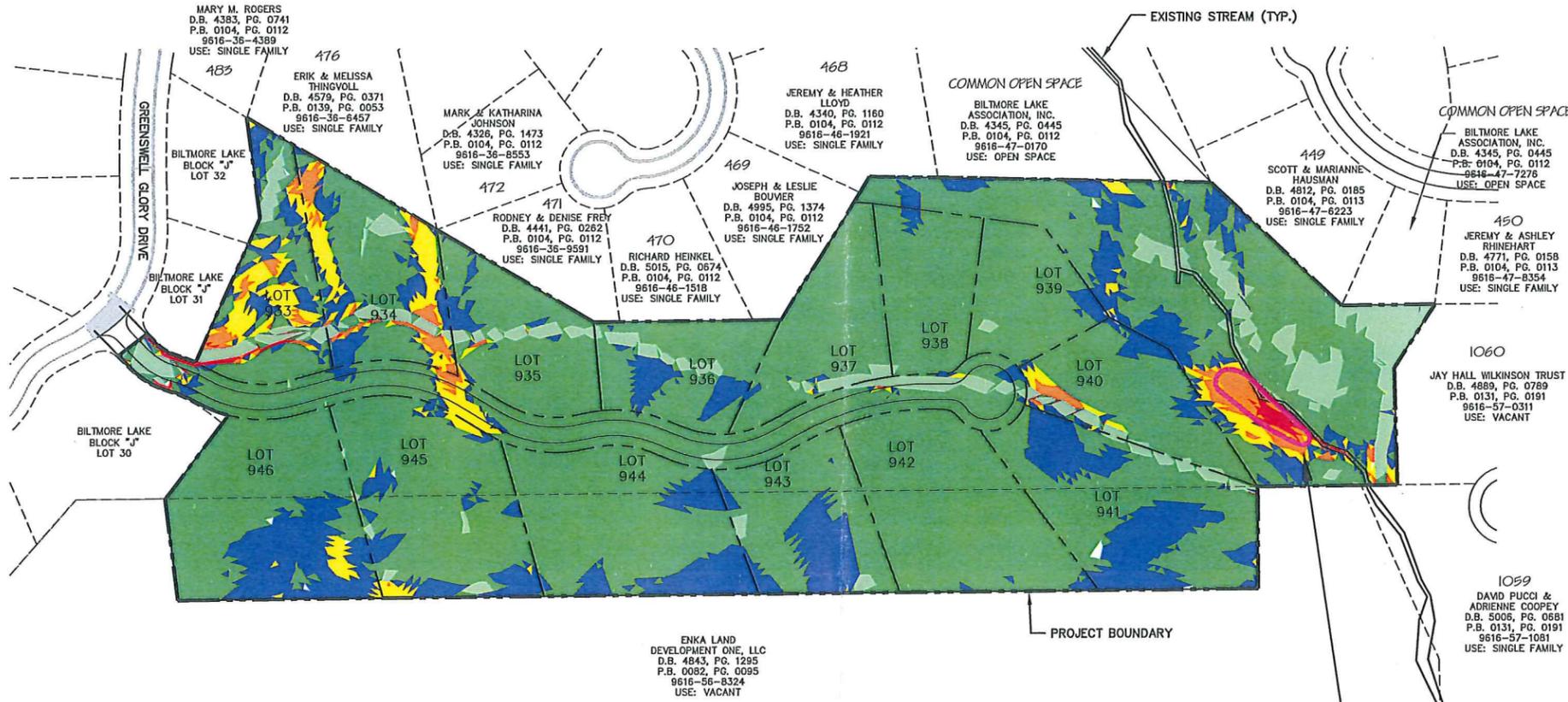
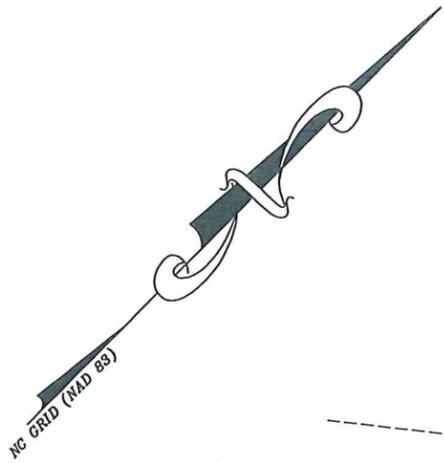


Revisions

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date: 8/27/13
job: 13162
drawn: TWT

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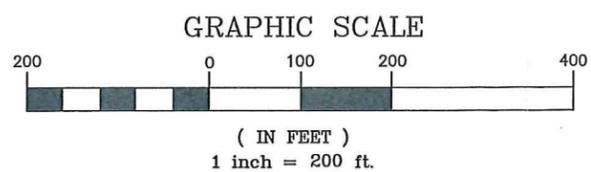


VICINITY MAP
N.T.S.

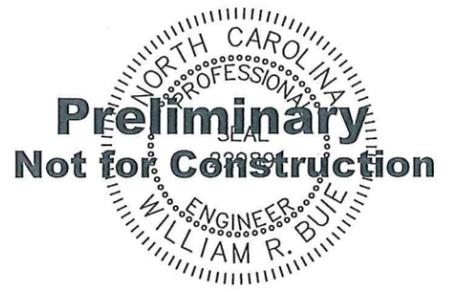
828-250-4830
 Asheville, N C 28801
 46 Valley Street
 OCT - 4 2013
 Received
 Buncombe County
 Planning and Development
 SUB 2013 - 0 0 3 3 2

- NOTE:**
- 1.) TOTAL SLOPE 35% AND GREATER 0.35± AC. 2.2%±
 - 2.) THIS PROPERTY IS NOT LOCATED WITHIN A 100yr FLOODPLAIN
 - 3.) NO WETLANDS EXIST WITHIN THIS PROJECT.
 - 4.) TOTAL SITE NATURAL AVERAGE SLOPE IS 23%

| LEGEND | | | |
|--------|--|------------|--------|
| | 0% TO LESS THAN 15% SLOPE | 0.99± AC. | 6.3%± |
| | 15% TO LESS THAN 25% SLOPE | 11.35± AC. | 71.8%± |
| | 25% TO LESS THAN 30% SLOPE | 2.58± AC. | 16.3%± |
| | 30% TO LESS THAN 35% SLOPE | 0.54± AC. | 3.4%± |
| | 35% TO LESS THAN 50% SLOPE | 0.28± AC. | 1.8%± |
| | 50% AND GREATER SLOPE | 0.07± AC. | 0.4%± |
| | APPROX. BOUNDARY OF THE MODERATE HAZARD AREA | | |
| | PROPERTY LINE | | |



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 www.wgla.com



| Revisions |
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date: 8/27/13
 job: 13162
 drawn: TWT

sheet
 C-1.0

WILLIAM G. LAPSLEY & ASSOCIATES P.A.
 CONSULTING ENGINEERS & LAND PLANNERS
 HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE
 BLOCK "J" PHASE 2
 BUNCOMBE COUNTY
 NORTH CAROLINA

SLOPE ANALYSIS MAP

Buncombe County Planning Board Meeting
Recommended Staff Conditions
SUB2013-00332
November 4, 2013

Biltmore Lake Block J2

If approved by the Buncombe County Planning Board, the applicant shall provide the following information on a revised set of plans (if necessary) submitted to the Buncombe County Department of Planning and Development:

1. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
2. Provide a written statement from the Buncombe County Stormwater Administrator stating that a stormwater management plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Permit is obtained.*
3. Provide proof of approval of system design for City of Asheville water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
4. Provide proof of approval of system design from the Metropolitan Sewerage District. Proof of acceptance of the sewer lines into the Metropolitan Sewerage District sewage system will be required prior to recordation of a final plat or release of a financial guarantee.
5. Provide proof of approval of addresses from E-911 Addressing.
- ~~6. Submit a variance for lot width for lot 39 or revise lot so it meets the 58 foot minimum lot frontage requirement.~~
7. Provide proof of consultation with a geotechnical engineer for road construction in areas of tract in excess of 30 percent natural slope and for all areas designated as High Hazard or Moderate Hazard on the Buncombe County Slope Stability Index Map or indicate that no such areas exists.

BUNCOMBE COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
REZONING ANALYSIS

CASE NUMBER : ZPH2013-00028
 PROPOSED ZONING CHANGE : R-1 to CS
 LOCATION : 1431 Brevard Road
 PIN : 9626.80.3208
 ACREAGE : 5.47 acres

APPLICANT/OWNER: JOHN HERRON
 PO BOX 6411
 ASHEVILLE, NC 28816

DEPARTMENT RECOMMENDATION: **DENIAL**

BOARD CONSIDERATIONS: The Board must determine if there is a reasonable basis for the requested change. An applicant's showing of reasonableness must address the totality of the circumstances and must demonstrate that the change is reasonable in light of its effect on all involved. Good Neighbors of South Davidson v. Town of Denton, 355 N.C. 254, 559 S.E.2d 768 (2002). Determination must be, the "product of a complex of factors." Chrismon v. Guilford County, 322 N.C. 611, 370 S.E.2d 579 (1988). Among the factors relevant to this analysis are the size of the tract in question; the compatibility of the disputed zoning action with an existing comprehensive zoning plan; the benefits and detriments resulting from the zoning action for the owner of the newly zoned property, his neighbors, and the surrounding community; and the relationship between the uses envisioned under the new zoning and the uses currently present in adjacent tracts. Id.

REZONING ANALYSIS: The applicant requests the rezoning of approximately 5.47 acres from R-1 (Residential District) to CS (Commercial Service District). The subject property is located at the intersection of Fore Road and Brevard Road. The tract is currently undeveloped. While a portion of the property that was previously within the City of Asheville's ETJ is zoned CS, and there is an established commercial corridor to the north of the subject property, the property to the south is zoned NS (Neighborhood Service District), creating a distinct separation and buffer between the more intense commercial uses located to the north of the subject property and the low density residential uses to the south of the subject property. Additionally, the application indicates that the only developable portion of the property is to the rear of the property, adjacent to R-1, and along Four Road. This portion of the property is adjacent to property zoned R-1 and NS, and none of the developable portion of the property fronts on Brevard Road. While, NS might be an appropriate zoning for the subject property, CS would not be given its proximity to low density residential uses and its lack of frontage on Brevard Road.

The proposed map amendment is not consistent with the Buncombe County Land Use Plan as the Land Use Constraint maps within the Buncombe County Comprehensive Land Use Plan, 2013 Update shows the following regarding the subject property:

- Not outside of steep slope areas
- Not outside of moderate and high slope stability hazards
- Adjacent to property zoned for low density residential uses.

The subject property is adjacent to property zoned for low density residential uses, and while it could be appropriate as a transitional area if it was zoned NS, between the CS commercial corridor on Brevard Road and the low density residential zoned property surrounding the subject property, the requested CS zoning would not be appropriate. The proposed CS zoning would be detrimental to the owner, adjacent

neighbors, and surrounding community as it is not consistent with the surrounding property zoned for low density residential uses. Therefore the Buncombe County Department of Planning and Development recommends **DENIAL** of the request.

LAND USE PLAN CONSISTENCY STATEMENTS

NOT CONSISTENT: The map amendment is not consistent with the Buncombe County Comprehensive Land Use Plan as the Land Use Constraint maps within the Buncombe County Comprehensive Land Use Plan, 2013 Update shows the following regarding the subject property:

- Not outside of steep slope areas
- Not outside of moderate and high slope stability hazards
- Adjacent to property zoned for low residential uses.

As the property is adjacent to property zoned for low density residential uses, the proposed CS zoning would be detrimental to the owner, adjacent neighbors, and surrounding community as it is not consistent with the surrounding low density residential property. Therefore, the requested zoning would not be reasonable and in the interest of the public.

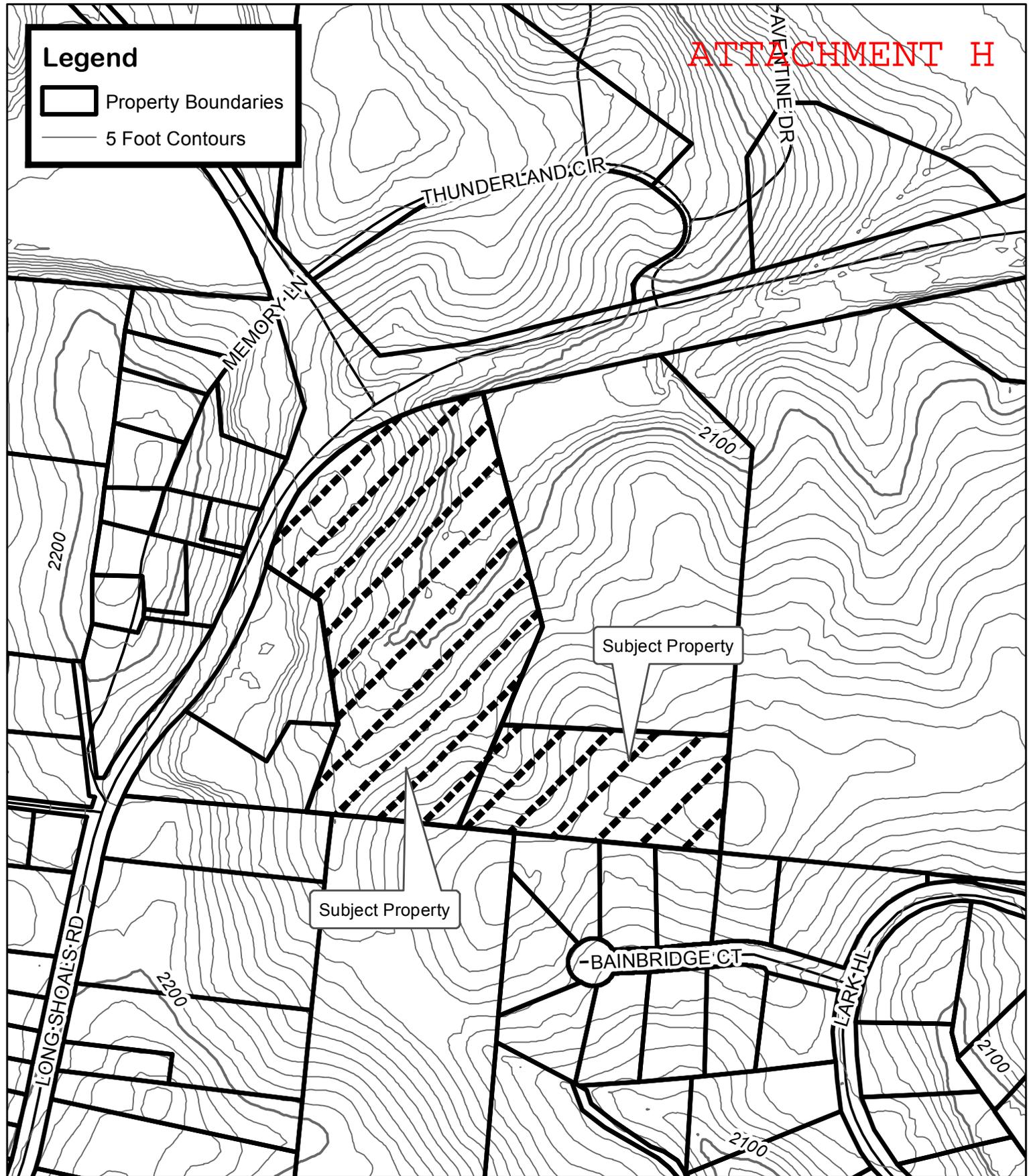
CONSISTENT: The proposed map amendment is consistent with the Buncombe County Land Use Plan as the Land Use Constraint maps within the Buncombe County Comprehensive Land Use Plan, 2013 Update shows the following regarding the subject property:

- Reasonable proximity to a transportation corridor
- Reasonable proximity to public utilities
- Outside high elevations
- Outside of flood areas

As the property is adjacent to property zoned CS, the proposed map amendment is appropriate and is therefore reasonable and in the interest of the public.

Legend

- Property Boundaries
- 5 Foot Contours

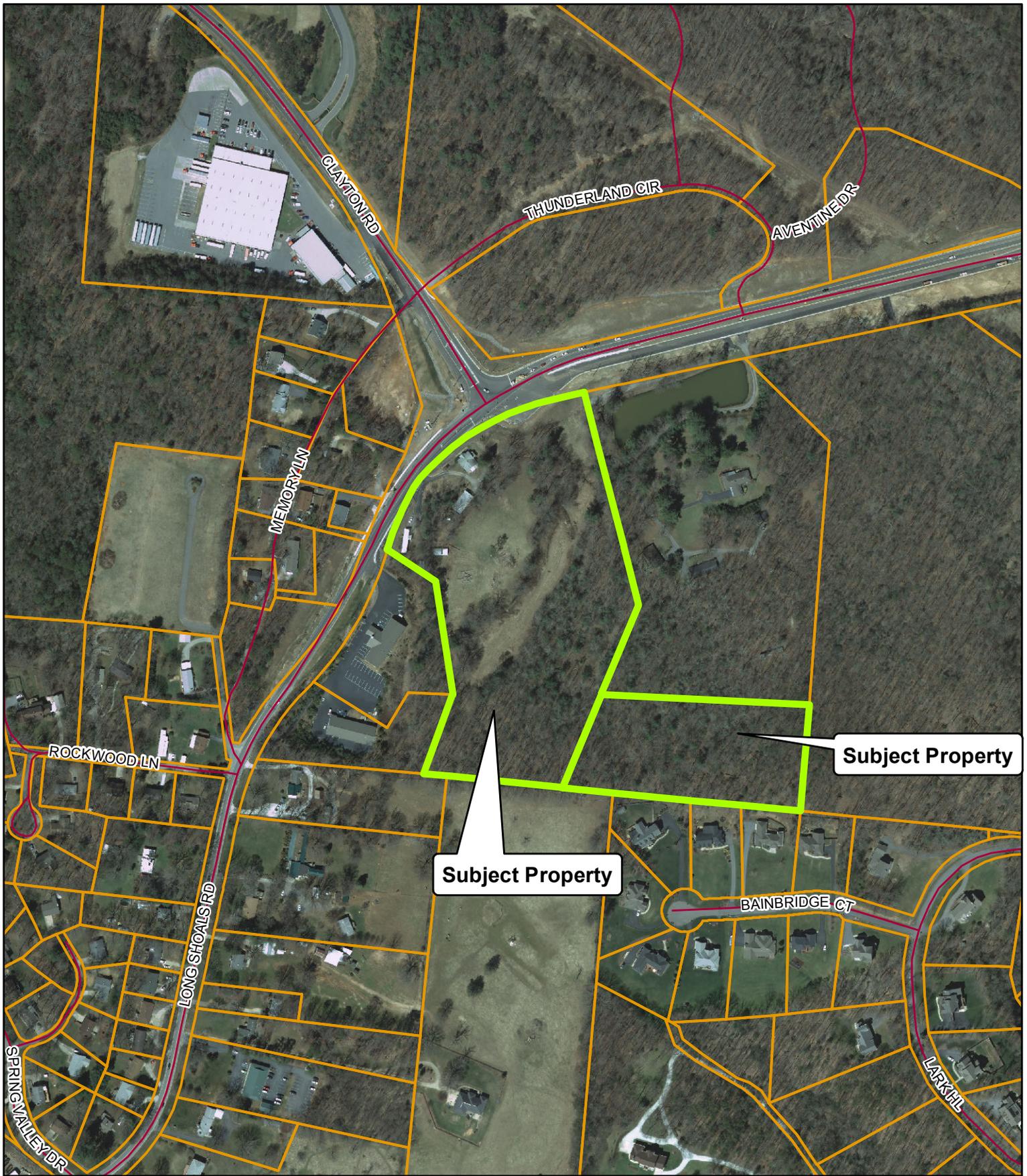


**Frances Briggs & Gary Corn
Map Amendment**

Case Number: ZPH2013-00027
 Approximate Property Size: 14.57 acres
 Application Date: September 27, 2013
 Planning Board Hearing Date: November 4, 2013

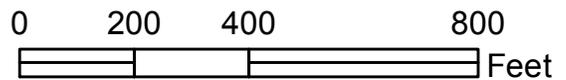


Created By: Buncombe County Planning
 Date: October 15, 2013

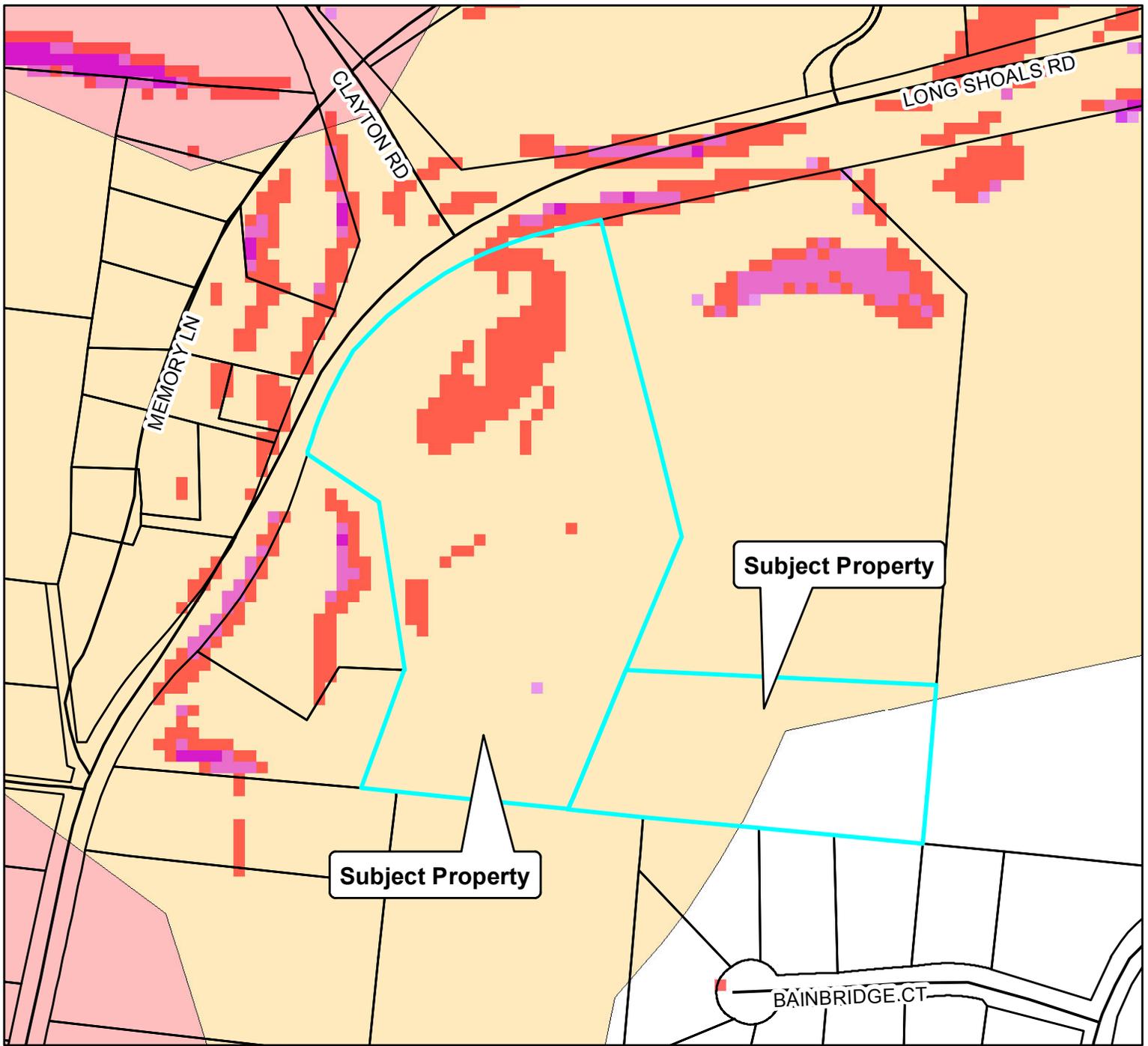


**Frances Briggs & Gary Corn
Map Amendment**

Case Number: ZPH2013-00027
 Approximate Property Size: 14.57 acres
 Application Date: September 27, 2013
 Planning Board Hearing Date: November 4, 2013



Created By: Buncombe County Planning
 Date: October 15, 2013

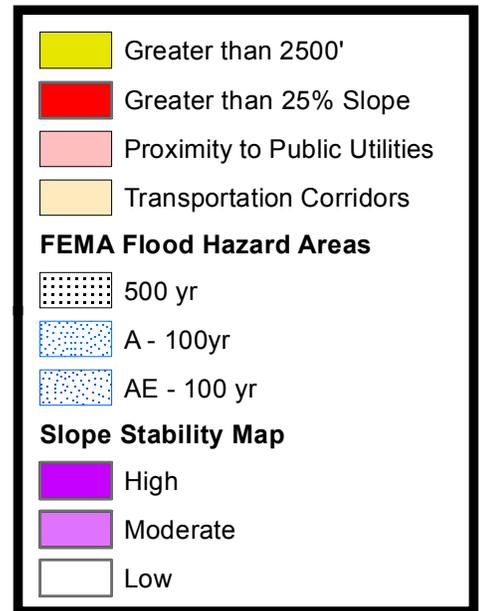


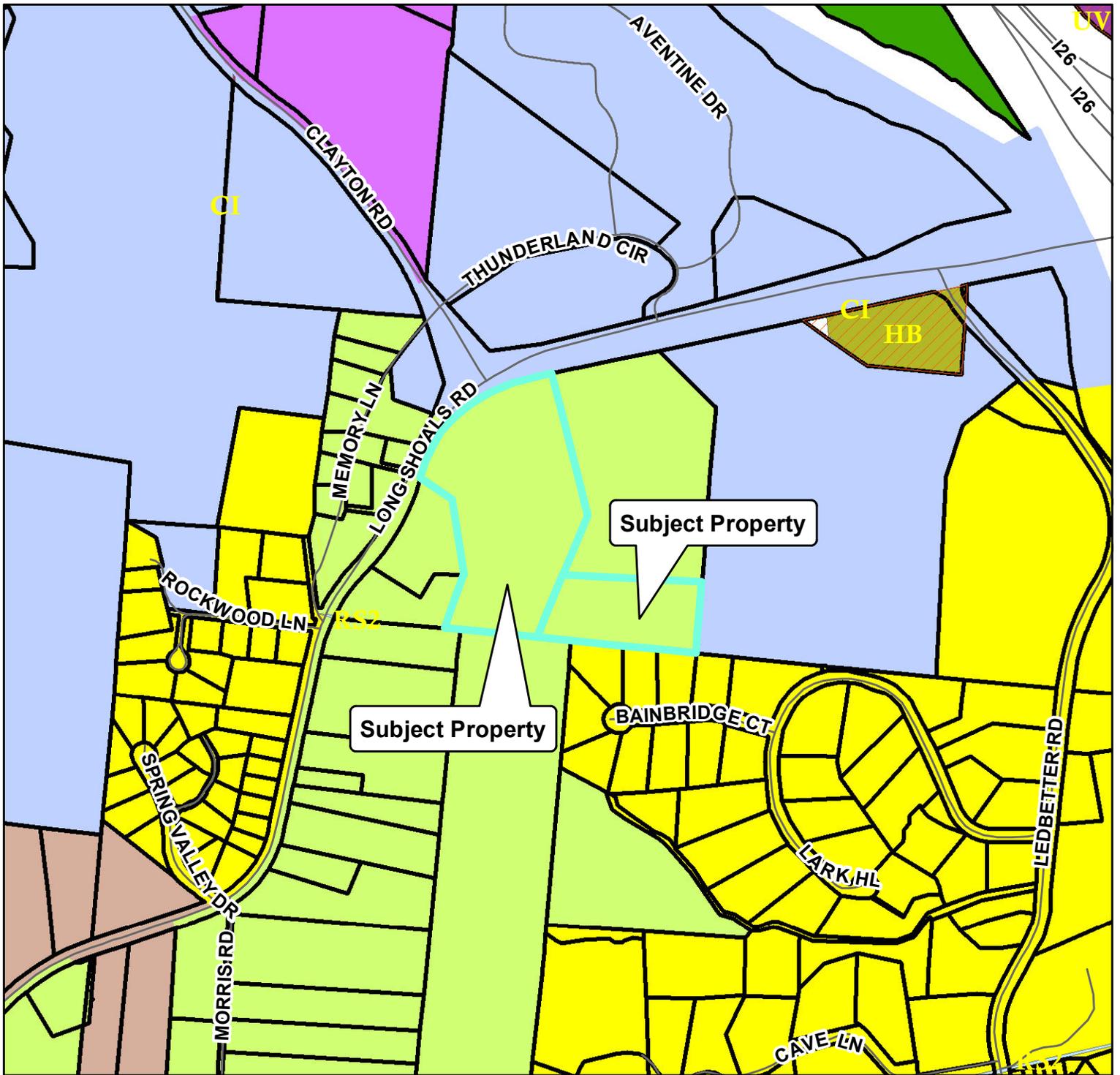
Frances Briggs & Gary Corn Map Amendment



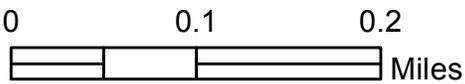
Case Number: ZPH2013-00027
 Approximate Property Size: 14.57 acres
 Application Date: September 27, 2013
 Planning Board Hearing Date: November 4, 2013

Created By: Buncombe County Planning
 Date: October 15, 2013





Frances Briggs & Gary Corn Map Amendment



| | | | | | |
|--|-------------------|--|------|------------------------|-------------------------------|
| | CITY OF ASHEVILLE | | OU | Zoning Overlays | |
| | BDM | | PS | | Blue Ridge Parkway Overlay |
| | CS | | R-1 | | Protected Ridge Overlay |
| | EMP | | R-2 | | Protected Ridge & Parkway |
| | NS | | R-3 | | Steep Slope/High Elev. |
| | | | R-LD | | Steep Slope/High Elev. & Pkwy |

Case Number: ZPH2013-00027
 Approximate Property Size: 14.57 acres
 Application Date: September 27, 2013
 Planning Board Hearing Date: November 4, 2013



Created By: Buncombe County Planning
 Date: October 15, 2013

ATTACHMENT I

Add to Section 78-581. Definitions.

Private utilities and related facilities means utility structures including, but not limited to, pumping stations, generation facilities, transformers, utility poles, transmission lines, and pipelines that require a specific location to provide service. These facilities are considered to be private facilities if they are accessories to the facility or development upon which they are located and do not provide service to exterior properties or customers. This definition does not include telecommunications towers or public safety communications towers as defined by this Ordinance or their related infrastructure. Private utilities intended to serve up to two, single-family residential units are considered a permitted accessory use to the residential structure provided that the footprint does not exceed 10,000 square feet.

Public utilities and related facilities means utility structures including, but not limited to, pumping stations, generation facilities, transformers, utility poles, transmission lines, and pipelines that require a specific location to provide service. This definition does not include telecommunications towers or public safety communications towers as defined by this Ordinance or their related infrastructure.

Public or private utilities and related facilities footprint means the cumulative area occupied by a utility operated by a single entity. For the purposes of this article, the footprint shall include any areas disturbed, altered from natural conditions, or made impervious during the installation of the utility, any area occupied by equipment pertaining to the facility, and any area fenced or secured against access to the facility, or any buffer or easement area required to surround the facility. The footprint calculation does not apply to utilities which are contained entirely underground and which do not include any structures as defined by this ordinance or any energy collection devices. For the purposes of footprint calculation, any facilities owned or operated by the applicant shall be included if said facilities lie within 1,320 feet of the proposed facility.

Modify Sec. 78-645. Steep Slope/High Elevation Overlay District

- (c) *Permitted uses.* Uses are permitted in the Protected Ridge Overlay District pursuant to the following table. All uses not listed are not allowed.
- (d) *Conditional uses.* All conditional uses shall be administered in accordance with Division VI of this chapter.

| Table 1 – Permitted Use Table | | | | | | | | | | |
|--|---|-----|-----|-----|----|----|-----|----|-----|----|
| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | |
| | Districts | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | BDM | OU |
| <u>Private utility stations and substations, pumping stations, water and sewer plants, water storage tanks</u> | C | C | C | C | C | C | C | C | C | C |
| <u>Public utility stations and substations, pumping stations, water and sewer plants, water storage tanks</u> | C | C | C | C | C | C | C | C | C | C |

Modify Sec. 78-646. Protected Ridge Overlay District

- (c) *Permitted uses.* Uses are permitted in the Protected Ridge Overlay District pursuant to the following table. All uses not listed are not allowed.
- (d) *Conditional uses.* All conditional uses shall be administered in accordance with Division VI of this chapter.

| Table 1 – Permitted Use Table | | | | | | | | | | |
|--------------------------------------|---|-----|-----|-----|----|----|-----|----|-----|----|
| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | |
| | Districts | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | BDM | OU |

| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | BDM | OU |
|--|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| <u>Private utility stations and substations, pumping stations, water and sewer plants, water storage tanks</u> | <u>C</u> |
| <u>Public utility stations and substations, pumping stations, water and sewer plants, water storage tanks</u> | C | C | C | C | C | C | C | C | <u>C</u> | C |

Modify Sec. 78-678. Conditional use standards.

- (3) *Public or Private utility stations; radio and TV towers; water and sewer plants; water storage tanks.* Standards for public or private utility stations, radio and TV towers, water and sewer plants, and water storage tanks shall be as follows:
- a. Structures shall be enclosed by a woven wire fence at least eight feet high. This does not apply to photovoltaic cells which are incorporated as structural elements of other facilities.
 - b. The lot shall be suitably landscaped, including a buffer strip at least four feet wide and planted with evergreen shrubs or trees which at maturity will be between eight and 12 feet high along the side and rear property lines. This planting requirement may be modified by the board of adjustment where adequate buffering exists in the form of vegetation and/or terrain.
 - c. Entrances and exits shall be designed so as to promote public safety.
 - d. Emergency contact information for the owner/manager of the facility shall be prominently posted at the site.
 - e. A plan for decommissioning of the facility should the facility become non-operational for a period of more than 365 consecutive days shall be presented to the board of adjustment. The plan shall describe how the site will be returned to its pre-development condition and shall present a mechanism for funding the decommissioning.
 - f. Facilities using wind as a means of electricity generation must be appropriately separated from existing residential communities and structures. The applicant must present an area map which depicts the proposed facility and the closest residential structures. The map shall be to scale and shall also show publicly maintained roads within the area.
 - g. At locations where the facility will exist alongside other uses, the applicant must include a description of the other uses which will occur on the site and how public safety will be guaranteed.
 - h. For facilities located within 5 linear miles of any aviation facility, the applicant must provide a solar glare analysis (such as the Solar Glare Hazard Analysis

Tool available through Sandia National Laboratories) that demonstrates that the installation does not pose an imminent threat to flight operations. Additionally, the applicant must demonstrate that the proposed structures do not interfere with flight operations. The applicant must also provide proof that a copy of their analysis has been submitted to the aviation facility operator.

- i. For facilities located within 1,320 feet of a NC or US highway (inclusive of Interstates) or within the Blue Ridge Parkway Overlay, the applicant must provide proof from a qualified professional, which may include the highway operator, that the facility does not pose an imminent threat to users of the highway.
- j. For facilities located within the Steep Slope/High Elevation or Protected Ridge Overlay Districts, the applicant must quantify and provide documentation of the tree coverage and species removed. When development is to occur within either Overlay District listed above, the limitations on disturbed and impervious area shall be applied to the parcel as a whole.
- k. All facilities must provide certification from an engineer or the manufacturer of the equipment that equipment to be utilized will not create electromagnetic interference (or other signal interference) with any radio communication or telecommunication system, aircraft navigation system, or radar system. Facilities utilizing wind as a means of electricity generation must submit a microwave path analysis performed by a Federal Communications Commission recognized frequency coordinator.
- l. All facilities must register with other state and federal agencies as required; proof of this registration (including applicable submissions for analysis by the Federal Communications Commission or Federal Aviation Administration) must be provided to the board of adjustment.

ATTACHMENT J

Amend Sec. 78-636. Use districts; enumeration.

For the purpose of this article, the zoning districts of Buncombe County as delineated on the official zoning map of Buncombe County, adopted by the board of commissioners, shall be divided into the following designated use districts:

| | |
|------|--|
| R-LD | Low-Density Residential District |
| R-1 | Single-Family Residential District |
| R-2 | Residential District |
| R-3 | Residential District |
| CS | Commercial Service District |
| EMP | Employment District |
| PS | Public Service District |
| CR | Conference Center/Resort District |
| NS | Neighborhood Service District |
| BDM | Beaverdam Low-Density Residential District |
| OU | Open Use District |

Amend Sec. 78-640. Statement of district intent.

(h) *Public Service District (PS)*. The PS Public Service District is intended to be a district that includes, but is not limited to, governmentally owned properties; schools and large college properties; recreation parks and facilities; emergency services; and community clubs ~~and conference centers with mixed uses which may include housing, hotels, retail shops, religious or secular retreats, and associated accessory uses~~. Such uses should currently have public water and sewer services available or have a provision for internal supply of appropriate utilities.

Add Subsection 78-640(i) and renumber the following subsections accordingly.

(i) *Conference Center/Resort District (CR)*. The CR Conference Center/Resort District is intended to be a district that includes, but is not limited to large tourist-related facilities held in single ownership, summer/day camp properties, and conference centers. Facilities within this district may include housing, hotels, retail shops, religious or secular retreats, and associated accessory uses. Such uses should currently have public water and sewer services available or have a provision for internal supply of appropriate utilities.

~~(j)~~(i) *Beaverdam Low-Density Residential District (BDM)*. It is the purpose and intent of the Beaverdam Low-Density Residential District to protect existing development in Beaverdam Valley from incompatible use; to provide for low-density residential and agricultural uses; and, to set certain standards for such uses based upon an analysis of existing and future conditions of topography, access, public water and sewer utilities, and community facilities, as well as health, safety and general welfare considerations.

~~(k)~~(k) *Open Use District (OU)*. The OU Open Use District is established as a district in which all uses are allowed by right, except for certain uses that are regulated as conditional uses so as to

ensure that neighborhood impact is mitigated. The neighborhood impact from conditional uses will be mitigated through the use of minimum specific site standards combined with general standards which provide the flexibility to impose a higher level of specific site standards dependent upon the degree of neighborhood impact. No zoning permit shall be required for permitted uses in the OU Open Use District.

Amend Sec. 78-641. Permitted uses.

(a) *Permitted use table.* Uses are permitted in the various zoning districts pursuant to Table 1.

| Table 1 – Permitted Use Table | | | | | | | | | | | |
|---|---|-----|-----|-----|----|----|-----|----|-----------|-----|----|
| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | | |
| | Districts | | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | <u>CR</u> | BDM | OU |
| Single-family residential dwelling, including modular | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Duplex/Two-family residential dwelling | | | P | P | P | P | P | P | <u>P</u> | | P |
| Multifamily residential dwelling units (only one building) | | | P | P | P | P | P | P | <u>P</u> | | |
| Open-Use Multifamily dwelling (less than six units on single lot) | | | | | | | | | | | P |
| Open-Use Multifamily dwelling (six or more units on single lot) | | | | | | | | | | | C |
| Manufactured/mobile homes-Residential | P | | | P | | | P | | | | P |
| Manufactured/mobile home parks | | | | C | | | | | | | P |
| Planned unit developments | | | C | C | C | C | C | C | <u>C</u> | | P |
| Subdivisions | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Accessory buildings | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Adult Entertainment Establishments | | | | | | C | C | | | | C |
| Amusement Parks | | | | | | C | C | C | <u>C</u> | | C |
| Animal hospitals and veterinarian clinics | | | | | P | P | P | | | | P |
| Asphalt Plants | | | | | | | C | | | | C |

Table 1 – Permitted Use Table

| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | | |
|--|---|-----|-----|-----|----|----|-----|----|-----------|-----|----|
| | Districts | | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | <u>CR</u> | BDM | OU |
| Banks and other financial institutions | | | | | P | P | P | C | <u>C</u> | | P |
| Bed and breakfast inns | P | | C | P | P | P | P | P | <u>P</u> | | P |
| Campus office use | | | C | | P | | | P | <u>P</u> | | P |
| Cemetery | P | | P | P | | P | | P | <u>P</u> | | P |
| Chip Mills | | | | | | | | | | | C |
| Churches | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Clubs or lodges | | | | P | C | P | P | P | <u>P</u> | | P |
| Concrete Plants | | | | | | | C | | | | C |
| Day nursery and private kindergarten | C | C | C | C | P | P | P | P | <u>P</u> | | P |
| Family care home | P | P | P | P | | | | P | <u>P</u> | P | P |
| Funeral homes | | | | | | P | C | P | <u>P</u> | | P |
| Government protective services | | | P | P | P | P | P | P | <u>P</u> | | P |
| Greenhouses, commercial (nursery, lawn and garden products) | | | | | P | P | P | P | <u>P</u> | | P |
| Hazardous Waste Facilities | | | | | | | | | | | C |
| Home occupations | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Hospitals, nursing homes, assisted living facilities, retirement communities | | | | C | | P | P | P | <u>P</u> | | P |
| Hotels and motels | | | | | | P | C | P | <u>P</u> | | P |
| Incinerators | | | | | | | | | | | C |
| Junkyards | | | | | | | C | | | | C |
| Kennels | | | | C | P | P | P | | | | P |
| Landing Strips | | | | C | | C | C | C | <u>C</u> | | C |
| Laundry and dry cleaning services | | | | | P | P | C | P | <u>P</u> | | P |

Table 1 – Permitted Use Table

| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | | |
|--|---|-----|-----|-----|----|----|-----|----|-----------|-----|----|
| | Districts | | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | <u>CR</u> | BDM | OU |
| Libraries | | | P | P | P | P | P | P | <u>P</u> | | P |
| Manufacturing and processing operations | | | | | | P | P | | | | P |
| Mining and Extraction Operations | | | | | | | C | | | | C |
| Motor Sport Facilities | | | | | | | | | | | C |
| Motor vehicles maintenance and repair | | | | | C | P | P | P | <u>P</u> | | P |
| Motor vehicles sales and rental | | | | | | P | P | | | | P |
| Motor vehicles service stations (fueling stations) | | | | | P | P | P | P | <u>P</u> | | P |
| National Guard and Reserve Armories | | | | | | P | P | P | | | P |
| Nightclubs, bars and pubs | | | | | P | P | P | | <u>P</u> | | P |
| Physical fitness centers | | | | | P | P | C | P | <u>P</u> | | P |
| Postal and parcel delivery services | | | | | C | P | P | P | <u>P</u> | | P |
| Printing and lithography | | | | | | P | P | | | | P |
| Private recreation facilities profit (bowling alleys, skating rinks, country clubs, etc.) | | | C | C | C | P | C | P | <u>P</u> | | P |
| Professional and business offices and services | | | | | P | P | P | P | <u>P</u> | | P |
| Public or private nonprofit recreational facilities (parks, playgrounds, etc.) | C | C | C | C | P | P | P | P | <u>P</u> | | P |
| Public utility stations and substations, pumping stations, water and sewer plants, water storage tanks | C | C | C | C | P | P | P | P | <u>P</u> | | P |
| Radio, TV and telecommunications towers | C | | | C | | C | C | C | <u>C</u> | | P |
| Repair services (electrical and appliances) | | | | | P | P | P | | | | P |

Table 1 – Permitted Use Table

| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | | |
|--|---|-----|-----|-----|----|----|-----|----|-----------|-----|----|
| | Districts | | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | <u>CR</u> | BDM | OU |
| Restaurants | | | | | P | P | P | P | <u>P</u> | | P |
| Retail trade, commercial services, sales and rental of merchandise and equipment (inside building with no outside sales storage) | | | | | P | P | C | C | <u>P</u> | | P |
| Retail trade, commercial services, sales and rental of merchandise and equipment | | | | | | P | C | | <u>P</u> | | P |
| Rooming house | | | C | P | P | P | C | P | <u>P</u> | | P |
| Schools, public and private | | C | C | C | | P | | P | <u>P</u> | | P |
| Schools--Vocational, business and special schools | | | | | | P | P | P | <u>P</u> | | P |
| Shooting Ranges – Outdoor Commercial | | | | | | | | | <u>C</u> | | C |
| Slaughtering Plants | | | | | | | | | | | C |
| Solid Waste Facilities – Landfills, Transfer Stations, Materials Recovery | | | | | | | C | C | | | C |
| Storage and warehousing | | | | | C | P | P | P | <u>C</u> | | P |
| Theaters | | | | | | P | | P | <u>P</u> | | P |
| Travel trailers | | | | C | | | | | <u>P</u> | | P |
| Travel trailer parks | | | | C | | | | | <u>C</u> | | P |
| Vacation rentals | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Vacation rental complex | | | | C | C | C | C | C | <u>C</u> | C | C |
| Wholesale sales | | | | | | P | P | | <u>C</u> | | P |

Amend Sec. 78-642. Dimensional requirements.

The dimensional requirements for structures and land in the various zoning districts shall be

in accordance with Table 2.

| Table 2. Dimensional Requirements | | | | | | | |
|---|---|---|--|---|-----------|-----------|--|
| Districts | Minimum Lot Area (Square Feet) | Density | | Minimum Yard Setback Requirements in Feet | | | Maximum Height (Feet) |
| | | Minimum Land Area ^{1,2} Per Dwelling Unit (Square Feet) | Maximum Number Dwelling Units Per Acre | Front Yard (From Right-of-Way) | Side Yard | Rear Yard | |
| R-LD Residential | 43,560 | 43,560 Plus: 0 for one additional detached unit | 2 | 10 | 10 | 20 | 35 |
| R-1 Residential | 30,000 (no water or sewer) 15,000 (water only) 10,000 (water and sewer) | 30,000 (no water or sewer) 15,000 (water only) 10,000 (water and sewer) Plus: 0 for one additional detached unit | 8 | 20 | 10 | 20 | 35 |
| R-2 Residential | Same as R-1 | Same as R-1 Plus: 0 for first additional unit Plus: 3,000 for each additional unit | 12 | 20 | 10 | 20 | 35 |
| R-3 Residential | Same as R-1 | Same as R-2 | 12 | 20 | 10 | 20 | 35 |
| NS Neighborhood Service | Same as R-1 | Same as R-2 | 12 | 20 | 10 | 20 | 35 |
| CS Commercial Service | 30,000 (no water or sewer) 15,000 (water only) 5,000 (water and sewer) | Same as R-1, except 5,000 with water and sewer Plus: 0 for first additional unit Plus: 3,000 for each additional unit | 13 | 10 | 10 | 10 | 50 |
| EMP Employment | Same as R-1 | Same as R-2 | 12 | 20 | 10 | 20 | 90 |
| <u>CR Conference Center/Resort</u> | <u>Same as R-1</u> | <u>Same as R-2</u> | <u>12</u> | <u>20</u> | <u>10</u> | <u>20</u> | <u>50 (plus 1ft additional for each additional 5 feet of setback from all property lines up to 100ft total).</u> |
| PS Public Service | Same as R-1 | Same as R-2 | 12 | 20 | 10 | 20 | 50 |

| Table 2. Dimensional Requirements | | | | | | | |
|-----------------------------------|--|--|--|---|-----------|-----------|--------------------------|
| Districts | Minimum Lot Area (Square Feet) | Density | | Minimum Yard Setback Requirements in Feet | | | Maximum Height (Feet) |
| | | Minimum Land Area ^{1,2} Per Dwelling Unit (Square Feet) | Maximum Number Dwelling Units Per Acre | Front Yard (From Right-of-Way) | Side Yard | Rear Yard | |
| BDM Beaverdam | See Footnote 5 and 7 | See Footnote 5 and 7 | See Footnote 5 and 7 | See Footnote 6 and 7 | 15 | 25 | 35 |
| OU Open Use | No dimensional requirements except as applied to conditional uses. | | | | | | |

Delete Sec. 78-644. Biltmore Estate Historic Property Overlay District in its entirety.

~~(a) Purpose. The Biltmore Estate Historic Property Overlay District is established to provide an area for the development of the historic Biltmore Estate oriented uses and associated facilities. The creation of this special overlay district recognizes the significance of the estate and the National Historic Landmark status and historic boundary designations as being unique to the area. The Biltmore Estate Historic Property Overlay District shall provide additional regulations that take precedent over the underlying Commercial Service District (CS) zoning designation by Buncombe County.~~

~~Given this basis for establishment of a special overlay district, this district will apply only to the boundaries of the Biltmore Estate and to no other properties within the City of Asheville and will provide areas for the development and expansion of facilities which serve primarily tourists and vacationers, but also serve the necessary operational needs of the estate. Development standards are established to protect adjacent land uses from the adverse impacts of development within the boundaries of the Biltmore Estate while recognizing the existing development activities on the estate grounds and the needs of the estate to expand services to meet the needs of the local community.~~

~~(b) Defined boundaries. The Biltmore Estate Historic Property Overlay District shall encompass and apply to all lands identified to be within the jurisdiction of Buncombe County and specifically within the boundaries of the Historic Landmark Designation for Biltmore Estate, excluding those areas within the town boundaries of the Town of Biltmore Forest and any lands within the Biltmore Village Historic District.~~

~~(c) Permitted uses. In addition to including all existing uses at the time of acceptance of this Zoning Overlay District text, the following are permitted uses, by right:~~

~~Residential~~

~~Dwellings, multi-family~~

~~Dwellings, single-family detached~~

~~Recreational~~

~~Camps, campgrounds~~

~~Golf courses~~

~~Passive parks, lakes and ponds~~

~~*Public/semi-public*~~

~~Convention and conference centers~~

~~Fire/police stations~~

~~*Accessory uses*~~

~~Barber shops and salons when an accessory to the principal use~~

~~Bed and breakfast inns~~

~~Bookstores when an accessory to the permitted use~~

~~Candy, pastry, ice cream and snack shops when an accessory to the principal use~~

~~Florists when an accessory to the principal use~~

~~Gift shops when an accessory to the principal use~~

~~Health and fitness facilities when an accessory to the principal use~~

~~Restaurants and associated food services (including beverages)~~

~~Studios, galleries, and workshops for artists, craftspeople, designers, photographers~~

~~Equipment repair~~

~~Manufacturing when accessory to the principal use~~

~~Transportation systems operation and repair~~

~~Recycling collection centers~~

~~(d) *Conditional uses.* The following are conditional uses:~~

~~Fishing, including guided fishing and clinics~~

~~Shooting, skeet, clay, target, sporting clay/gun club facilities~~

~~Driving/training schools~~

~~Lodging facilities~~

~~Public utilities and related facilities~~

~~Antenna~~

~~Bars, nightclubs, brew pubs~~

~~(e) *Development standards.*~~

~~(1) *Density standards.* The maximum average gross residential density per acre within a prescribed lot in the Biltmore Estate Historic Property Overlay District shall be 12 dwelling units for residential and 100 units per acre for lodging.~~

~~(2) *Structure size standards.* None.~~

~~(3) *Lot size standards.* The minimum lot size for all uses in the Biltmore Estate Historic~~

~~Property Overlay District shall be 10,000 square feet.~~

- ~~(4) *Yard setback requirements.* The following shall be the minimum yard requirements for uses in the Biltmore Estate Historic Property Overlay District.~~

~~*Front:* 35 feet, except that the minimum setback may be reduced to five feet in pedestrian-oriented areas where road widening is not anticipated provided that all parking is located to the side or rear and not closer to the street than the facade of the principal structure, and where pedestrian-oriented design features are incorporated in building and site design.~~

~~*Side:* Ten feet.~~

~~*Rear:* 20 feet.~~

~~The minimum spacing between structures shall, in addition, be as per the City of Asheville Fire Prevention Code.~~

- ~~(5) *Impervious surface standards.* The maximum impervious surface coverage in the Biltmore Estate Historic Property Overlay District for any single, defined lot shall be 80 percent.~~

- ~~(6) *Height standards.* The maximum height of structures in the Biltmore Estate Historic Property Overlay District shall be 35 feet for detached and attached residential structures, 80 feet for lodging uses, and 45 feet for all other uses, except in the transition area described below in subsection (8).~~

~~The permitted height of buildings and structures in the Biltmore Estate Historic Property Overlay District may be increased by one foot for each two feet of additional front, side, and rear setbacks up to a maximum height of 100 feet.~~

- ~~(7) *Recreational/open space standards.* It is understood that any requisite open space and recreation standards imposed by the county are off-set by the amount of continuously preserved open space that makes up the larger portion of the existing estate. No other additional open space/recreational standards/requirements shall apply within the boundaries of the Biltmore Estate Historic Property Overlay District.~~

- ~~(8) *Design and operation standards.*~~

~~*Exterior lighting:* All exterior lighting shall be shielded such that light is not directed toward adjacent residential property and such that no light sources are visible.~~

~~*Outdoor sound systems:* Outdoor sound systems shall be directed away from internal and adjacent residential areas and shall not operate between the hours of 11:00 p.m. and 9:00 a.m.~~

~~*Transition area:* Within 300 feet of an adjacent residentially zoned area, restrictions shall be placed on the height and location of uses other than those permitted in the adjacent residential zone. Height of buildings and structures located in this area shall be subject to the height limitations established in the least restrictive adjacent residential zone. Primary entrances of buildings and structures located in the transition area shall be directed away from residential uses. Restaurants, bars and nightclubs, facilities for animals (stables), mechanical equipment, and maintenance facilities shall not be located in the transition area.~~

Renumber and Amend Sec. 78-64~~45~~. Steep Slope/High Elevation Overlay District

(a) *Purpose.* The Steep Slope/High Elevation Overlay District is established in recognition that the development of land in steep, mountainous areas involves special considerations and requires unique development standards. This section is intended to limit the intensity of development, preserve the viewshed and protect the natural resources of Buncombe County's mountains and hillsides at elevations of 2,500 feet above sea level and higher, consistent with the recommendations of the 1998 Buncombe County Land Use Plan.

(b) *Applicability.* This section shall apply to the portion of Buncombe County at elevations of 2,500 feet above sea level and higher and having a natural slope of 35 percent or greater as specifically identified and delineated on the zoning map entitled "The Official Zoning Map of Buncombe County, North Carolina."

(c) *Permitted uses.* Uses are permitted in the High Elevation/Steep Slope Overlay District pursuant to the following table. All uses not listed are not allowed.

(d) *Conditional uses.* All conditional uses shall be administered in accordance with Division VI of this chapter.

| Steep Slope/High Elevation Overlay Permitted Use Table | | | | | | | | | | | |
|--|---|-----|-----|-----|----|----|-----|----|-----------|-----|----|
| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | | |
| | Districts | | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | <u>CR</u> | BDM | OU |
| Single-family residential dwelling, including modular | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Duplex/Two-family residential dwelling | | | P | P | P | P | P | P | <u>P</u> | | P |
| Multifamily residential dwelling units (3 or more units) | | | C | C | C | C | C | C | <u>C</u> | | C |
| Townhomes (3 or more units) | | | C | C | C | C | C | C | <u>C</u> | | C |
| Manufactured/mobile homes-Residential | P | | | P | | | P | | | | P |
| Manufactured/mobile home parks | | | | C | | | | | | | C |
| Planned unit developments | | | C | C | C | C | C | C | <u>C</u> | | C |
| Subdivisions | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Accessory buildings | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Bed and breakfast inns, gross floor area less than 5,000 sq. ft. | P | | C | P | P | P | P | P | <u>P</u> | | P |

Step Slope/High Elevation Overlay Permitted Use Table

| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | | |
|---|---|------------|------------|------------|-----------|-----------|------------|-----------|------------------|------------|-----------|
| | Districts | | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | <u>CR</u> | BDM | OU |
| Bed and breakfast inns, gross floor area 5,000 sq. ft. or more | C | | C | C | C | C | C | C | <u>C</u> | | C |
| Cemetery | P | | P | P | | P | | P | <u>P</u> | | P |
| Churches | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Clubs or lodges, gross floor area less than 5,000 sq. ft. | | | | C | C | C | C | C | <u>C</u> | | C |
| Day nursery and private kindergarten | C | C | C | C | C | C | C | C | <u>P</u> | | C |
| Family care home | P | P | P | P | | | | P | <u>P</u> | P | P |
| Government protective services | | | P | P | P | P | P | P | <u>P</u> | | P |
| Home occupations | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Hospitals, nursing homes, assisted living facilities, retirement communities | | | | C | | C | C | C | <u>C</u> | | C |
| Libraries | | | | | | | | C | <u>C</u> | | C |
| Mining and Extraction Operations | | | | | | | C | | | | C |
| National Guard and Reserve Armories | | | | | | P | P | P | | | P |
| Private recreation facilities for profit, outdoor (parks, playgrounds, tennis courts, etc.) | | | C | C | C | C | C | C | <u>C</u> | | C |
| Private recreation facilities for profit, gross floor area less than 5,000 sq. ft. (bowling alleys, skating rinks, country clubs, etc.) | | | C | C | C | C | C | C | <u>C</u> | | C |
| Professional and business offices and services, gross floor area less than 5,000 sq. ft. | | | | | P | P | P | P | <u>P</u> | | P |
| Public or private nonprofit recreational facilities, outdoor (parks, playgrounds, tennis courts, etc.) | C | C | C | C | P | P | P | P | <u>P</u> | | P |

Step Slope/High Elevation Overlay Permitted Use Table

| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | | |
|--|---|------------|------------|------------|-----------|-----------|------------|-----------|------------------|------------|-----------|
| | Districts | | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | <u>CR</u> | BDM | OU |
| Public or private nonprofit recreational facilities, indoor, gross floor area less than 5,000 sq. ft. (bowling alleys, skating rinks, gymnasiums, etc.) | C | C | C | C | P | P | P | P | <u>P</u> | | P |
| Public or private nonprofit recreational facilities, indoor, gross floor area 5,000 sq. ft. or more (bowling alleys, skating rinks, gymnasiums etc.) | | | | | C | C | C | C | <u>C</u> | | C |
| Utility stations and substations, pumping stations, water and sewer plants, water storage tanks | C | C | C | C | C | C | C | C | <u>C</u> | | C |
| Radio, TV and telecommunications towers | C | | | C | | C | C | C | <u>C</u> | | C |
| Repair services, gross floor area less than 5,000 sq. ft. (electrical and appliances) | | | | | P | P | P | | | | P |
| Restaurants, gross floor area less than 5,000 sq. ft. | | | | | P | P | P | P | <u>P</u> | | P |
| Retail trade, commercial services, sales and rental of merchandise and equipment, gross floor area less than 5,000 sq. ft. (inside building with no outside sales storage) | | | | | P | P | C | C | <u>C</u> | | P |
| Schools, public and private | | C | C | C | | C | | C | <u>C</u> | | C |
| Schools--Vocational, business and special schools | | | | | | C | C | C | <u>C</u> | | C |

Steep Slope/High Elevation Overlay Permitted Use Table

| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | | |
|--|---|-----|-----|-----|----|----|-----|----|-----------|-----|----|
| | Districts | | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | <u>CR</u> | BDM | OU |
| Travel trailers | | | | P | | | | | <u>P</u> | | P |
| Travel trailer parks | | | | C | | | | | <u>C</u> | | C |
| Vacation rentals | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Vacation rental complex; less than 11 units | | | | C | C | C | C | C | <u>C</u> | C | C |

Renumber and Amend Sec. 78-6456. Protected Ridge Overlay District

(a) *Purpose.* The Protected Ridge Overlay District is established in recognition that the development of land in steep, mountainous areas involves special considerations and requires unique development standards. This section is intended to limit the density of development, preserve the viewshed and protect the natural resources of Buncombe County’s protected mountain ridges, consistent with the recommendations of the 1998 Buncombe County Land Use Plan and supplemental to the provisions of the Mountain Ridge Protection Act of 1983. Further, in accordance with North Carolina General Statutes §153A-342, this Protected Ridge Overlay District provides for additional requirements on properties within one or more underlying general districts related to the erection, construction, reconstruction, alteration, repair, or use of buildings, or structures within the Protected Ridge Overlay District in addition to the general underlying zoning regulations including, but not limited to, height, number of stories and size of buildings and other structures.

(b) *Applicability.* This section shall apply to all Buncombe County mountain “ridges” whose elevation is at least 3,000 feet and whose elevation is 500 or more feet above the elevation of an adjacent valley floor and including 500 foot buffers, measured horizontally from the center line of the ridge as specifically identified and delineated on the zoning map entitled “The Official Zoning Map of Buncombe County, North Carolina.”

(c) *Permitted uses.* Uses are permitted in the Protected Ridge Overlay District pursuant to the following table. All uses not listed are not allowed.

(d) *Conditional uses.* All conditional uses shall be administered in accordance with Division VI of this chapter.

| Protected Ridge Overlay Permitted Use Table | | | | | | | | | | | |
|--|---|-----|-----|-----|----|----|-----|----|-----------|-----|----|
| Uses | P = Permitted C = Allowed as Conditional Use Blank Space = Not Permitted | | | | | | | | | | |
| | Districts | | | | | | | | | | |
| | R-LD | R-1 | R-2 | R-3 | NS | CS | EMP | PS | <u>CR</u> | BDM | OU |
| Single-family residential dwelling, including modular | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Manufactured/mobile homes-Residential | P | | | P | | | P | | | | P |
| Subdivisions | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Accessory buildings | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Cemetery | P | | P | P | | P | | P | <u>P</u> | | P |
| Churches | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Family care home | P | P | P | P | | | | P | <u>P</u> | P | P |
| Government protective services | | | P | P | P | P | P | P | <u>P</u> | | P |
| Home occupations | P | P | P | P | P | P | P | P | <u>P</u> | P | P |
| Public or private nonprofit recreational facilities, outdoor (parks, playgrounds, tennis courts, etc.) | C | C | C | C | P | P | P | P | <u>P</u> | | P |
| Utility stations and substations, pumping stations, water and sewer plants, water storage tanks | C | C | C | C | C | C | C | C | <u>C</u> | | C |
| Vacation rentals | P | P | P | P | P | P | P | P | <u>P</u> | P | P |