

Buncombe County Planning Board  
March 4, 2013

The Buncombe County Planning Board met March 4, 2013 in the meeting room at 30 Valley Street. Members present were Jim Young, Bud Sales, Josh Holmes, Vice–Chairman Bernie Kessel, Michelle Wood, Greg Phillips, Joe Sechler, and Catherine Martin. Also present were Gillian Phillips, Planning staff; Josh O’Conner, Zoning Administrator; Dave Spector, CDM-Smith; and Michael Frue, County Attorney.

**Call to Order**

Vice Chairman Kessel called the meeting to order at 9:32 am.

**Approval of Agenda**

Mr. Holmes made a motion to approve the agenda. Mr. Phillips seconded the motion and the motion passed unanimously.

**Approval of Minutes (February 18, 2013)**

Mr. Holmes made a motion to approve the minutes as submitted. Mr. Sechler seconded the motion, and the motion passed unanimously.

**SUB2013-00033:** *“Biltmore Lake Subdivision, Block J,” located at the end of Greenwells Glory Drive (PIN 9616-13-7499) seeking preliminary approval.*

The Board was provided with the following items prior to the meeting: the recommended staff conditions for the preliminary approval (Attachment A) and the submitted plans (Attachment B). Will Buie (Lapsley and Associates) and Lee Thompson (Biltmore Farms) were present to represent the case. Mr. Buie presented the Board with a master plan of the Biltmore Lake Community (Attachment C). This was not presented to the Board for approval, but just as an overall view of the layout of the community. Mr. Buie indicated that they were proposing 32 lots as a phase of the Biltmore Lake Subdivision (Block J). He indicated that Mike Goodson had approved the submitted stormwater plans, but was waiting for a letter of credit before issuing the permit. Mr. Buie stated that water line and sewer line plans had been submitted to the appropriate agencies, and that the road was well within the Subdivision Ordinance’s corridor width requirements. The Board discussed the project. Mr. Sechler asked why the number of lots had increased over the master plan. Mr. Buie indicated that a less expensive product was planned for this section of the subdivision, and Biltmore Farms would be the builder as opposed to custom home builders. Mr. Young asked some question regarding stormwater design, Metropolitan Sewerage District requirements (MSD), and water lines. There was discussion regarding access to the project, and what amenities would be provided in this section of the development. There being no one wishing to make public comment, Ms. Wood made a motion to grant preliminary approval with staff conditions. Ms. Martin seconded the motion and the motion passed unanimously.

## **Further Discussion Of The Comprehensive Land Use Plan Update**

### **Limitations on Height**

The Board was provided with information regarding this concept (Attachment D). Mr. O’Conner described the concept to the Board, indicating that with some tall structures, such as office buildings and other taller structures, a variance in height was not the correct way to address height, as in most cases it did not meet the standards laid out for a variance for height. Staff was proposing to allow height increases, in some cases, as a Conditional Use Permit, as a CUP could be more specific to the context of a project and did not have to have show a hardship. The Board indicated that this seemed reasonable.

### **Manufactured Housing**

The Board was provided with information regarding this concept (Attachment E). Mr. O’Conner indicated that staff was proposing there be a clear separation in the Zoning Ordinance between mobile homes and mobile home parks. There was discussion regarding the different ways to achieve this. The Board discussed different types of mobile homes, and the difference between mobile homes and modular homes. The Board expressed concern regarding people being able to place mobile homes on family property for family members. There was discussion regarding placing standards on mobile homes. Mr. O’Conner indicated that past standards had been hard to enforce and had added a burden to the homeowner.

### **Suitability Charts and Suitability Map**

This concept was introduced at the previous meeting. The board was provided with a proposed suitability chart (Attachment F) and suitability maps (Attachment G). Mr. O’Conner provided the Board with examples of how the maps and chart would work together. Mr. O’Conner explained how staff, the Planning Board and Board of Adjustment, and developers would utilize the tools. The Board expressed their approval and indicated that this would be a very useful tool for those involved in development. They indicated that they would like it to be available on the County’s GIS website. There was discussion when the maps would be available to the public.

### **Public Comment**

Dede Stiles wished to make public comment, and expressed support of allowing mobile homes in more districts. Ms. Stiles then expressed the need for additional regulations for larger homes on higher elevations and steeper slopes.

### **Adjournment**

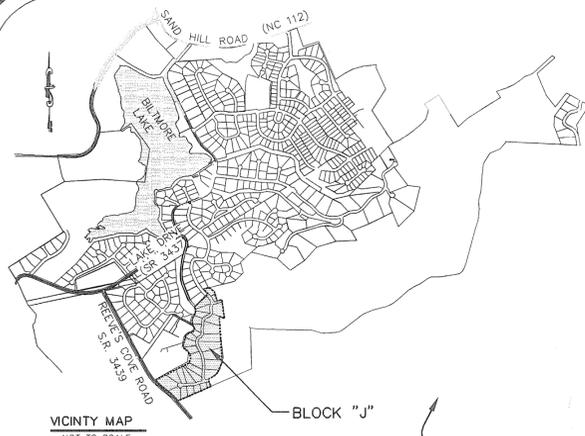
Jim Young seconded the motion and the motion passed unanimously.

**Biltmore Lake Block J**

If approved by the Buncombe County Planning Board, the applicant shall provide the following information on a revised set of plans (if necessary) submitted to the Buncombe County Department of Planning and Development:

1. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
2. Provide a written statement from the Buncombe County Stormwater Administrator stating that a stormwater management plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Stormwater Permit is obtained.*
3. Provide proof of approval of system design for City of Asheville Water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
4. Provide proof of approval of system design from the Metropolitan Sewerage District. Proof of acceptance of the sewer lines into the Metropolitan Sewerage District sewage system will be required prior to recordation of a final plat or release of a financial guarantee.
5. Provide proof of approval of addresses from E-911 Addressing.

SUB2013-00033  
SUBMITTED 1/31/2013



- NOTES:
- 1.) SEE PLAN & PROFILE SHEETS FOR HORIZONTAL & VERTICAL CURVE INFORMATION & ROAD GRADES.
  - 2.) WHERE WHEELCHAIR ACCESS RAMP ARE PROVIDED, A TRUNCATED DOME WARNING DEVICE SHALL BE INSTALLED PER DETAIL.
  - 3.) THIS PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOOD HAZARD AREA.
  - 4.) SURVEY INFORMATION PROVIDED BY NC SURVEY, P.C. 96 CENTRAL AVENUE ASHEVILLE, NC 28801
  - 5.) NO WALLS ARE PROPOSED.
  - 6.) PROPOSED ROAD IS TO BE PRIVATE & TURNED OVER TO BILTMORE LAKE HOMEOWNERS' ASSOC.
  - 7.) THE SITE IS ENTIRELY WOODED EXCEPT FOR ROAD CONNECTION POINT.
  - 8.) ELECTRICAL, TELEPHONE AND NATURAL GAS WILL BE UNDERGROUND AS DESIGNED BY UTILITY COMPANY.
  - 9.) PROPOSED SANITARY SEWER SHALL BE TURNED OVER TO MSD.
  - 10.) PROPOSED WATER SYSTEM SHALL BE TURNED OVER TO CITY OF ASHEVILLE.
  - 11.) NO KNOWN CEMETERIES ARE LOCATED ON THE PROPERTY.
  - 12.) EXISTING LAND IS VACANT.
  - 13.) PAVEMENT DESIGN WAS DESIGNATED WITH ASSUMING POOR TO FAIR SUBGRADE (GROUP II, PAGE 23 NCDOT SUBDIVISION ROADS MINIMUM CONSTRUCTED STANDARDS) WITH 8" OF ABC & 3" OF S9.5B.
  - 14.) NO BASE COURSE SHALL BE PLACED ON MOCK, PIPE CLAY, ORGANIC MATTER OR OTHER UNSUITABLE MATTER, AND A MINIMUM COMPACTION RATE OF SUBGRADE PRIOR TO PAVING SHALL BE LESS THAN 95 PERCENT BY STANDARD PROCTOR METHOD AND CERTIFIED BY A LICENSED ENGINEER.
  - 15.) 2' CONTOURS & SURVEY INFORMATION PROVIDED BY: NC SURVEY, P.C., 96 CENTRAL DRIVE, ASHEVILLE NC 28801
  - 16.) PROJECT SITE IS NOT LOCATED WITHIN A 100yr FLOOD PLAIN.
  - 17.) THIS SUBDIVISION IS NOT A DRASTIC VARIATION HILLSIDE DEVELOPMENT
  - 18.) NONE OF THE SLOPES OF THE LOTS PERPENDICULAR TO THE ROAD EXCEED 18%.
  - 19.) THE ROAD CORRIDOR DOES NOT EXCEED 90 FEET IN WIDTH AND DOES NOT EXCEED 60 FEET IN HEIGHT.
  - 20.) NO ROAD CONSTRUCTION WILL OCCUR IN AREAS THAT EXCEED 30% NATURAL SLOPE AND IN NO AREAS THAT ARE HIGH HAZARD OR MODERATE HAZARD ON THE BUNCOMBE COUNTY SLOPE STABILITY INDEX MAP.
  - 21.) NATURAL AVERAGE SLOPE OF THE PROJECT AREA IS 24%

**DEVELOPMENT BLOCK:**

**PROJECT NAME:** BILTMORE LAKE BLOCK "J"

**PROJECT ADDRESS:** GREENWELLS GLORY DRIVE

**OWNER/DEVELOPER:** BILTMORE LAKE, LLC  
ONE TOWN SQUARE BLVD, SUITE 330  
ASHEVILLE, NC 28803  
(828) 209-2000

**CONTACT PERSON:** LEE THOMASON  
ONE TOWN SQUARE BLVD, SUITE 330  
ASHEVILLE, NC 28803  
(828) 209-2000

**ENGINEER:** WILLIAM R. BUE, P.E.  
WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.  
214 N. KING STREET  
HENDERSONVILLE, NC 28792  
(828) 687-7177

**PIN #:** 9616-13-7499

**TOTAL PROPERTY SIZE:** 29.94± AC.

**TOTAL # OF PROPOSED LOTS:** 32 LOTS

**DENSITY:** 1 LOT / 0.936 AC.

**PROPOSED ROAD:** 2,422 LF±  
**CORRIDOR 90' OR LESS:** 2,422 LF (100%)  
**CORRIDOR 91' TO 135':** 0 LF (0%)  
**MAX. CORRIDOR HEIGHT:** 28'

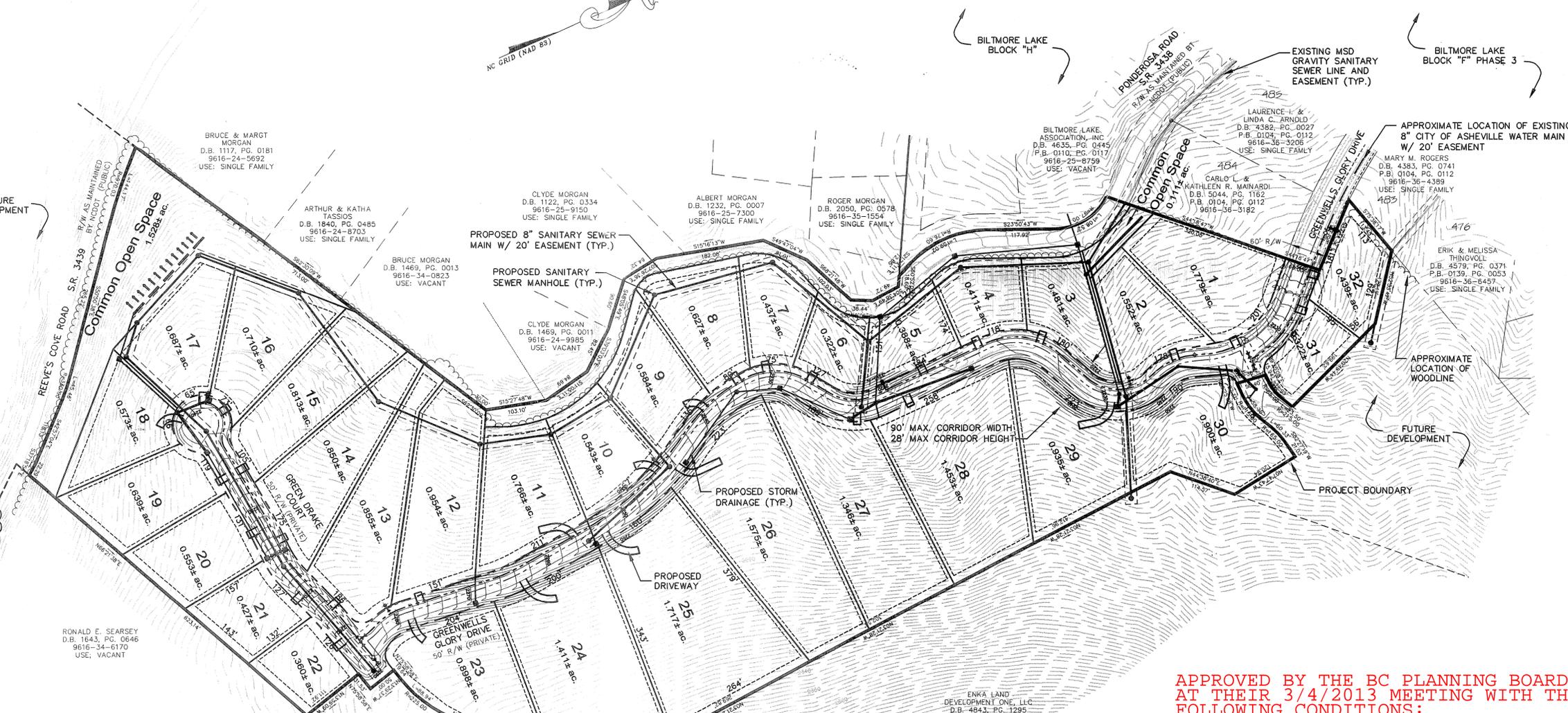
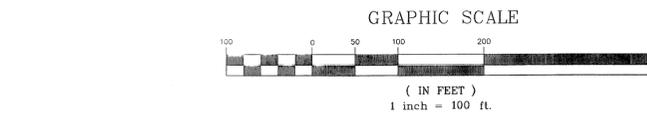
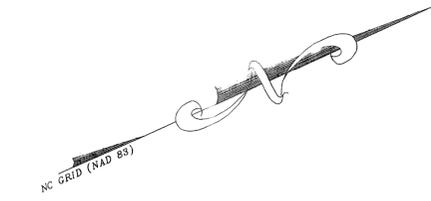
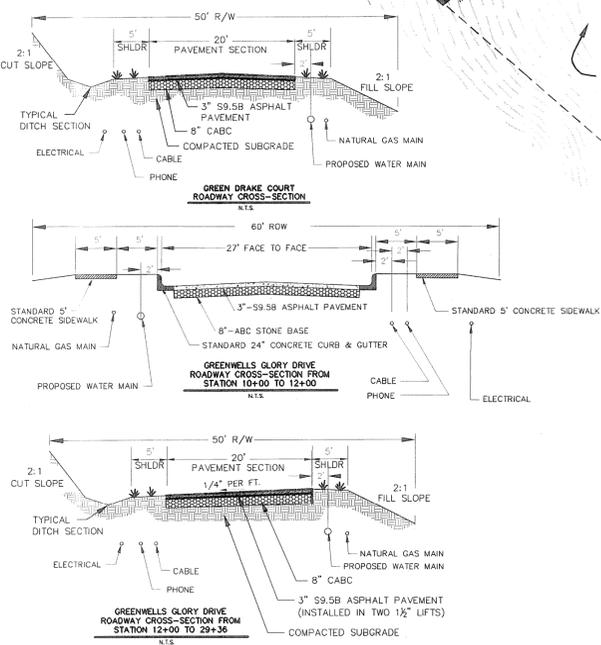
**DEED REF:** D.B. 3925 PG. 0177

**ZONING:** OPEN USE (BUNCOMBE COUNTY)

**TOWNSHIP:** LOWER HOMINY CREEK

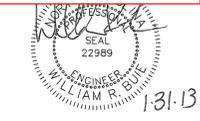
**BUILDING SETBACKS:**

	REQUIRED	PROPOSED
FRONT -	0' (from ROW)	15' (from ROW)
SIDE -	0'	6'
REAR -	0'	15'



APPROVED BY THE BC PLANNING BOARD AT THEIR 3/4/2013 MEETING WITH THE FOLLOWING CONDITIONS:

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**Revisions**

DATE	BY	COMMENTS
1/30/13	BC	COMMENTS

date: 1/22/13  
job: 12174  
drawn: TWT

WILLIAM G. LAPSLEY & ASSOCIATES P.A.  
Consulting Engineers & Land Planners  
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214 N. King Street  
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wgl@a.com



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CONSULTING ENGINEERS & LAND PLANNERS  
HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE  
BLOCK "J"  
BUNCOMBE COUNTY  
NORTH CAROLINA

SUBDIVISION PLAN

sheet  
C-100





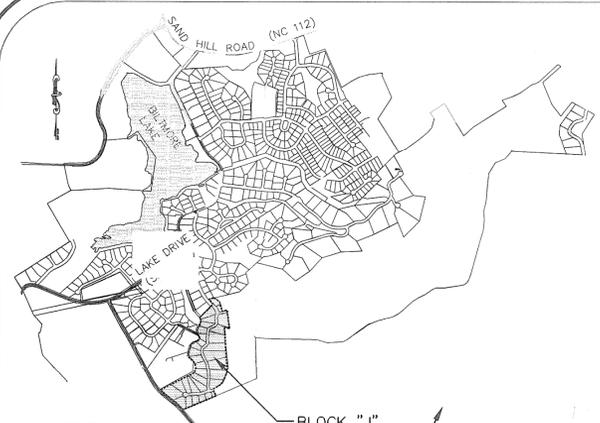


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HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE  
BLOCK "J"  
BUNCOMBE COUNTY  
NORTH CAROLINA

STORM DRAINAGE PLAN

sheet  
C-300



LOCATION MAP  
NOT TO SCALE

- NOTES:
- 1.) MEASURES BEYOND THOSE SHOWN ON THE PLANS SHOULD BE APPROVED BY THE OWNER.
  - 2.) ALL STORM DRAINAGE INLETS (INCLUDING ALL EXISTING INLETS) SHALL HAVE GRAVEL INLET PROTECTION AS SHOWN ON THE DETAIL SHEET.
  - 3.) CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED SEDIMENTATION AND EROSION CONTROL PERMIT AND FOLLOW ALL DIRECTIVES. CONTRACTOR SHALL READ AND UNDERSTAND THE NPDES REQUIREMENTS OF THE PERMIT INCLUDING BUT NOT LIMITED TO:
    - PLACEMENT OF RAIN GAUGE ON THE SITE
    - INSPECTION OF ALL EROSION CONTROL MEASURES FOLLOWING SPECIFIED RAINFALL EVENTS OR WEEKLY
    - UPKEEP OF INSPECTION LOG FOR REVIEW UPON REQUEST BY NCDENR, CITY OF ASHEVILLE, OWNER OR ENGINEER.
  - 4.) ALL SLOPES OR GREATER 4:1 SHALL BE MATED OR HYDRO-SEEDS AS SOON AS PRACTICALLY POSSIBLE. THE OWNER MAY REQUIRE THE CONTRACTOR TO CEASE NEW CONSTRUCTION UNTIL ALL SEEDING, MATING AND EROSION CONTROL MAINTENANCE HAS BEEN COMPLETED.
  - 5.) IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE LIFE OF THE PROJECT.
  - 6.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD STAKING NECESSARY FOR THE CONSTRUCTION OF THE PROJECT. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC COPY OF THE DESIGN FOR STAKING PURPOSES. HOWEVER ALL ELECTRONIC INFORMATION SHOULD BE COORDINATED WITH THE PLANS.
  - 7.) CONTRACTOR SHALL REMOVE ALL EROSION CONTROL MEASURES AT COMPLETION OF PROJECT. AFTER SITE HAS STABILIZED AND RESTORE TO FINAL GRADE.
  - 8.) CONTRACTOR MUST KEEP ALL EXISTING STREETS CLEAR OF SEDIMENT, BROODING OR SWEEPING OF THE STREETS WILL BE THE CONTRACTORS RESPONSIBILITY.
  - 9.) ALL PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED GRADE.
  - 10.) THIS PROJECT IS NOT LOCATED WITHIN A 100 YEAR FLOOD HAZARD AREA.
  - 11.) THE SITE SHOULD BALANCE ON THE GRADING, HOWEVER IF THE CONTRACTOR HAS TO USE A BORROW OR WASTE SITE, THEN THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF ACTIVE GRADING PERMIT FOR THE BORROW OR WASTE SITE TO BE USED.
  - 12.) SEE SHEETS C-XXX & C-XXX FOR DETAILS.

DEVELOPMENT BLOCK:

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PIN #: 9616-13-7499  
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DEED REF: D.B. 3925 PG. 0177  
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TOWNSHIP: LOWER HOMINY CREEK

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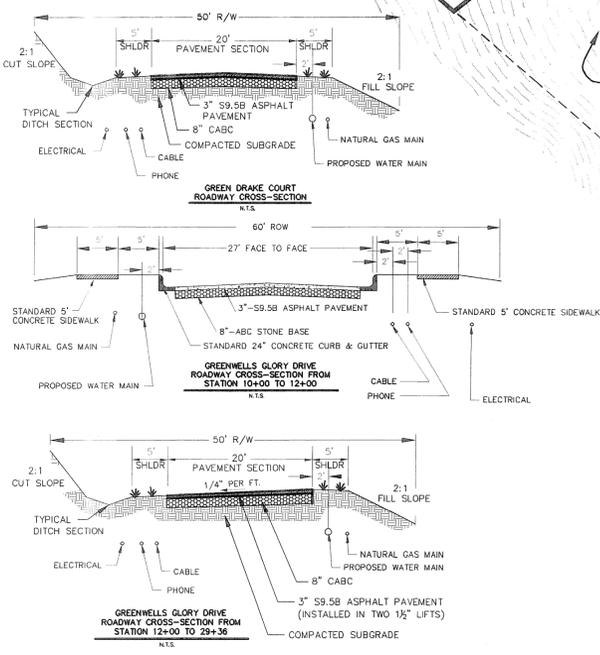
FUTURE DEVELOPMENT

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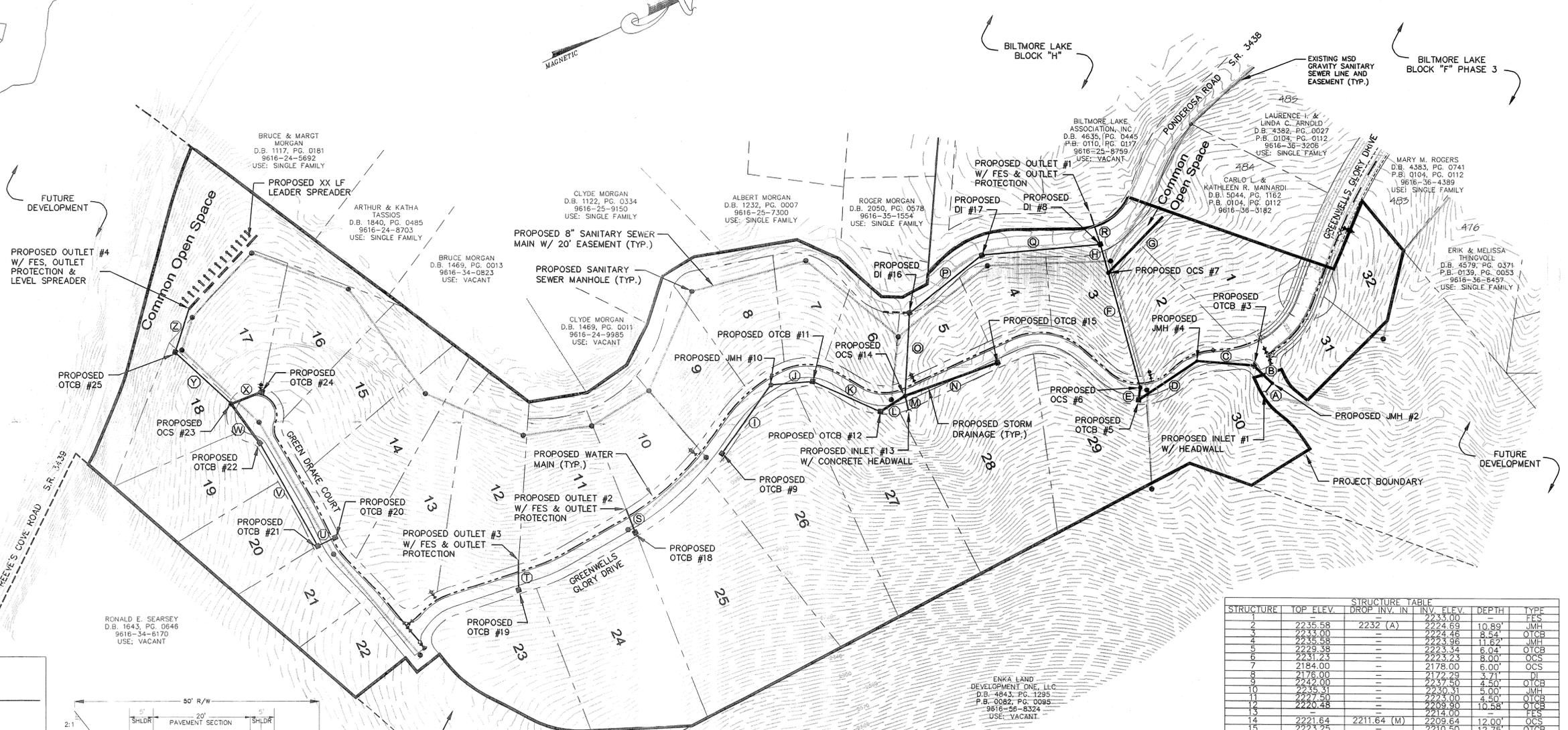
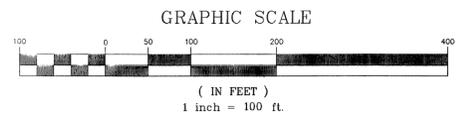
FUTURE DEVELOPMENT

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MAGNETIC



STRUCTURE	TOP ELEV.	DROP	INV. IN	INV. ELEV.	DEPTH	TYPE
2	2235.58	2232 (A)	2224.69	10.89'	JMH	
3	2233.00		2224.46	8.54'	OTCB	
4	2235.58		2223.96	11.62'	JMH	
5	2229.38		2223.34	6.04'	OTCB	
6	2231.23		2223.23	8.00'	OCS	
7	2184.00		2178.00	6.00'	OCS	
8	2172.00		2172.29	3.71'	DI	
9	2242.00		2232.50	4.50'	OTCB	
10	2235.30		2223.00	4.50'	OTCB	
11	2227.50		2223.00	4.50'	OTCB	
12	2220.48		2209.90	10.58'	OTCB	
13	2214.00		2209.64	12.00'	OCS	
14	2221.64	2211.64 (M)	2209.64	12.00'	OCS	
15	2223.25		2210.50	12.75'	OTCB	
16	2187.00		2180.00	5.00'	DI	
17	2187.00		2180.00	5.00'	DI	
18	2252.73		2242.73	5.00'	OTCB	
19	2268.50		2253.33	5.00'	OTCB	
20	2268.50		2253.33	5.00'	OTCB	
21	2258.00		2250.25	7.75'	OTCB	
22	2241.80		2228.43	13.37'	OTCB	
23	2236.00		2228.00	8.00'	OCS	
24	2236.00		2228.29	9.71'	OTCB	
25	2202.00		2199.00	3.00'	OTCB	

SEGMENT	FROM	TO	LENGTH (LF)	SIZE (Ø)	SLOPE (%)	MATERIAL
A	1	2	20	18	5.00	HDPE
B	2	3	45	48	0.51	HDPE (WT)
C	3	4	99	48	0.51	HDPE (WT)
D	4	5	123	48	0.50	HDPE (WT)
E	5	6	22	48	0.50	HDPE (WT)
F	6	7	213	18	21.23	HDPE (WT) (KEYED)
G	7	8	140	48	0.25	HDPE (WT)
H	8	9	150	18	10.77	HDPE
I	9	10	150	18	4.79	HDPE
J	10	11	73	15	10.01	HDPE
K	11	12	130	15	10.08	HDPE
L	12	13	52	48	0.50	HDPE
M	13	14	26	18	9.08	HDPE
N	14	15	172	48	0.50	HDPE (WT)
O	15	16	147	18	13.36	HDPE
P	16	17	165	24	4.85	HDPE
Q	17	8	208	24	4.67	HDPE
R	8	OUTLET #1	57	42	1.62	HDPE (WT)
S	8	OUTLET #2	45	15	0.51	HDPE (WT)
T	19	OUTLET #3	53	15	6.28	HDPE
U	20	21	208	15	1.4	HDPE
V	21	22	208	15	10.49	HDPE
W	22	23	86	48	0.50	HDPE (WT)
X	24	23	58	48	0.50	HDPE (WT)
Y	23	25	134	15	21.64	HDPE (WT) (KEYED)
Z	25	OUTLET #4	80	15	0.50	HDPE

NUMBER	INV. ELEV.	END TREATMENT
2	2172.00	FES & OUTLET PROTECTION
3	2247.00	FES & OUTLET PROTECTION
4	2260.00	FES & OUTLET PROTECTION
4	2196.60	FES & LEVEL SPREADER



WILLIAM R. BUIE  
ENGINEER  
22989  
1-31-13

NO.	DATE	DESCRIPTION

date: 1/22/13  
job: 12174  
drawn: TWT

WILLIAM G. LAPSLEY & ASSOCIATES P.A.  
Consulting Engineers & Land Planners  
NC License No. C-0566  
214 N. King Street  
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wgl@a.com



LOCATION MAP  
NOT TO SCALE

BLOCK "J"

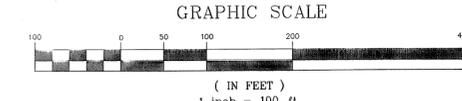
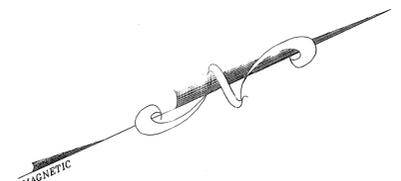
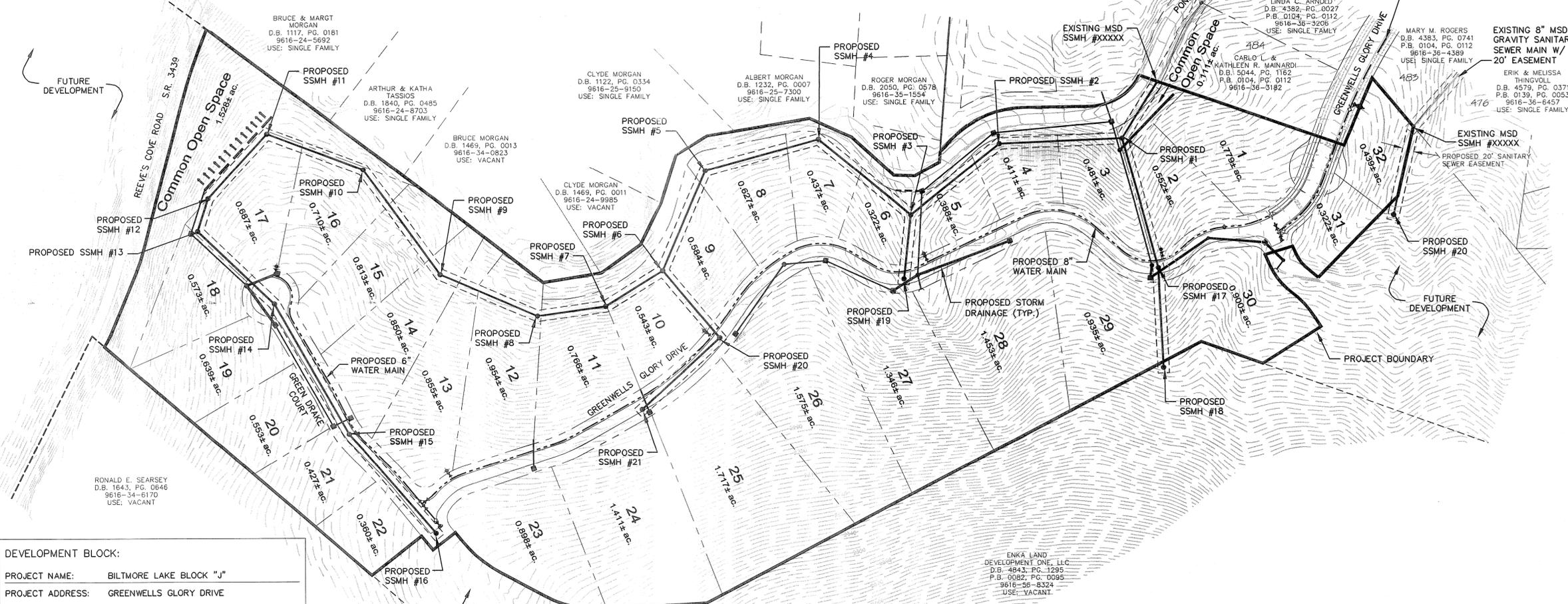
FUTURE DEVELOPMENT

- NOTES:
- 1) THE SPECIFICATIONS AND REQUIREMENTS OF THE METROPOLITAN SEWER DISTRICT SUPERSEDE ALL OTHERS IN THE INSTALLATION OF THE PROPOSED EXTENSION(S).
  - 2) MSD MAINTENANCE OF SEWER SERVICES ENDS AT THE FIRST CLEANOUT MAINTENANCE OF SERVICES BEYOND THIS POINT IS PRIVATE.
  - 3.) INVERT OF EXISTING MANHOLES #XXX & #XXX SHALL BE CORED AND BOOTED, IF NEEDED FOR NEW PIPE CONNECTIONS.
  - 4.) ALL SEWER SERVICES SHALL BE 4" UNLESS OTHERWISE NOTED.
  - 5.) CONTRACTOR SHALL USE DIP/CL-350 PIPING ON ALL SEWER LINES WHERE 3 FEET OF COVER IS NOT PROVIDED.
  - 6.) PIN # 9616-13-7499 IS THE ONLY PROPERTY AFFECTED BY THE PROPOSED SEWER LINE CONSTRUCTION.
  - 7.) ALL SANITARY SEWER WORK IS TO BE PERFORMED BY A LICENSED NORTH CAROLINA UTILITY CONTRACTOR
  - 8.) BENCHMARK FOR THIS PROJECT SHALL BE EXISTING MSD MANHOLE #XXXX TOP WITH ELEV. XXXX'
  - 9.) THIS PROJECT SITE IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE.
  - 10.) ALL SEWER EASEMENTS SHALL BE 20' WIDE UNLESS NOTED ON PLAN OTHERWISE.
  - 11.) ALL PROPOSED SANITARY SEWER LINES TO BE TURNED OVER TO MSD WILL BE GRAVITY LINES.
  - 12.) IF CONTRACTOR TRANSITIONS FROM PVC TO DIP, THEN A SOLID SLEEVE COUPLING WILL BE USED. ONLY ONE TRANSITION WILL BE ALLOWED BETWEEN MANHOLES.
  - 13.) SEE THE GRADING AND EROSION CONTROL PLANS FOR ALL EROSION MEASURES RELATED TO SEWER CONSTRUCTION
  - 14.) HORIZONTAL CONTROL IS NAD 83, VERTICAL CONTROL IS NAVD 88.
  - 15.) NO DOGHOUSE MANHOLES ALLOWED.
  - 16.) THE ENTIRE MSD PERMANENT SEWER EASEMENT MUST BE CLEARED AND REMAIN CLEAR OF TREE PLANTINGS & PERMANENT TYPE STRUCTURES.

**DEVELOPMENT BLOCK:**

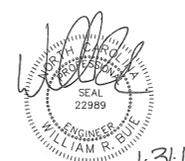
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TOWNSHIP:	LOWER HOMINY CREEK	
BUILDING SETBACKS:	REQUIRED	PROPOSED
FRONT -	0' (from ROW)	15' (from ROW)
SIDE -	0'	6'
REAR -	0'	15'

NOTE:  
\* A MINIMUM OF 10 FT. HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES MUST BE MAINTAINED.  
WHERE THE SEWER LINE INSTALLATION DOES NOT CONFORM TO THIS REQUIREMENT OR HAVE A MINIMUM COVER OF 36" FROM THE GROUND SURFACE OR 24" VERTICAL SEPARATION FROM STORM DRAINAGE LINES - SEWER PIPE MUST BE OF A FERROUS MATERIAL.



**MSD PROJECT #  
2013013**

WILLIAM G. LAPSLEY & ASSOCIATES P.A.  
Consulting Engineers & Land Planners  
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Hendersonville, North Carolina 28792  
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wgl@a.com



Revisions


date: 1/22/13  
job: 12174  
drawn: TWT

sheet  
C-400



WILLIAM G. LAPSLEY & ASSOCIATES P.A.  
CONSULTING ENGINEERS & LAND PLANNERS  
HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE  
BLOCK "J"  
BUNCOMBE COUNTY  
NORTH CAROLINA

SANITARY SEWER SYSTEM LAYOUT



WILLIAM G. LAPSLEY & ASSOCIATES P.A.  
CONSULTING ENGINEERS & LAND PLANNERS  
HENDERSONVILLE, NORTH CAROLINA

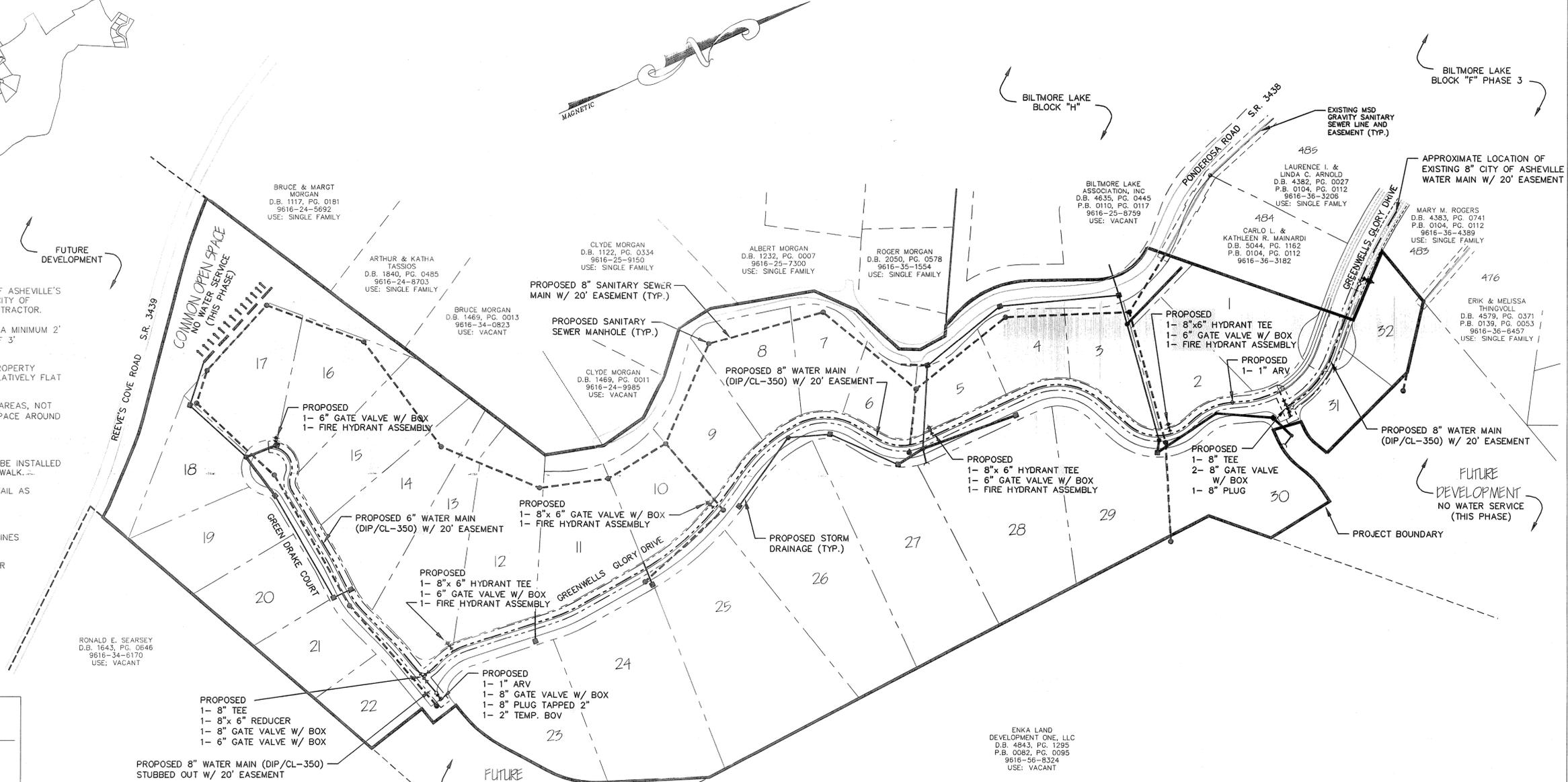
BILTMORE LAKE  
BLOCK "J"  
BUNCOMBE COUNTY  
NORTH CAROLINA

WATER SYSTEM LAYOUT

sheet  
C-500



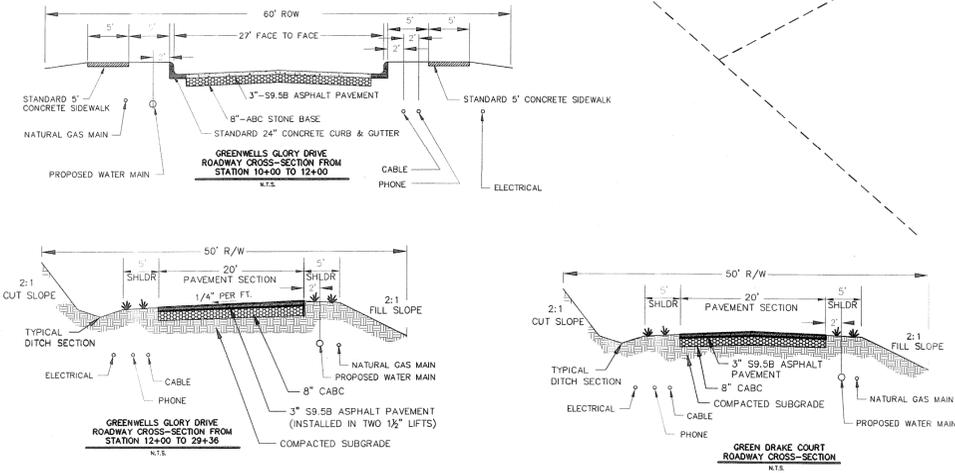
- NOTES:
- CITY OF ASHEVILLE STANDARDS SUPERSEDE ALL OTHERS.
  - INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF ASHEVILLE'S CURRENT DESIGN GUIDELINES UNDER THE INSPECTION OF THE CITY OF ASHEVILLE AND BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.
  - THE WATERLINE SHALL BE PLACED WITHIN THE BENCH WITH A MINIMUM 2' SEPARATION FROM THE EDGE OF PAVEMENT AND A MINIMUM OF 3' SEPARATION FROM THE EDGE OF SLOPES.
  - ALL WATER METERS SHALL BE PLACED IN FRONT OF THE PROPERTY WHICH THEY WILL SERVE AND THEY MUST BE INSTALLED IN RELATIVELY FLAT AREAS NOT IN STEEP BANKS OR SLOPES.
  - ALL FIRE HYDRANTS MUST BE PLACED IN RELATIVELY FLAT AREAS, NOT IN STEEP BANKS OR SLOPES, AND MUST HAVE 3' OF CLEAR SPACE AROUND THE HYDRANT.
  - ALL BRASS FITTINGS MUST BE CERTIFIED LEAD FREE.
  - ALL COPPER SERVICE LINES CROSSING THE SIDEWALK MUST BE INSTALLED WITHIN A PVC SLEEVE EXTENDING TO EITHER SIDE OF THE SIDEWALK...
  - ALL METERS SHALL BE PLACED PER CITY OF ASHEVILLE DETAIL AS SHOWN ON DETAIL SHEET.
  - ALL PROPOSED ROADS ARE TO BE PRIVATE.
  - A MINIMUM OF 3 FEET IS REQUIRED BETWEEN THE WATER LINES AND ANY OTHER UNDERGROUND UTILITY.
  - WATER MAIN SHALL BE INSTALLED WITH 3 FEET COVER OVER WATER MAIN. ALL FIRE HYDRANTS, WATER METERS AND AIR RELEASE VALVES SHALL BE LOCATED OUTSIDE DRIVEWAYS.
  - RESTRAINED JOINTS BY A CITY OF ASHEVILLE APPROVED PIPE MANUFACTURER ARE TO BE USED FOR ALL PUBLIC WATER LINES; THRUST BLOCKS ARE PERMITTED WHERE CONNECTIONS ARE MADE TO EXISTING WATER MAIN OR WHERE THE USE OF MECHANICAL RESTRAINT IS NOT FEASIBLE.



DEVELOPMENT BLOCK:

PROJECT NAME: BILTMORE LAKE BLOCK "J"  
 PROJECT ADDRESS: GREENWELLS GLORY DRIVE  
 OWNER/DEVELOPER: BILTMORE LAKE, LLC  
 CONTACT PERSON: LEE THOMASON  
 ENGINEER: WILLIAM R. BUIE, P.E.  
 PIN #: 9616-13-7499  
 TOTAL PROPERTY SIZE: 29.94± AC.  
 DENSITY: 1 LOT / 0.936 AC.  
 PROPOSED ROAD: 2,422 LF±  
 DEED REF: D.B. 3925 PG. 0177  
 ZONING: OPEN USE (BUNCOMBE COUNTY)  
 TOWNSHIP: LOWER HOMINY CREEK

BUILDING SETBACKS:	REQUIRED	PROPOSED
FRONT	0' (from ROW)	15' (from ROW)
SIDE	0'	6'
REAR	0'	15'



LEGEND

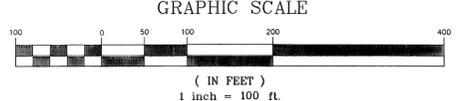
EXISTING WATER MAIN
PROPOSED WATER MAIN
EXISTING FIRE HYDRANT
PROPOSED FIRE HYDRANT
EXISTING SANITARY SEWER MAIN
PROPOSED SANITARY SEWER MAIN
EXISTING SEWER MANHOLE
PROPOSED SEWER MANHOLE
PROPOSED STORM DRAINAGE
PROPOSED STORM DRAINAGE STRUCTURE

NOTE:  
 \* A MINIMUM OF 10 FT. HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES MUST BE MAINTAINED.  
 WHERE THE SEWER LINE INSTALLATION DOES NOT CONFORM TO THIS REQUIREMENT OR HAVE A MINIMUM COVER OF 36" FROM THE GROUND SURFACE OR 24" VERTICAL SEPARATION FROM STORM DRAINAGE LINES - SEWER PIPE MUST BE OF A FERROUS MATERIAL.

CITY OF ASHEVILLE PROJECT NO. WPFY 12-13-024  
 WATER LINE EASEMENT PLAT PB \_\_\_\_\_ PG \_\_\_\_\_  
 WATER LINE EASEMENT DOCUMENT DB \_\_\_\_\_ PG \_\_\_\_\_  
 ESTOPPEL CERTIFICATE REQUIRED YES\_X\_NO \_\_\_\_\_



Professional Engineer Seal for William R. Buié, License No. 22989, dated 1/31/13.

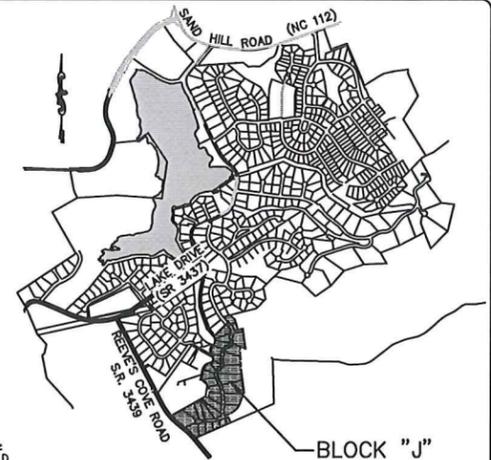


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Revisions


date: 1/22/13  
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NC GRID (NAD 83)



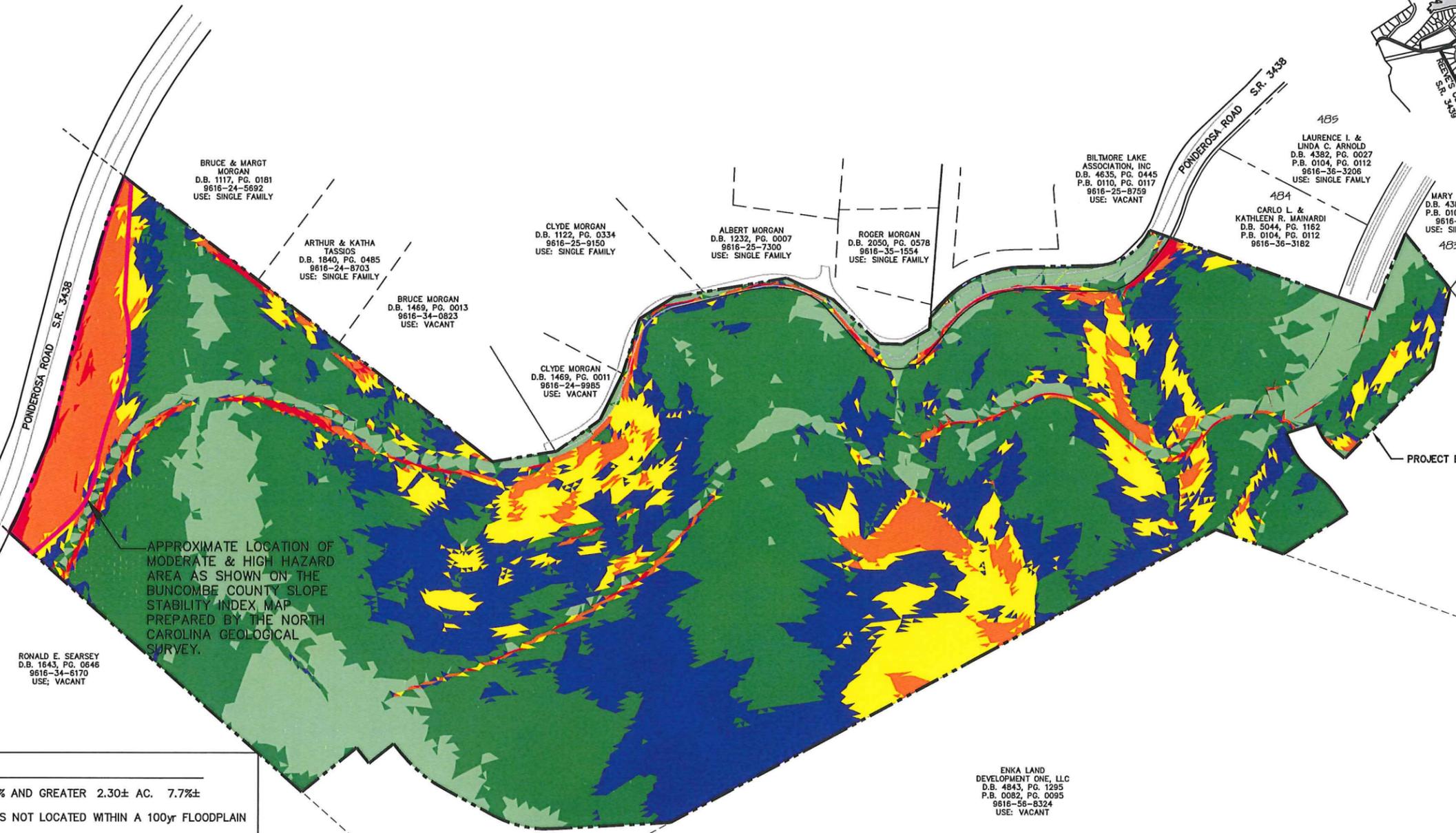
BLOCK "J"  
VICINITY MAP  
N.T.S.

WILLIAM G. LAPSLEY & ASSOCIATES P.A.  
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HENDERSONVILLE, NORTH CAROLINA

BILTMORE LAKE  
BLOCK "J"  
BUNCOMBE COUNTY  
NORTH CAROLINA

SLOPE ANALYSIS MAP

sheet  
C-1.0



BRUCE & MARGT MORGAN  
D.B. 1117, PG. 0181  
9616-24-5692  
USE: SINGLE FAMILY

ARTHUR & KATHA TASSIOS  
D.B. 1840, PG. 0485  
9616-24-8703  
USE: SINGLE FAMILY

BRUCE MORGAN  
D.B. 1469, PG. 0013  
9616-34-0823  
USE: VACANT

CLYDE MORGAN  
D.B. 1122, PG. 0334  
9616-25-9150  
USE: SINGLE FAMILY

ALBERT MORGAN  
D.B. 1232, PG. 0007  
9616-25-7300  
USE: SINGLE FAMILY

ROGER MORGAN  
D.B. 2050, PG. 0578  
9616-35-1554  
USE: SINGLE FAMILY

BILTMORE LAKE ASSOCIATION, INC  
D.B. 4635, PG. 0445  
P.B. 0110, PG. 0117  
9616-25-8759  
USE: VACANT

LAURENCE I. & LINDA C. ARNOLD  
D.B. 4382, PG. 0027  
P.B. 0104, PG. 0112  
9616-36-3206  
USE: SINGLE FAMILY

CARLO L. & KATHLEEN R. MAINARDI  
D.B. 5044, PG. 1162  
P.B. 0104, PG. 0112  
9616-36-3182

MARY M. ROGERS  
D.B. 4383, PG. 0741  
P.B. 0104, PG. 0112  
9616-36-4389  
USE: SINGLE FAMILY

ERIK & MELISSA THINGVOLL  
D.B. 4579, PG. 0371  
P.B. 0139, PG. 0053  
9616-36-8457  
USE: SINGLE FAMILY

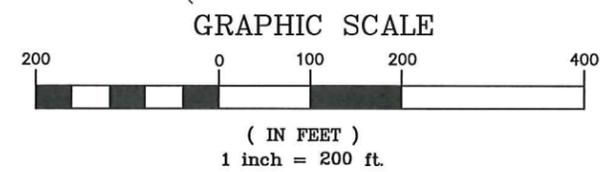
RONALD E. SEARSEY  
D.B. 1643, PG. 0646  
9616-34-6170  
USE: VACANT

ENKA LAND DEVELOPMENT ONE, LLC  
D.B. 4843, PG. 1295  
P.B. 0082, PG. 0095  
9616-56-8324  
USE: VACANT

APPROXIMATE LOCATION OF MODERATE & HIGH HAZARD AREA AS SHOWN ON THE BUNCOMBE COUNTY SLOPE STABILITY INDEX MAP PREPARED BY THE NORTH CAROLINA GEOLOGICAL SURVEY.

- NOTE:
- 1.) TOTAL SLOPE 35% AND GREATER 2.30± AC. 7.7%±
  - 2.) THIS PROPERTY IS NOT LOCATED WITHIN A 100yr FLOODPLAIN
  - 3.) NO WETLANDS OR STEAMS EXIST WITHIN THIS PROJECT.
  - 4.) TOTAL SITE NATURAL AVERAGE SLOPE IS 24%

LEGEND			
	0% TO LESS THAN 15% SLOPE	4.20± AC.	14.0%±
	15% TO LESS THAN 25% SLOPE	12.38± AC.	44.3%±
	25% TO LESS THAN 30% SLOPE	7.25± AC.	24.2%±
	30% TO LESS THAN 35% SLOPE	2.91± AC.	9.7%±
	35% TO LESS THAN 50% SLOPE	1.92± AC.	6.4%±
	50% AND GREATER SLOPE	0.38± AC.	1.3%±
	APPROX. BOUNDARY OF THE MODERATE HAZARD AREA		
	PROPERTY LINE		



Know what's below.  
Call before you dig.

**Preliminary**  
**Not for Construction**

NORTH CAROLINA PROFESSIONAL SEAL  
ENGINEER  
WILLIAM R. BUJE

WILLIAM G LAPSLEY & ASSOCIATES P.A.  
Consulting Engineers & Land Planners  
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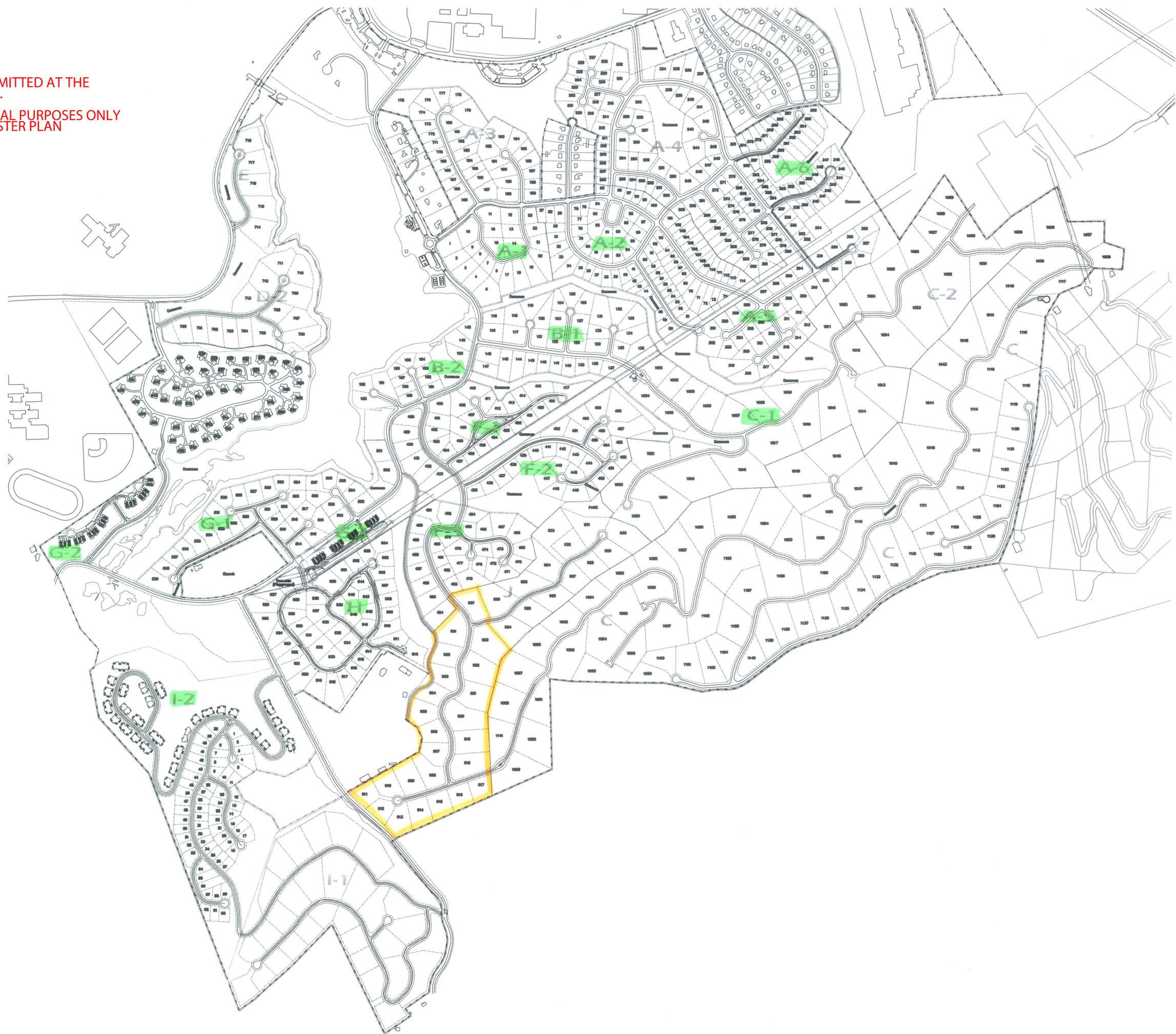
Revisions

date:1/22/13  
job: 12174  
drawn: TWT

ATTACHMENT C

SUB2013-00033  
MASTER PLAN SUBMITTED AT THE  
3/4/2013 MEETING.

FOR INFORMATIONAL PURPOSES ONLY  
NOT GRANTED MASTER PLAN  
APPROVAL



March 4, 2013  
Buncombe County Planning Board  
Land Use Plan Discussion

## Height

**Issue:** Recently several cases have highlighted issues regarding limitations in height within commercially-oriented zoning districts. The current Zoning Ordinance limits heights to 90' or less in each of the current commercial districts. Since the adoption of County-Wide zoning, several applications have been received for variances within commercial districts both for commercial buildings and for structures associated with the urban environment (such as cell phone towers). At the present time, the only process for adjusting height limitations within these commercial districts is for the applicant to make application for a variance. The variance process is not ideal for these situations as it does not allow the board the flexibility to impose conditions related specifically to increases in height and because it's not the most legally sound manner for handling such requests.

**Recommendation:** Given that there is a demand for structures which exceed the current height limitations in commercial districts, commercial districts should allow a specific height by right, while requests for additional height would be regulated as a Planned Unit Development/Conditional Use Permit. This shift should apply only to commercially-focused zoning designations. In addition, heights which require a Planned Unit Development/Conditional Use Permit should be subject to specific conditions which protect residential properties, viewsheds, transportation corridors, and regulated airspace. Use of the Planned Unit Development/Conditional Use Permit will allow the Board of Adjustment to specifically address the merits of each site without requiring the applicant to prove a hardship, which is difficult to do in relation to height standards.

### Key Points:

- Variances are being used to deal with requests for height and in this context it is very difficult to prove the required hardship.
- Allowing height to be considered under the conditional use process allows more flexibility in design while also allowing for contextual decision-making that protects the community.

### **Manufactured Housing**

**Issue:** Manufactured housing is currently allowed within four zoning districts within Buncombe County. In the districts where manufactured homes are allowed, only two are specifically residential districts (Open Use and Employment allow for both commercial and residential uses). The Open Use district is typically located outside of major transportation corridors and does not provide access to public utilities. The Residential Low Density district allows manufactured homes, but requires a minimum lot size of one acre. The R-3 Residential District allows manufactured homes and manufactured home parks. The possibility of allowing manufactured home parks to be established generates substantial public opposition when requests to have property rezoned to R-3 are heard. The current zoning scenario within Buncombe County does not allow for flexibility in the placement of manufactured homes and places limitations on where manufactured homes can be placed (although manufactured homes are allowed in over 90% of the County's zoning jurisdiction).

**Recommendation:** In unison with other refinements to the zoning districts, the Zoning Ordinance should be modified to create a clear separation between manufactured homes and manufactured home parks within residential districts which are not constrained by environmental factors. Separating manufactured homes and manufactured home parks would reduce opposition in rezoning requests and would allow such requests to better align with the character of existing neighborhoods. In addition to these efforts, options to allow manufactured homes to be placed in a more flexible manner way (while still respecting the character of the surrounding neighborhood) should be investigated.

### **Key Points:**

- Manufactured homes are allowed within a limited number of districts.
- The association between manufactured homes and manufactured home parks creates issues during public hearings.

# ATTACHMENT F

	Reasonable proximity to major transportation corridors	Reasonable proximity to infrastructure (combined water/sewer service area)	Outside of steep slope areas (25% +)	Outside of high elevations (2500' +)	Outside of moderate and high slope stability hazards	Outside of flood hazard areas	Separation from low-density residential uses
<b>Residential</b>							
Low-Density Residential	◇	◇	◇	◇	◇	●	N/A
Single-Family/Duplex	○	○	○	○	●	●	N/A
Multi-Family	●	●	○	○	●	●	○
<b>Planned Community or Development</b>							
Mixed Use Development	●	●	●	●	●	○	○
Infill/ Higher Density	○	●	●	●	●	●	◇
Large Lot/Lower Density	○	○	○	○	●	●	N/A
Commercial/Industrial	●	●	●	●	●	●	●
<b>Recreational</b>							
Resort	○	○	○	○	○	●	◇
Conference Centers	○	○	○	○	○	●	◇
Outdoor Recreation	◇	◇	◇	◇	◇	○	●
<b>Other</b>							
Institutional	●	●	●	●	●	○	○
Public Service	●	●	●	●	●	○	○
<b>Commercial</b>							
Neighborhood-Scale Commercial	○	○	●	●	●	○	○
Moderate Commercial	●	●	●	●	●	○	●
Intense Commercial	●	●	●	●	●	○	●
<b>Industrial</b>							
Manufacturing	●	●	●	●	●	○	○
Mining/Extracting/Refining	●	●	●	●	●	○	●
Other Intense Uses	○	○	●	●	●	○	●

- ◇ Not Required
- Suggested
- Highly Suggested

# Suitability Map Concept

Presented to Buncombe County  
Planning Board on February 18, 2013

