

Buncombe County Planning Board  
September 16, 2013

The Buncombe County Planning Board met September 16, 2013 in the meeting room at 30 Valley Street. Members present were Joe Sechler, Bud Sales, Josh Holmes, Michelle Wood, and Catherine Martin. Also present were Michael Frue, Staff Attorney; Jon Creighton, Assistant County Manager/Planning Director; and Gillian Phillips and Debbie Truempy, Planning staff.

**Election of Temporary Chair**

Mr. Holmes nominated Ms. Wood. Mr. Sales seconded the nomination, and the Board approved it unanimously.

**Call to Order**

Chairwoman Wood called the meeting to order.

**Approval of Agenda**

Mr. Holmes made a motion to approve the agenda as submitted. Ms. Martin seconded and the motion passed unanimously.

**Approval of Minutes (September 9, 2013)**

Mr. Holmes made a motion to approve the minutes as submitted. Mr. Sechler seconded the motion and the motion passed unanimously.

***SUB2013-00226: "W. David Myers Properties, Inc.," located on Rocky Creek Trail and Hope View Road (PINs 9699-47-9878, 9699-47-9485, 9699-47-9320, and 9699-57-0494), applied for a variance from Sec. 70-67(3)(d) regarding shared private driveway standards of the Land Development and Subdivision Ordinance of Buncombe County.***

**Report of Planning Department**

The Board was provided with the application for the variance (Exhibit A), the development plan (Exhibit B), and the Findings of Fact worksheet (Exhibit C). Ms. Truempy reviewed the case for the Board and indicated that the existing shared private drive in question had a grade of 24% slope, but that the Fire Marshal had looked at the driveway in question and approved it.

**Presentation of Application by Petitioner**

John Stollery (High Country Surveyors) and David Meyers (David Meyers Properties) were present to represent the case. Mr. Stollery indicated it was an existing shared private driveway serving two houses that was constructed of concrete, and that a switchback at the very beginning of the driveway, accounted for the grade of 24%. Mr. Meyers indicated that the driveway had been there for a while. The Board discussed the variance with Mr. Stollery and Mr. Meyers.

### Public Comment

Chairwoman Wood asked if anyone would like to make public comment. There being no one wishing to make public comment, she closed the public hearing.

### Action on Petition

There being no discussion, Mr. Holmes made a motion to approve findings of fact 1-4A of Exhibit C. Mr. Sales seconded the motion and the motion passed unanimously. Mr. Holmes then made a motion to approve the variance as submitted. Mr. Sechler seconded the motion and the motion passed unanimously.

***SUB2013-00268: "The Ramble – Block D," located off of Ramble Way (PIN 9645-46-2140), sought preliminary approval.***

The Board was provided with the submitted preliminary plan (Attachment A) and the proposed staff conditions (Attachment B).

Ms. Truempy indicated that this property had previously been in Asheville's ETJ, but was now in the County's jurisdiction. Ms. Truempy described the proposed development for the Board.

Will Buie (Lapsley and Associates) and Toby Willis (Biltmore Farms) were present to represent the case. Mr. Buie described the proposed project for the Board. The Board discussed the development with the applicant. There being no public comment, Mr. Holmes made a motion to approve the plan with the staff conditions (Attachment C). Mr. Sechler seconded the motion, and the motion passed unanimously.

### Adjournment

There being no public comment, Mr. Sales made a motion to adjourn. Mr. Holmes seconded the motion and the motion passed unanimously. The meeting was adjourned at 9:50 am.



Buncombe County Government  
Application for a variance from the Land Development and  
Subdivision Ordinance of Buncombe County

Planning and Development  
www.buncombecounty.org

46 Valley Street  
Asheville, NC 28801  
Telephone (828) 250-4830  
Fax (828) 250-6086

Please complete all sections of the application.

A. CONTACT INFORMATION

Date: 8/14/13

PROPERTY INFORMATION

Subdivision Name: Minor Subdivision For: W. David Myers Properties, Inc.

Phase # and/or Name of Phase (if part of a Master Plan for Phased Development):

Address/Street Location of Property: Rocky Creek Trail, Swannanoa, NC

PIN Number(s) of Property to be Subdivided:

9679-47-9878, 47-9488, 47-9320, 57-0494

CONTACT INFORMATION

Owner Name: W. David Myers

Address: 320 Woodland Drive, Swannanoa, NC 28778

Phone: (828) 273-8679

Surveyor/Engineer/Landscape Architect Name and Company Name:

John M. Stollery, PLS 2996 High Country Surveyors

Address: 117D Cherry Street Black Mountain, NC 28711

Phone: (828) 664-0091

Email: John@highcountry.surveyors.net

Primary Contact for Submission: John M. Stollery

Address: see Above

Phone: ↓

Email: ↓

Buncombe County  
Planning and Development

Received

AUG 15 2013

46 Valley Street  
Asheville, NC 28801  
828-250-4830

SUB 2013 - 00226

**B. APPLICATION FOR VARIANCE**

Application is hereby made to the Buncombe County Planning Board for a VARIANCE from the literal provisions of the Buncombe County Land Development and Subdivision Ordinance, because, under the interpretation given to me by the Subdivision Administrator, I am prohibited from using the parcel of land indicated above in a manner shown by the submitted preliminary subdivision plans (please attach one copy of the submitted preliminary plans to this application). The **preliminary plans** I have submitted include the following:

- a note regarding the type of variance I am seeking
- location of the variance I am seeking shown on the submitted plans (if applicable)

**I request a variance from the following provisions of the ordinance:**

Section number: 70-67

Section title: Road & Design Standards

Subsection letters and/or number: 3d

Subsection title(s): Public & Private use  
Private Driveways

**C. FACTORS RELEVANT TO THE ISSUANCE OF A VARIANCE:**

The Planning Board does not have unlimited discretion in deciding whether to grant a variance. In the spaces provided below, indicate the *factors you intend to show* and the *arguments that you intend to make* to convince the Board that it can properly grant the variance as provided for in §70-10. Variances of the Land Development and Subdivision Ordinance of Buncombe County (if necessary please provide the information on a separate sheet of paper).

- (a) Indicate how a strict or literal interpretation and enforcement of the specified standard or requirement would result in practical difficulty, unnecessary hardship or adverse environmental impact:

These driveways have been in use for several years with no problems. To alter them would definitely cause an unnecessary financial hardship as well as a negative environmental impact with tree removal etc.

- (b) Indicate how granting the variance will not be detrimental to the public health, safety, or welfare; and

These driveways have been in constant, safe use for more than \_\_\_\_\_ years.

- (c) Indicate how granting the variance would support the general objectives contained within the Land Development and Subdivision Ordinance of Buncombe County.

allowing this minor subdivision and lot line reconfiguration, will enable owner to clear up encroachment issues and make these tracts marketable -

**D. CERTIFICATION AND SIGNATURE**

I certify that all of the information presented by me on this application is accurate to the best of my knowledge, information and belief.

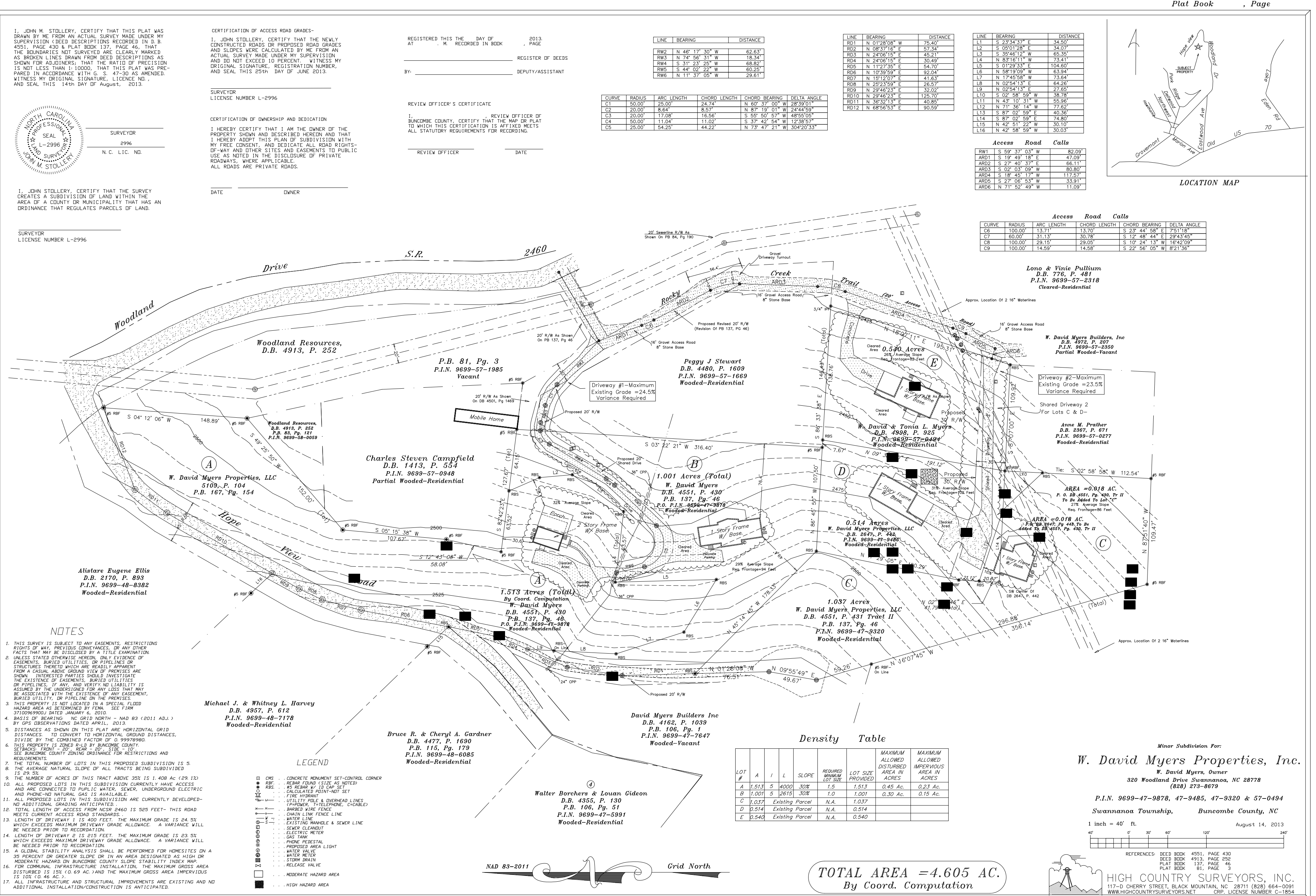
W. David Myers  
Signature of Petitioner

8      15      2013  
Month      Day      Year

<b>OFFICE USE ONLY:</b>
Date recieved: _____
Case number: _____
Scheduled Planning Board meeting: _____

EXHIBIT B

SUB2013-00226
SUBMITTED 8/15/2013
GRANTED A VARINACE FROM §70-67 (3)(d) to allow a shared private driveway with a slope greater than 20% AT THE
9/16/2013 PLANNING BOARD MEETING
GRANTED PRELIMINARY APPROVAL WITH CONDITION ON 9/23/2013



CERTIFICATION OF ACCESS ROAD GRADES
I, JOHN M. STOLLERY, CERTIFY THAT THE NEWLY CONSTRUCTED ROADS OR PROPOSED ROAD GRADES AND SLOPES WERE CALCULATED BY ME FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION...

CERTIFICATION OF OWNERSHIP AND DESIGNATION
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND IDENTIFIED HEREON AND THAT I FREELY CONSENT TO THE SUBDIVISION WITH ALL NECESSARY AND LAWFUL REQUIREMENTS...

CERTIFICATION OF SURVEY
I, JOHN M. STOLLERY, CERTIFY THAT THE SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND...

REGISTERED THIS THE DAY OF 2013
AT \_\_\_\_\_ REGISTER OF DEEDS
BY \_\_\_\_\_ DEPUTY ASSISTANT

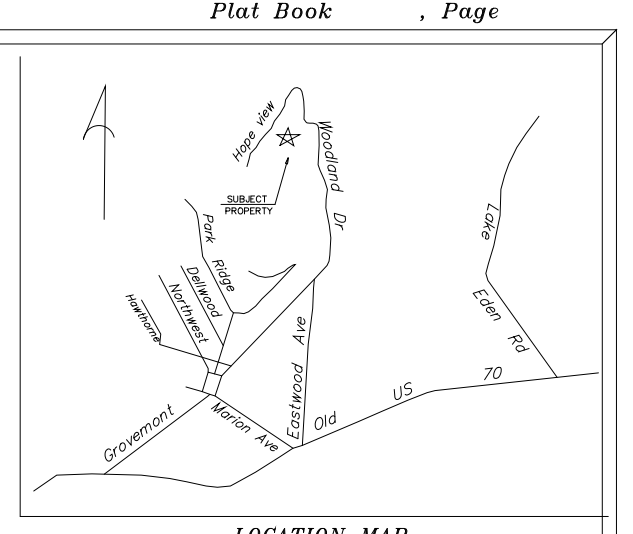
REVIEW OFFICER'S CERTIFICATE
I, \_\_\_\_\_ REVIEW OFFICER OF \_\_\_\_\_ COUNTY, CERTIFY THAT THE MAP OR PLAN TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

Table with columns: LINE, BEARING, DISTANCE. Lists survey points and bearings.

Table with columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, SLOPE ANGLE. Lists curve data.

Table with columns: LINE, BEARING, DISTANCE. Lists survey points and bearings.

Table with columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, SLOPE ANGLE. Lists curve data.



NOTES
1. THIS SURVEY IS SUBJECT TO ANY EASEMENTS, RESTRICTIONS, RIGHTS OF WAY, OR INTERESTS OF ANY KIND...

LEGEND
Symbol descriptions for various features: concrete monument, iron pipe, iron nail, iron rod, iron spike, iron pipe, iron nail, iron rod, iron spike, iron pipe, iron nail, iron rod, iron spike...

Density Table with columns: LOT, AREA, SLOPE, REQUIRED LOT SIZE, MAXIMUM ALLOWED DENSITY, MINIMUM ALLOWED DENSITY.

W. David Myers Properties, Inc.
320 Woodland Drive Swanton, NC 28778
P.O. Box 491, Swanton, NC 28778

TOTAL AREA = 4.605 AC.
By Coord. Computation

HIGH COUNTRY SURVEYORS, INC.
177 CHERRY STREET, BLACK MOUNTAIN, NC 28701 (888) 664-0099
WWW.HIGHCOUNTRYSURVEYORS.NET







# EXHIBIT C

## HEARING ON REQUEST FOR A VARIANCE BEFORE THE BUNCOMBE COUNTY PLANNING BOARD

Owner/Subdivision Applicant: David Meyers  
Design Professional: John M. Stollery  
Subdivision Name: David Meyers Minor (SUB2013-00226)  
Address: Rocky Creek Trail and Hope View Road  
Hearing Date: September 16, 2013

### MOTION TO ADOPT FINDINGS OF FACT

Mr. Chair, based upon the evidence presented to this Board, including the following exhibits: the petitioner's application, the submitted development plan, the findings of fact worksheet \_\_\_\_\_, and \_\_\_\_\_;

#### I move that this Board adopt the following FINDINGS OF FACT:

1. The property located on Rocky Creek Trail and Hope View Road and having the following PIN's: PINs 9699-47-9878, 9699-47-9485, 9699-47-9320, and 9699-57-0494 is requesting a variance from the Buncombe County Land Development and Subdivision Ordinance.
2. Application is a request for a variance from **§70-67 (3)(d)** to allow a shared private driveway with a slope greater than 20%.
3. That §70-10 of the Buncombe County Land Development and Subdivision Ordinance was used to evaluate this request.
4. This application does meet the requirements for granting a variance by demonstrating an unnecessary hardship on the owner for the following reasons:

#### **4A. This application does meet the requirements for granting a variance by demonstrating an unnecessary hardship on the owner for the following reasons:**

- a. That a strict or literal interpretation and enforcement of the specified standard or requirement would result in practical difficulty, unnecessary hardship or adverse environmental impact.

*The driveway in question has been in use for several years with no problems. To alter it at this point would cause an*

*unnecessary financial hardship as well as negative environmental impact with tree removal, etc.*

- b. That the granting of the variance will not be detrimental to the public health, safety or welfare.

*These driveways have been in constant and safe use for many years.*

- c. That the granting of the variance would support general objectives contained within this chapter.

*Allowing this minor subdivision and lot line reconfiguring will enable the owner to clean up encroachment issues and make these tracts marketable.*

**4B. This application does not meet the requirements for granting a variance by demonstrating an unnecessary hardship on the owner for the following reasons:**

- a. *That a strict or literal interpretation and enforcement of the specified standard or requirement would not result in practical difficulty, unnecessary hardship or adverse environmental impact as the applicant should be required to re-grade the property.*
- b. *That the granting of the variance would not support the general objectives contained within this chapter.*

Motion of acceptance of findings of fact by: \_\_\_\_\_

Seconded by: \_\_\_\_\_

Vote for: \_\_\_\_\_

Vote against: \_\_\_\_\_

**MOTION TO APPROVE/DENY THE VARIANCE**

Based upon the foregoing FINDINGS OF FACT and for the reasons set forth therein, I move that the requested variance be **approved/denied**.

Motion by: \_\_\_\_\_

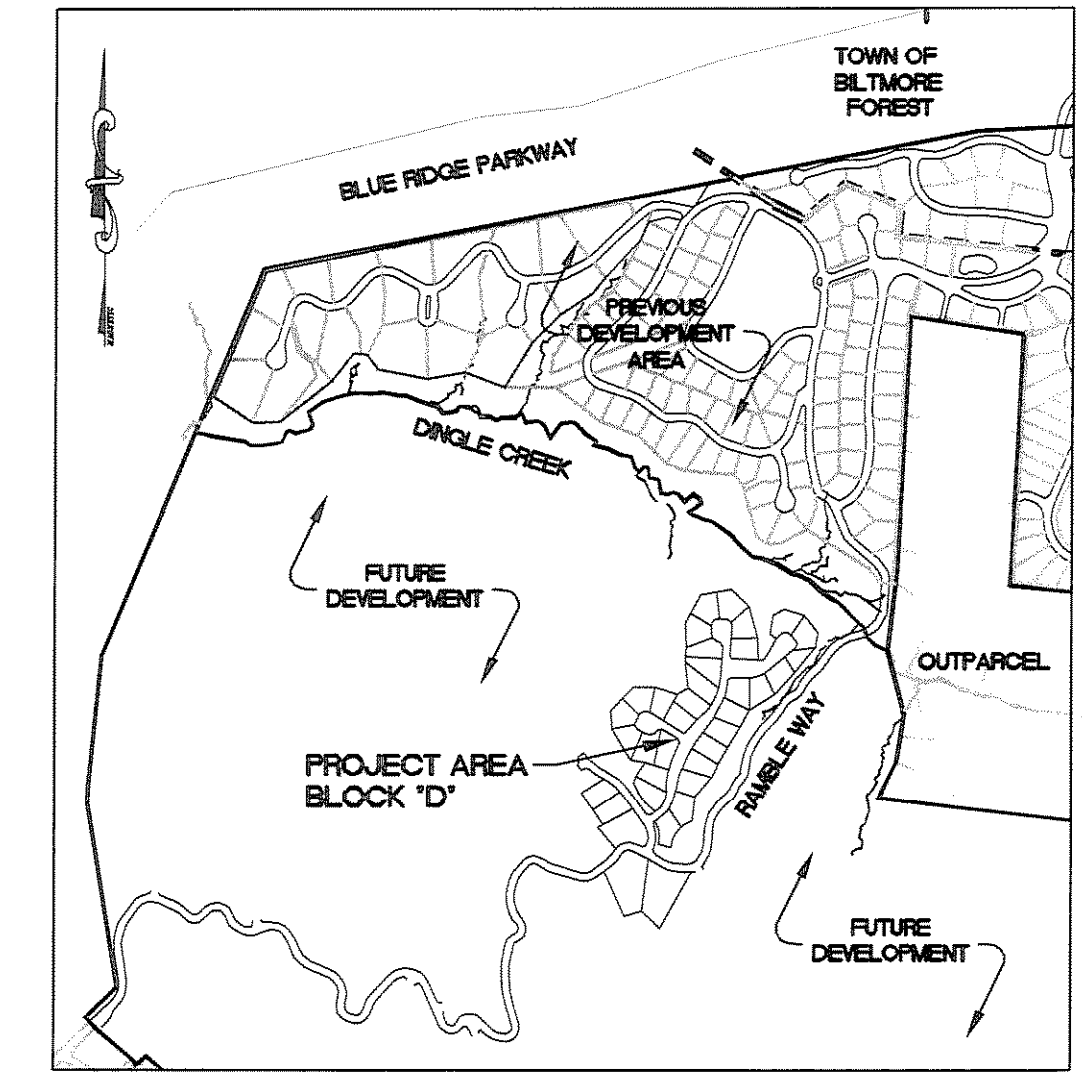
Second by: \_\_\_\_\_

Vote for: \_\_\_\_\_

Vote against: \_\_\_\_\_

SUB2013-00268  
SUBMITTED 8/16/2013

ATTACHMENT A



VICINITY MAP

N.T.S.

# The Ramble Biltmore Forest BLOCK "D"

granted preliminary approval at the 9/16/2013 planning board meeting:

1. Indicate provision of the following on the submitted plans
  - a. Provisions for electrical and telephone services
  - b. Provisions for cable television service
  - c. Provision of natural gas lines if applicable
 Or indicate that no provision for the items listed above has been made.

2. Provide proof of approval of road names and addresses from E-911 Addressing.

3. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.

4. Provide proof of approval of system design for City of Asheville Water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.

5. Provide proof of approval of system design from the Metropolitan Sewerage District. Proof of acceptance of the sewer lines into the Metropolitan Sewerage District sewage system will be required prior to recordation of a final plat or release of a financial guarantee.

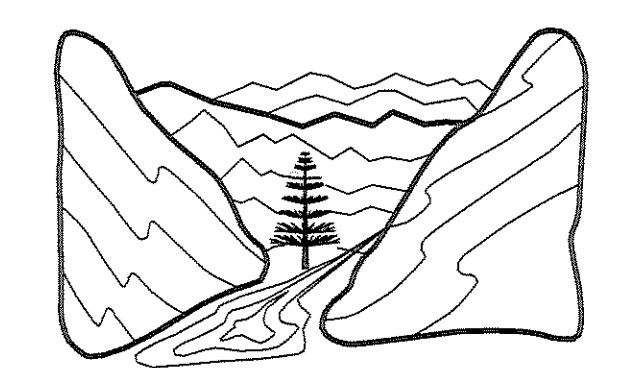
6. Revise average natural slope calculation. Average nature slope would have to be calculated for the entire tract, including the future development. A survey for the entire tract (including the future development) would also need to be included.

7. Indicate on the submitted plans that Ramble Way meets the minimum requirements of the Buncombe County Land Development and Subdivision Ordinance.

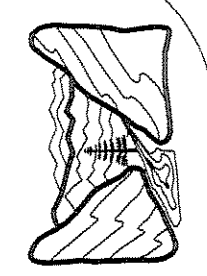
## BUNCOMBE COUNTY NORTH CAROLINA

### INDEX

SHEET NO.	DESCRIPTION
C-100	SUBDIVISION PLAN
C-101	FUTURE DEVELOPMENT PLAN
C-200	GRADING AND EROSION CONTROL PLAN
C-201	GRADING AND EROSION CONTROL PLAN
C-202	EMERALD NECKLACE DRIVE PLAN & PROFILE
C-203	STANSBURY DRIVE PLAN & PROFILE
C-204	BURNHAM WAY & PRESQUE ISLE WAY PLAN & PROFILE
C-205	GRADING AND EROSION CONTROL DETAILS
C-206	GRADING AND EROSION CONTROL DETAILS
C-300	STORM DRAINAGE PLAN
C-301	STORM DRAINAGE DETAILS
C-302	STORM DRAINAGE DETAILS
C-303	STORM DRAINAGE DETAILS
C-400	SANITARY SEWER SYSTEM LAYOUT
C-401	SANITARY SEWER MAIN "A" STATION 10+00 TO 24+00 PLAN & PROFILE
C-402	SANITARY SEWER MAIN "A" STATION 24+00 TO 26+36.14 & SANITARY SEWER MAIN "B" STATION 10+00 TO 20+50 PLAN & PROFILE
C-403	SANITARY SEWER MAIN "B" STATION 20+50 TO 35+50 PLAN & PROFILE
C-404	SANITARY SEWER MAIN "B" STATION 35+50 TO 40+79.73 & SANITARY SEWER MAIN "C" PLAN & PROFILE
C-405	SANITARY SEWER DETAILS
C-500	WATER SYSTEM LAYOUT
C-501	WATER MAIN "A" PLAN & PROFILE
C-502	WATER MAIN "B" PLAN & PROFILE
C-503	WATER MAIN "C" & "D" PLAN & PROFILE
C-504	WATER SYSTEM DETAILS
C-505	WATER SYSTEM DETAILS



**WILLIAM G LAPSLEY & ASSOCIATES P.A.**  
 CONSULTING ENGINEERS & LAND PLANNERS  
 NC License No.: C-0556  
 214 N. King Street  
 Hendersonville, NC 28792  
 Phone: (828) 687-7177  
 wgl.com

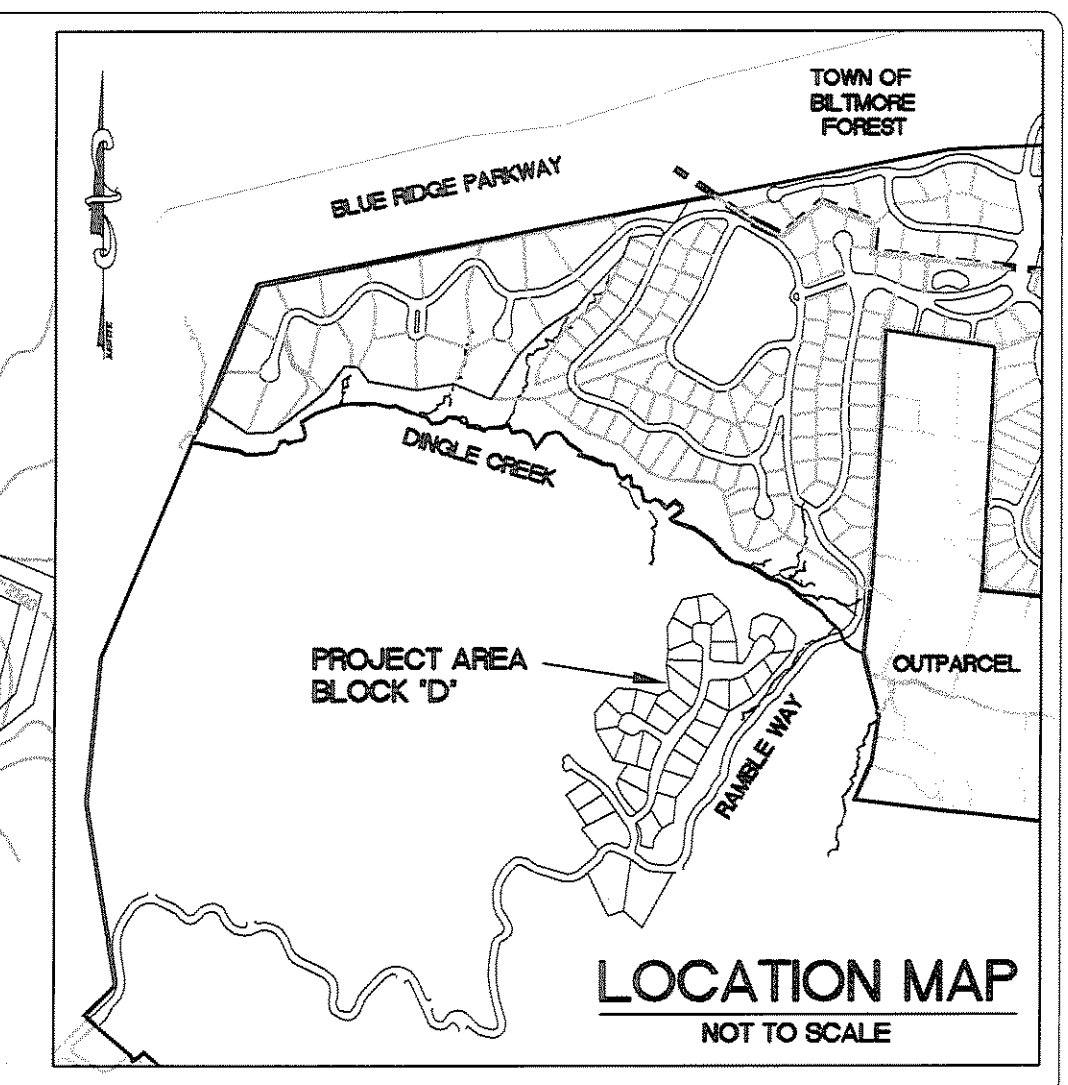


**WILLIAM G. LAPSLEY & ASSOCIATES P.A.**  
 CONSULTING ENGINEERS & LAND PLANNERS  
 HENDERSONVILLE, NORTH CAROLINA

**THE RAMBLE BILTMORE FOREST  
 BLOCK "D"**  
 BUNCOMBE COUNTY  
 NORTH CAROLINA

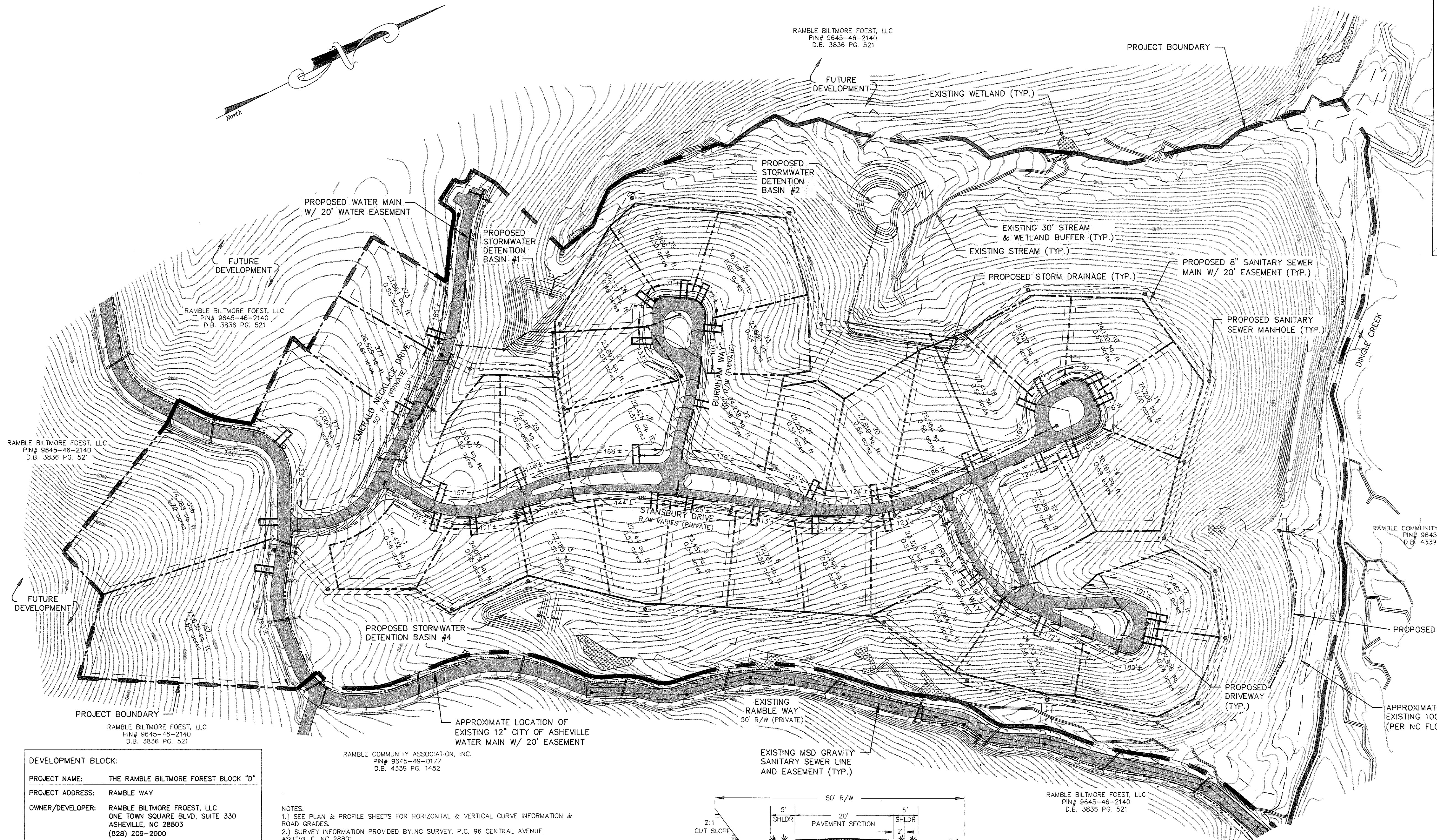
**SUBDIVISION PLAN**

sheet  
 C-100



**LEGEND**

- EXISTING 2' CONTOUR
- - - PROPOSED 2' CONTOUR
- EXISTING STORM DRAINAGE PIPING
- - - PROPOSED STORM DRAINAGE PIPING
- EXISTING STORM DRAINAGE STRUCTURE
- PROPOSED STORM DRAINAGE STRUCTURE
- EXISTING WATER SYSTEM
- - - PROPOSED WATER SYSTEM
- EXISTING SANITARY SEWER SYSTEM
- - - PROPOSED SANITARY SEWER SYSTEM



**DEVELOPMENT BLOCK:**

**PROJECT NAME:** THE RAMBLE BILTMORE FOREST BLOCK "D"

**PROJECT ADDRESS:** RAMBLE WAY

**OWNER/DEVELOPER:** RAMBLE BILTMORE FOREST, LLC  
 ONE TOWN SQUARE BLVD, SUITE 330  
 ASHEVILLE, NC 28803  
 (828) 209-2000

**CONTACT PERSON:** LEE THOMASON  
 ONE TOWN SQUARE BLVD, SUITE 330  
 ASHEVILLE, NC 28803  
 (828) 209-2000

**ENGINEER:** WILLIAM R. BUIE, P.E.  
 WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.  
 214 N. KING STREET  
 HENDERSONVILLE, NC 28792  
 (828) 687-7177

**PIN #:** 9645-46-2140

**TOTAL PROPERTY SIZE:** 49.8± AC.

**TOTAL # OF PROPOSED LOTS:** 35 LOTS

**DENSITY:** 1 LOT / 1.42± AC.

**PROPOSED ROAD:** 3,068 LF±

**CORRIDOR 90° OR LESS:** 2,364 LF (92.7%)

**CORRIDOR 91° TO 135°:** 225 LF (7.3%)

**MAX. CORRIDOR HEIGHT:** 10'±

**DEED REF:** D.B. 3836 PG. 0521

**ZONING:** R-1 (BUNCOMBE COUNTY)

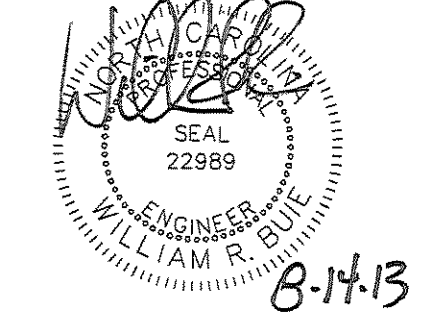
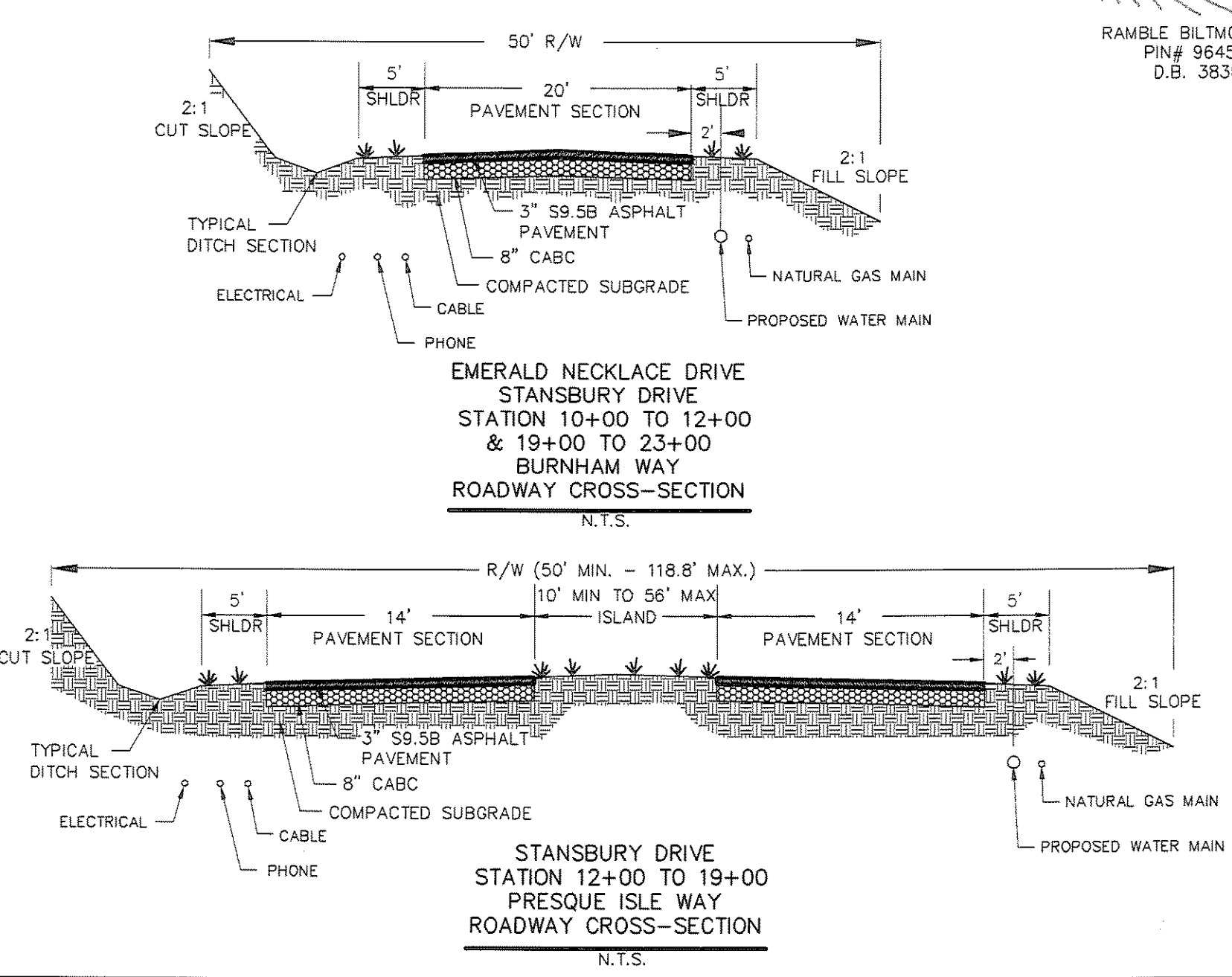
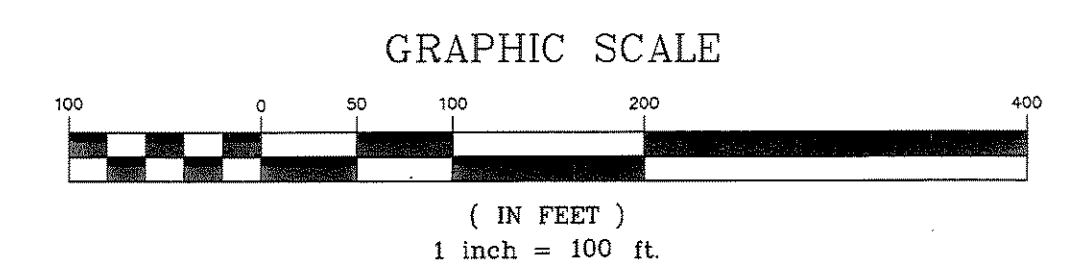
**TOWNSHIP:** LOWER HOMINY CREEK

**BUILDING SETBACKS:** REQUIRED

FRONT	20' (from ROW)
SIDE	10'
REAR	20'

\* CORRIDOR SECTION GREATER THAN 90° IS DUE TO DIVIDED ROADWAY DESIGN & NOT TO TOPOGRAPHY.

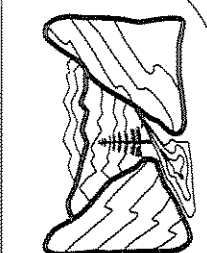
- NOTES:**
- 1.) SEE PLAN & PROFILE SHEETS FOR HORIZONTAL & VERTICAL CURVE INFORMATION & ROAD GRADES.
  - 2.) SURVEY INFORMATION PROVIDED BY: NC SURVEY, P.C. 96 CENTRAL AVENUE ASHEVILLE, NC 28801
  - 3.) NO WALLS ARE PROPOSED.
  - 4.) PROPOSED ROADS ARE TO BE PRIVATE & TURNED OVER TO THE RAMBLE BILTMORE FOREST HOMEOWNERS ASSOC.
  - 5.) THE SITE IS ENTIRELY WOODED EXCEPT FOR ROAD CONNECTION POINT.
  - 6.) ELECTRICAL, TELEPHONE AND NATURAL GAS WILL BE UNDERGROUND AS DESIGNED BY UTILITY COMPANY.
  - 7.) PROPOSED SANITARY SEWER SHALL BE TURNED OVER TO MSD.
  - 8.) PROPOSED WATER SYSTEM SHALL BE TURNED OVER TO CITY OF ASHEVILLE.
  - 9.) NO KNOWN CEMETERIES ARE LOCATED ON THE PROPERTY.
  - 10.) EXISTING LAND IS VACANT.
  - 11.) PAVEMENT DESIGN WAS DESIGNATED WITH ASSUMING POOR TO FAIR SUBGRADE (GROUP II, PAGE 23 NCDOT SUBDIVISION ROADS MINIMUM CONSTRUCTED STANDARDS) WITH 8" OF ABC & 3" OF S9.5B.
  - 12.) NO BASE COURSE SHALL BE PLACED ON MUCK, PIPE CLAY, ORGANIC WATER OR OTHER UNSUITABLE MATERIAL, AND A MINIMUM COMPACTION RATE OF SUBGRADE PRIOR TO PAVING SHALL BE LESS THAN 95 PERCENT BY STANDARD PROCTOR METHOD AND CERTIFIED BY A LICENSED ENGINEER.
  - 13.) 2' CONTOURS & SURVEY INFORMATION PROVIDED BY: NC SURVEY, P.C., 96 CENTRAL DRIVE, ASHEVILLE NC 28801.
  - 14.) THIS SUBDIVISION IS NOT A DRASTIC VARIATION HILLSIDE DEVELOPMENT.
  - 15.) NONE OF THE SLOPES OF THE LOTS PERPENDICULAR TO THE ROAD EXCEED 18%.
  - 16.) THE ROAD CORRIDOR DOES NOT EXCEED 60 FEET IN HEIGHT.
  - 17.) NO ROAD CONSTRUCTION WILL OCCUR IN AREAS THAT EXCEED 30% NATURAL SLOPE AND IN NO AREAS THAT ARE HIGH HAZARD OR MODERATE HAZARD ON THE BUNCOMBE COUNTY SLOPE STABILITY INDEX MAP.
  - 18.) NATURAL AVERAGE SLOPE OF THE PROJECT AREA IS 17%.



**Revisions**


date: 6/10/13  
 job: 13114  
 drawn: TWT

**WILLIAM G. LAPSLEY & ASSOCIATES P.A.**  
 Consulting Engineers & Land Planners  
 NC License No. C-0556  
 214 N. King Street  
 Hendersonville, North Carolina 28792  
 (828) 687-7177  
 wgl@a.com

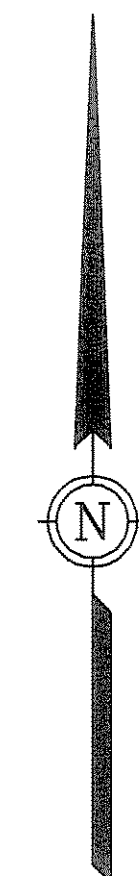
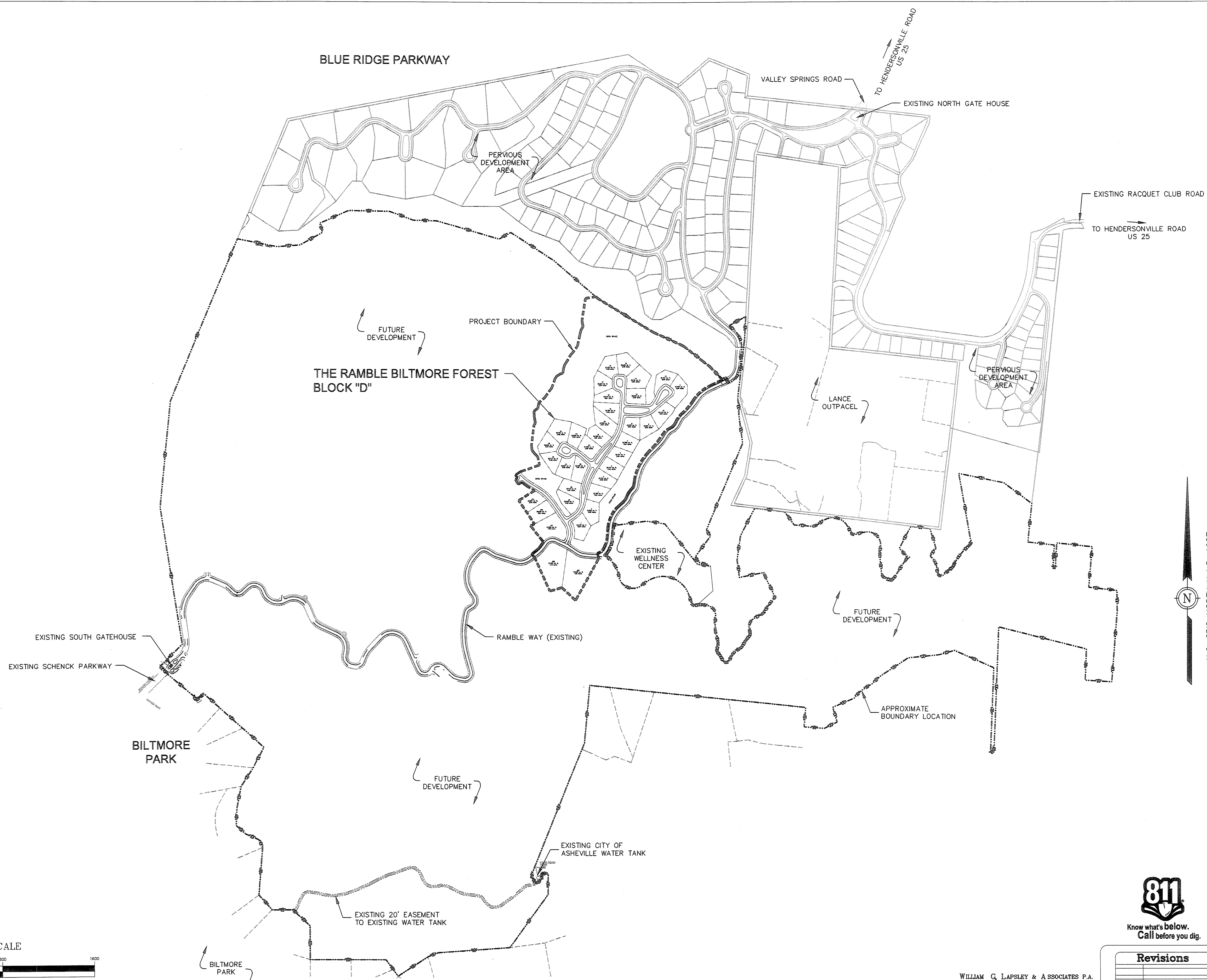


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 HENDERSONVILLE, NORTH CAROLINA

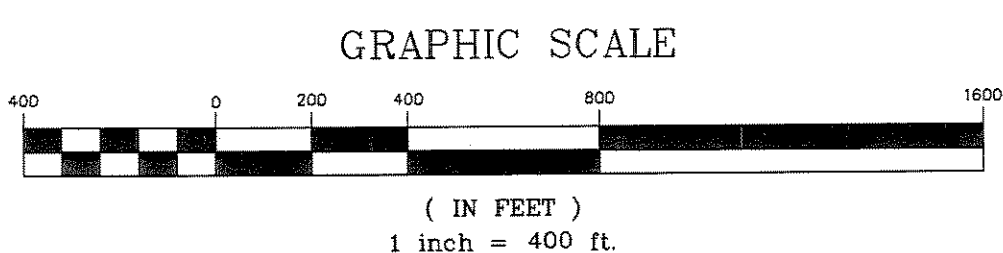
THE RAMBLE BILTMORE FOREST  
 BLOCK "D"  
 BUNCOMBE COUNTY  
 NORTH CAROLINA

THE RAMBLE FUTURE  
 DEVELOPMENT PLAN

sheet  
 C-101

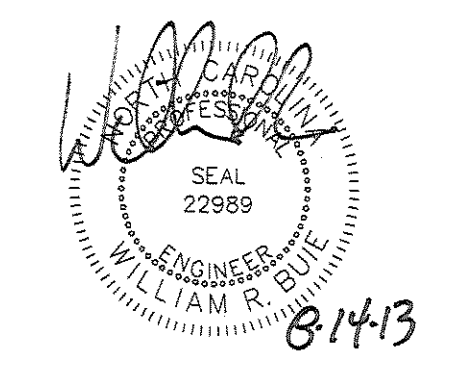


N.C. GRID NORTH N.A.D. 1927



NOTE: THIS IS NOT A SURVEY.

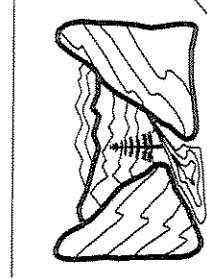
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 (828) 687-7177  
 wglpa.com



Revisions

date: 6/10/13  
 job: 13114  
 drawn: TWT

F:\USER\W\Projects\Ramble\2013\C-101 overall plan.dwg, 8/14/2013 7:50:12 AM, 1:40

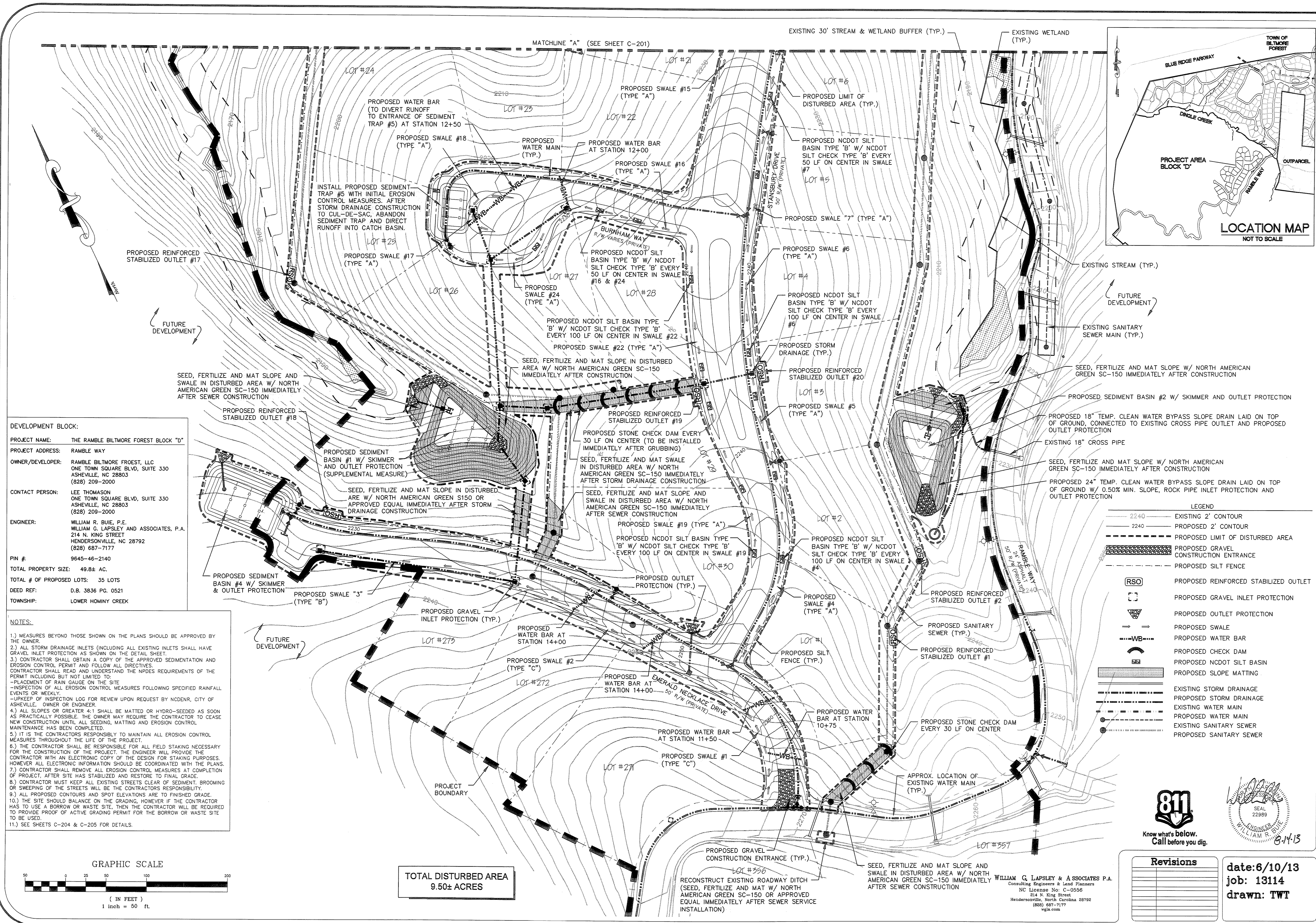
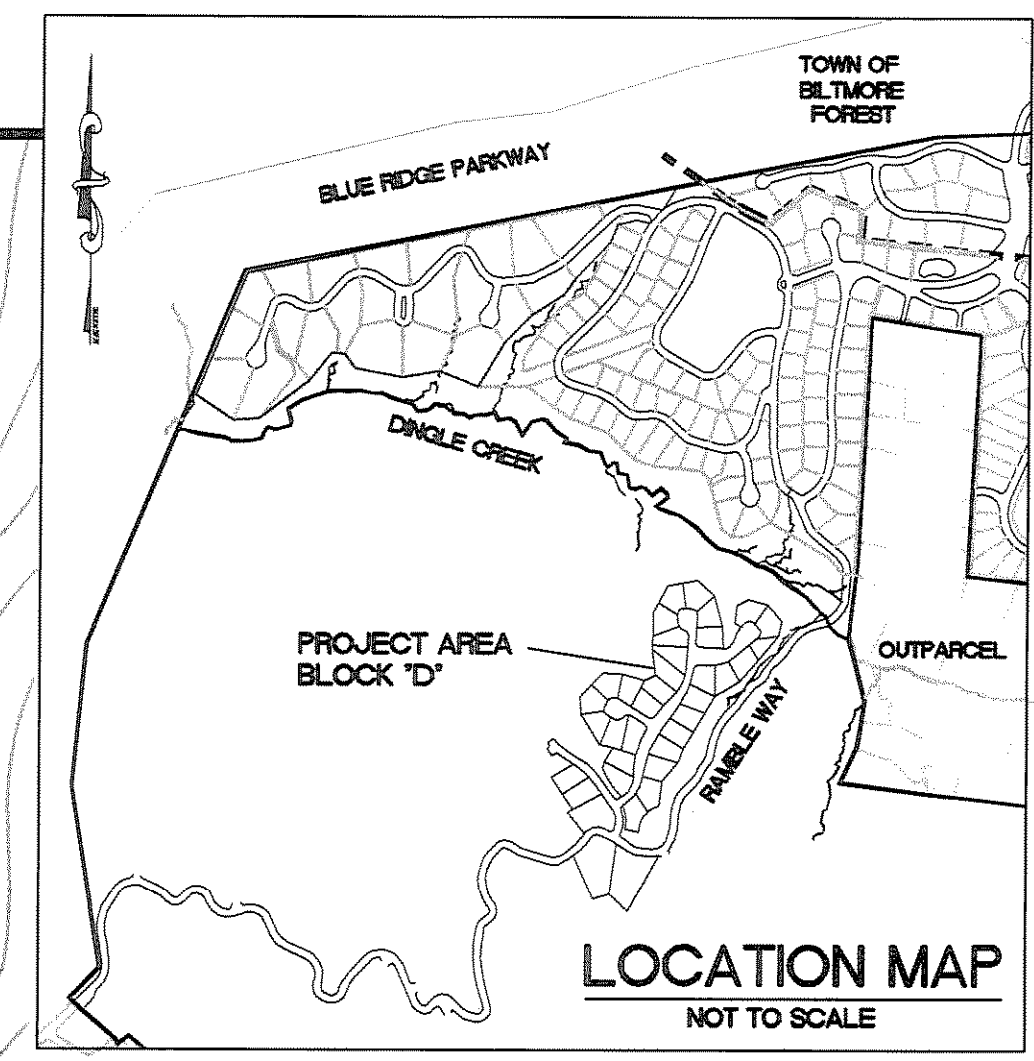


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HENDERSONVILLE, NORTH CAROLINA

THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

GRADING AND EROSION CONTROL PLAN

sheet  
C-200



**DEVELOPMENT BLOCK:**

**PROJECT NAME:** THE RAMBLE BILTMORE FOREST BLOCK "D"

**PROJECT ADDRESS:** RAMBLE WAY

**OWNER/DEVELOPER:** RAMBLE BILTMORE FOREST, LLC  
ONE TOWN SQUARE BLVD, SUITE 330  
ASHEVILLE, NC 28803  
(828) 209-2000

**CONTACT PERSON:** LEE THOMASON  
ONE TOWN SQUARE BLVD, SUITE 330  
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**ENGINEER:** WILLIAM R. BUIE, P.E.  
WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.  
214 N. KING STREET  
HENDERSONVILLE, NC 28792  
(828) 687-7177

**PIN #:** 9645-46-2140

**TOTAL PROPERTY SIZE:** 49.8± AC.

**TOTAL # OF PROPOSED LOTS:** 35 LOTS

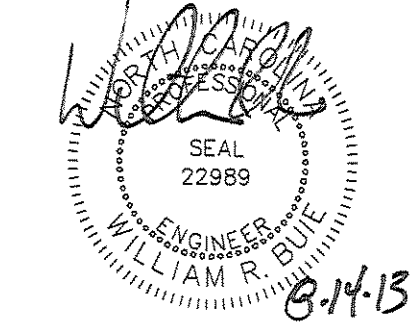
**DEED REF:** D.B. 3836 PG. 0521

**TOWNSHIP:** LOWER HOMINY CREEK

- NOTES:**
- MEASURES BEYOND THOSE SHOWN ON THE PLANS SHOULD BE APPROVED BY THE OWNER.
  - ALL STORM DRAINAGE INLETS (INCLUDING ALL EXISTING INLETS) SHALL HAVE GRAVEL INLET PROTECTION AS SHOWN ON THE DETAIL SHEET.
  - CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED SEDIMENTATION AND EROSION CONTROL PERMIT AND FOLLOW ALL DIRECTIVES. CONTRACTOR SHALL READ AND UNDERSTAND THE NPDES REQUIREMENTS OF THE PERMIT INCLUDING BUT NOT LIMITED TO:  
--PLACEMENT OF RAIN GAUGE ON THE SITE  
--INSPECTION OF ALL EROSION CONTROL MEASURES FOLLOWING SPECIFIED RAINFALL EVENTS OR WEEKLY.  
--UPKEEP OF INSPECTION LOG FOR REVIEW UPON REQUEST BY NCDENR, CITY OF ASHEVILLE, OWNER OR ENGINEER.
  - ALL SLOPES OR GREATER 4:1 SHALL BE MATTED OR HYDRO-SEEDED AS SOON AS PRACTICALLY POSSIBLE. THE OWNER MAY REQUIRE THE CONTRACTOR TO CEASE NEW CONSTRUCTION UNTIL ALL SEEDING, MATTING AND EROSION CONTROL MAINTENANCE HAS BEEN COMPLETED.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE LIFE OF THE PROJECT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD STAKING NECESSARY FOR THE CONSTRUCTION OF THE PROJECT. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC COPY OF THE DESIGN FOR STAKING PURPOSES. HOWEVER ALL ELECTRONIC INFORMATION SHOULD BE COORDINATED WITH THE PLANS.
  - CONTRACTOR SHALL REMOVE ALL EROSION CONTROL MEASURES AT COMPLETION OF PROJECT, AFTER SITE HAS STABILIZED AND RESTORE TO FINAL GRADE.
  - CONTRACTOR MUST KEEP ALL EXISTING STREETS CLEAR OF SEDIMENT, BROOMING OR SWEEPING OF THE STREETS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
  - ALL PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED GRADE.
  - THE SITE SHOULD BALANCE ON THE GRADING, HOWEVER IF THE CONTRACTOR HAS TO USE A BORROW OR WASTE SITE, THEN THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF ACTIVE GRADING PERMIT FOR THE BORROW OR WASTE SITE TO BE USED.
  - SEE SHEETS C-204 & C-205 FOR DETAILS.

**LEGEND**

2240	EXISTING 2' CONTOUR
2240	PROPOSED 2' CONTOUR
(Dashed line)	PROPOSED LIMIT OF DISTURBED AREA
(Hatched area)	PROPOSED GRAVEL CONSTRUCTION ENTRANCE
(Dashed line)	PROPOSED SILT FENCE
(RSO symbol)	PROPOSED REINFORCED STABILIZED OUTLET
(Gravel symbol)	PROPOSED GRAVEL INLET PROTECTION
(Triangle symbol)	PROPOSED OUTLET PROTECTION
(Line with dots)	PROPOSED SWALE
(WB symbol)	PROPOSED WATER BAR
(Dam symbol)	PROPOSED CHECK DAM
(Basin symbol)	PROPOSED NCDOT SILT BASIN
(Matting symbol)	PROPOSED SLOPE MATTING
(Dashed line)	EXISTING STORM DRAINAGE
(Dashed line)	PROPOSED STORM DRAINAGE
(Dashed line)	EXISTING WATER MAIN
(Dashed line)	PROPOSED WATER MAIN
(Dashed line)	EXISTING SANITARY SEWER
(Dashed line)	PROPOSED SANITARY SEWER

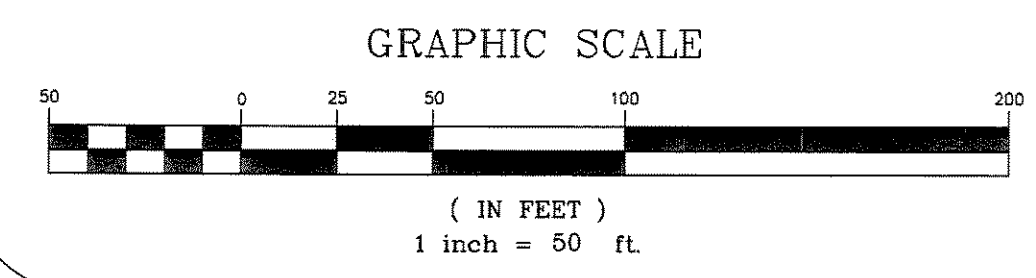


**Revisions**

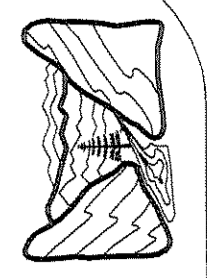

date: 6/10/13  
job: 13114  
drawn: TWT

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Hendersonville, North Carolina 28792  
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wgla.com

TOTAL DISTURBED AREA  
9.50± ACRES



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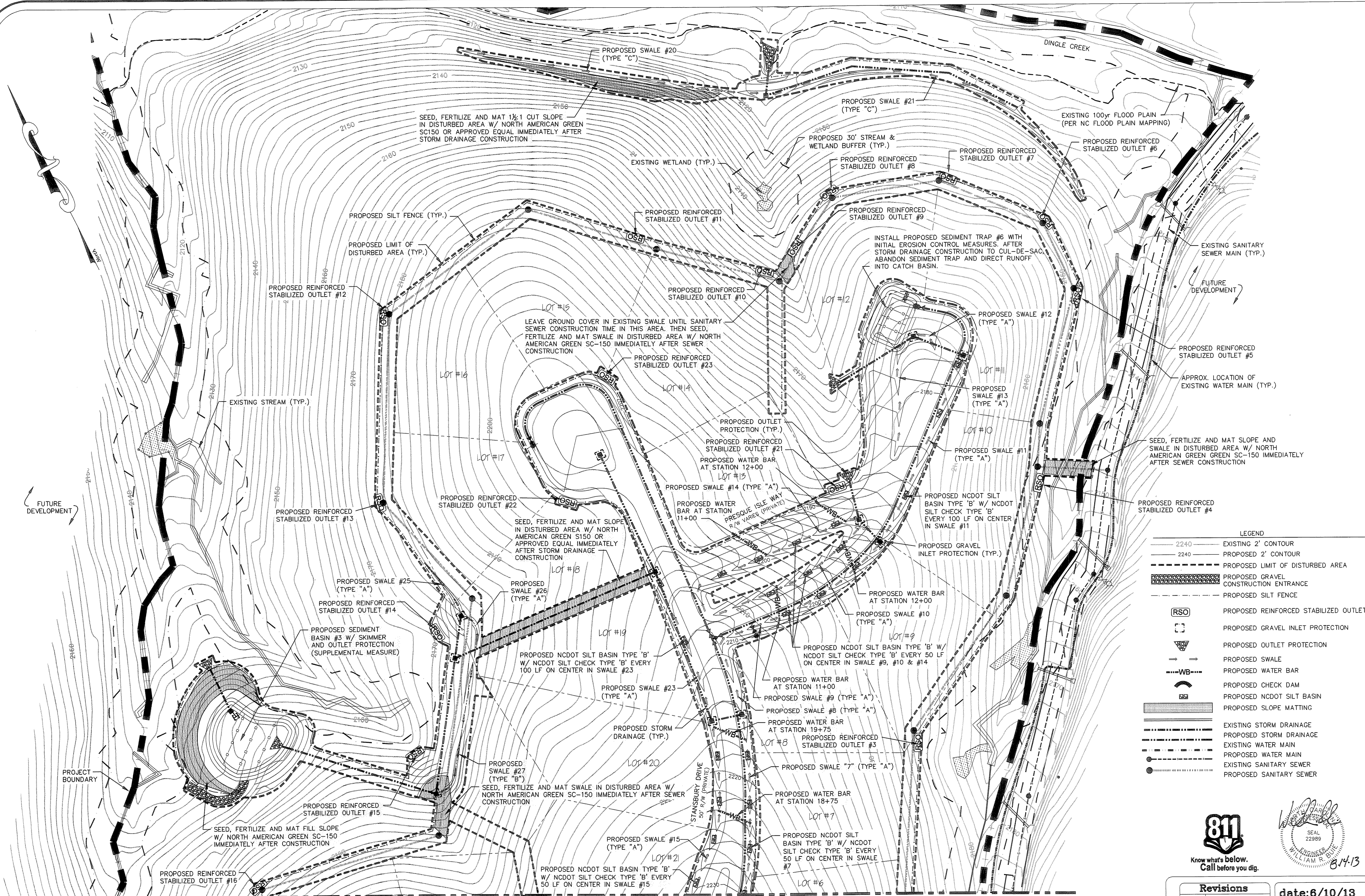


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THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

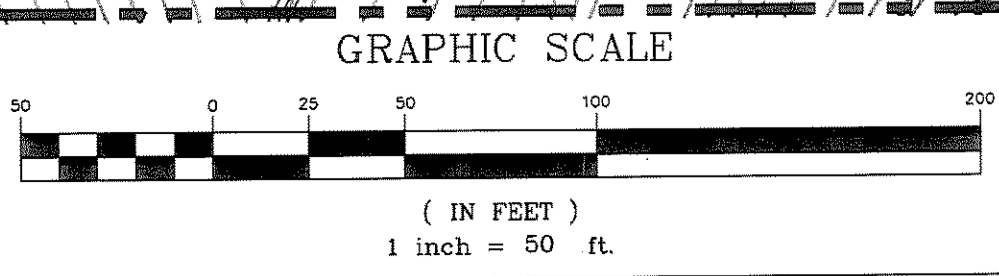
GRADING AND EROSION CONTROL PLAN

sheet  
C-201

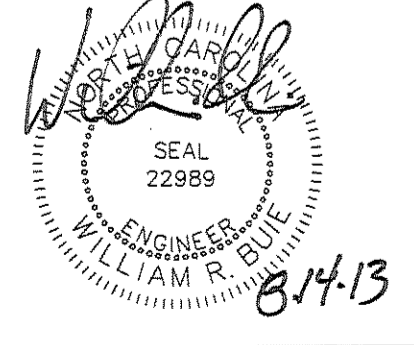


LEGEND

	EXISTING 2' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED LIMIT OF DISTURBED AREA
	PROPOSED GRAVEL CONSTRUCTION ENTRANCE
	PROPOSED SILT FENCE
	PROPOSED REINFORCED STABILIZED OUTLET
	PROPOSED GRAVEL INLET PROTECTION
	PROPOSED OUTLET PROTECTION
	PROPOSED SWALE
	PROPOSED WATER BAR
	PROPOSED CHECK DAM
	PROPOSED NCDOT SILT BASIN
	PROPOSED SLOPE MATTING
	EXISTING STORM DRAINAGE
	PROPOSED STORM DRAINAGE
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER



MATCHLINE "A" (SEE SHEET C-200)

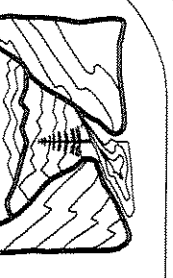


Revisions


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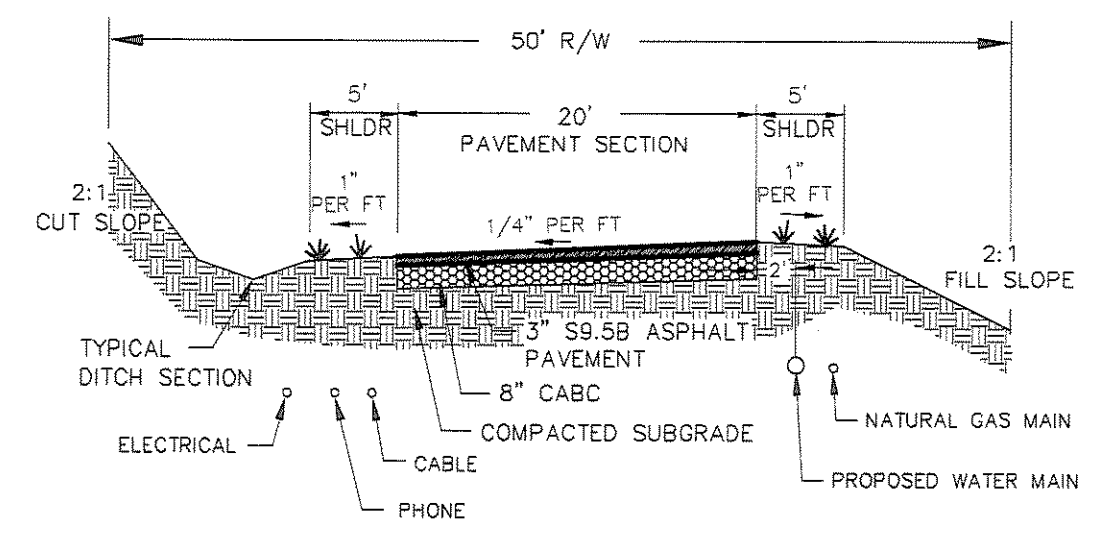
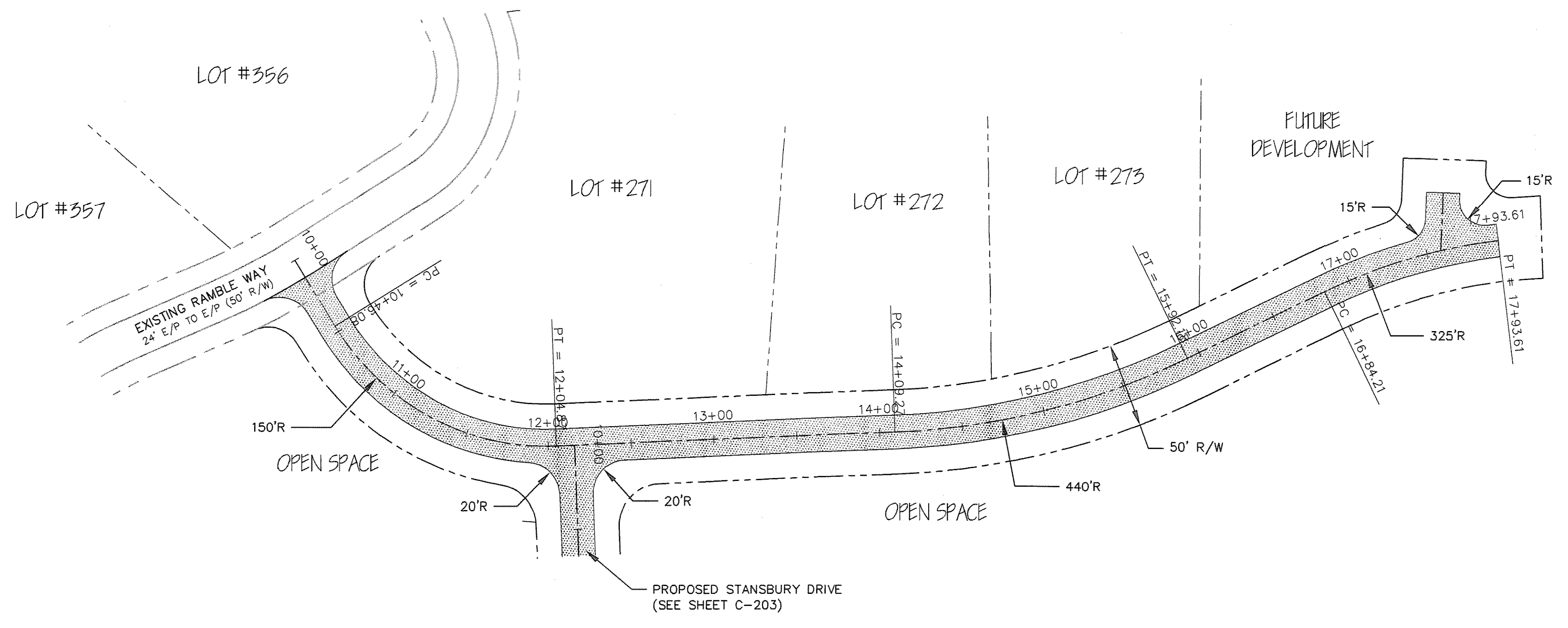
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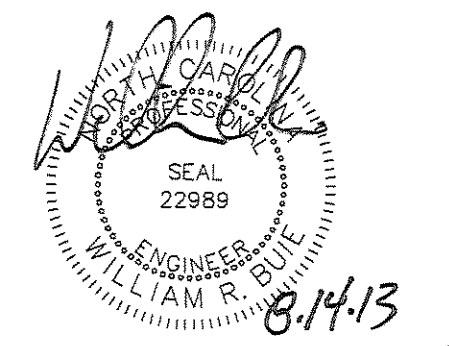
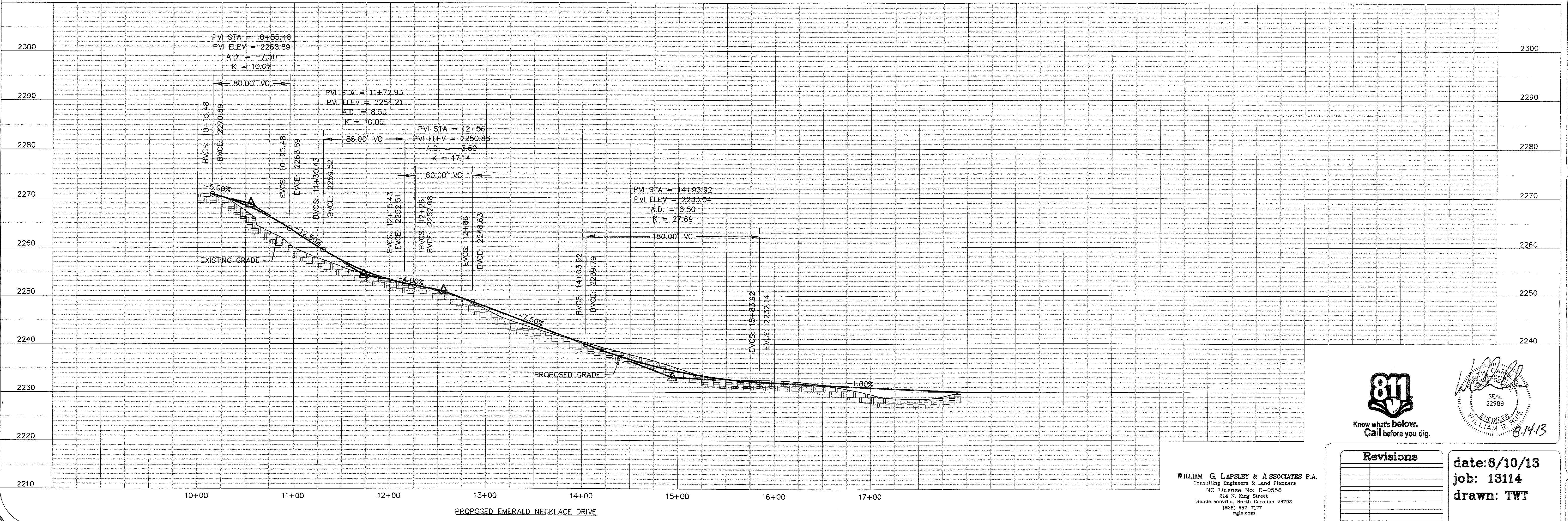
THE RAMBLE BILTMORE FOREST  
 BLOCK "D"  
 BUNCOMBE COUNTY  
 NORTH CAROLINA

EMERALD NECKLACE DRIVE  
 PLAN & PROFILE



EMERALD NECKLACE DRIVE  
 ROADWAY CROSS-SECTION  
 N.T.S.

HORIZONTAL SCALE 1"=50'  
 VERTICAL SCALE 1"=10'



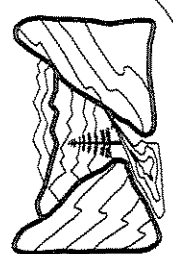
Revisions	

date: 6/10/13  
 job: 13114  
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 814 N. King Street  
 Hendersonville, North Carolina 28792  
 (828) 687-7177  
 wgl@a.com

sheet  
 C-202

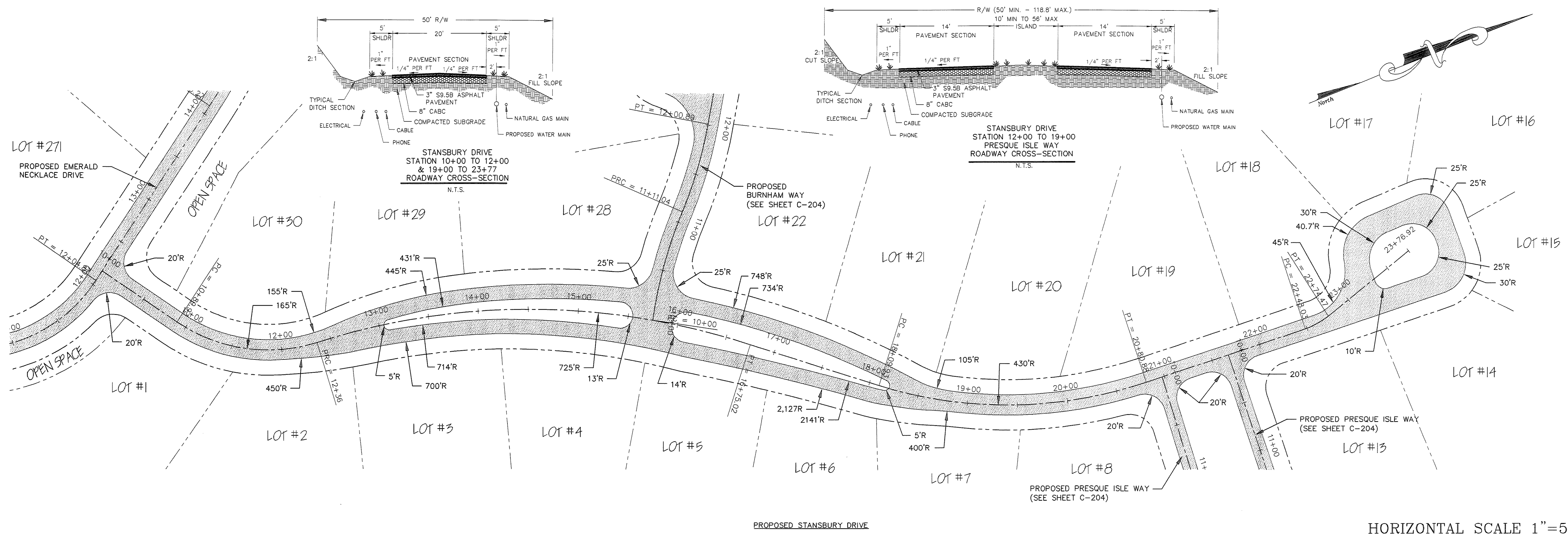




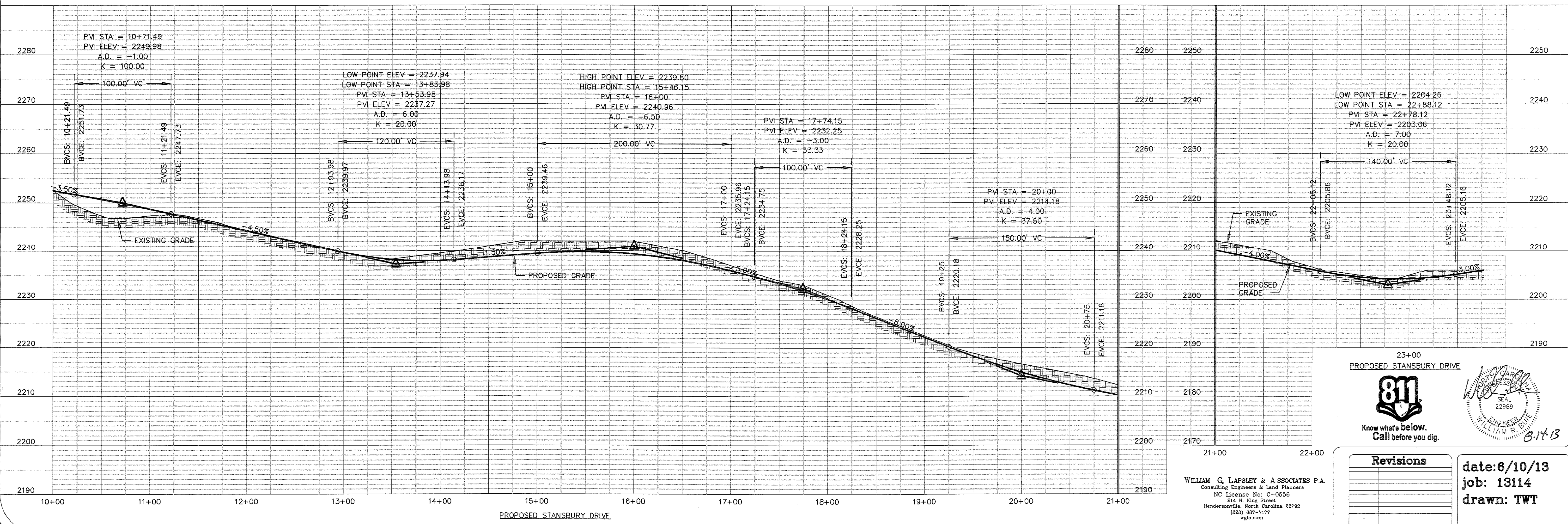
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HENDERSONVILLE, NORTH CAROLINA

THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

STANSBURY DRIVE  
PLAN & PROFILE



HORIZONTAL SCALE 1"=50'  
VERTICAL SCALE 1"=10'



23+00  
PROPOSED STANSBURY DRIVE

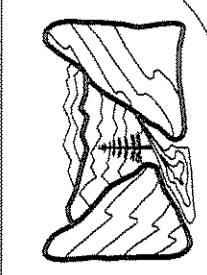
Know what's below.  
Call before you dig.

Revisions	date: 6/10/13
	job: 13114
	drawn: TWT

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214 N. King Street  
Hendersonville, North Carolina 28792  
(888) 687-9177  
wgl.com

sheet  
C-203

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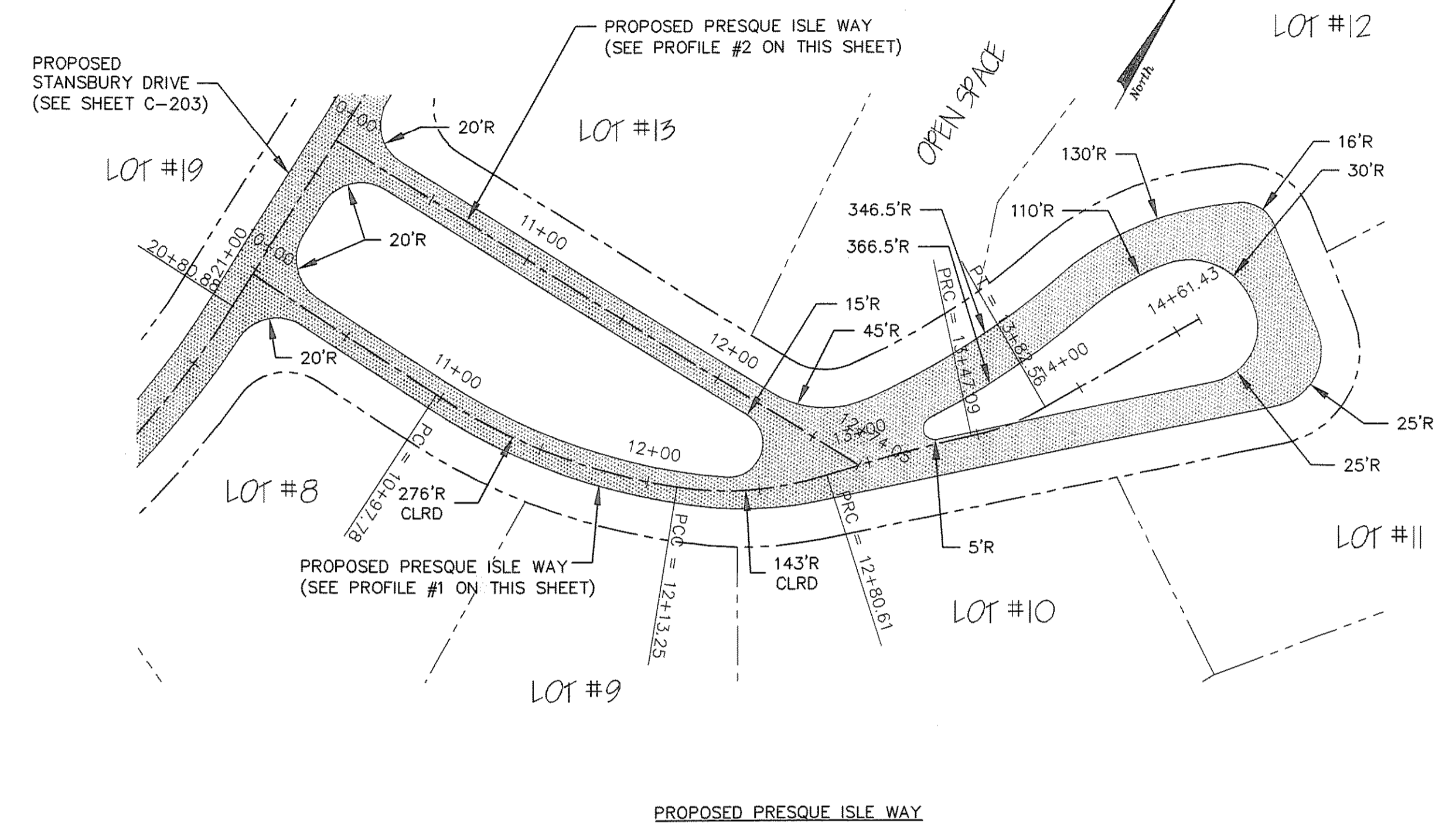
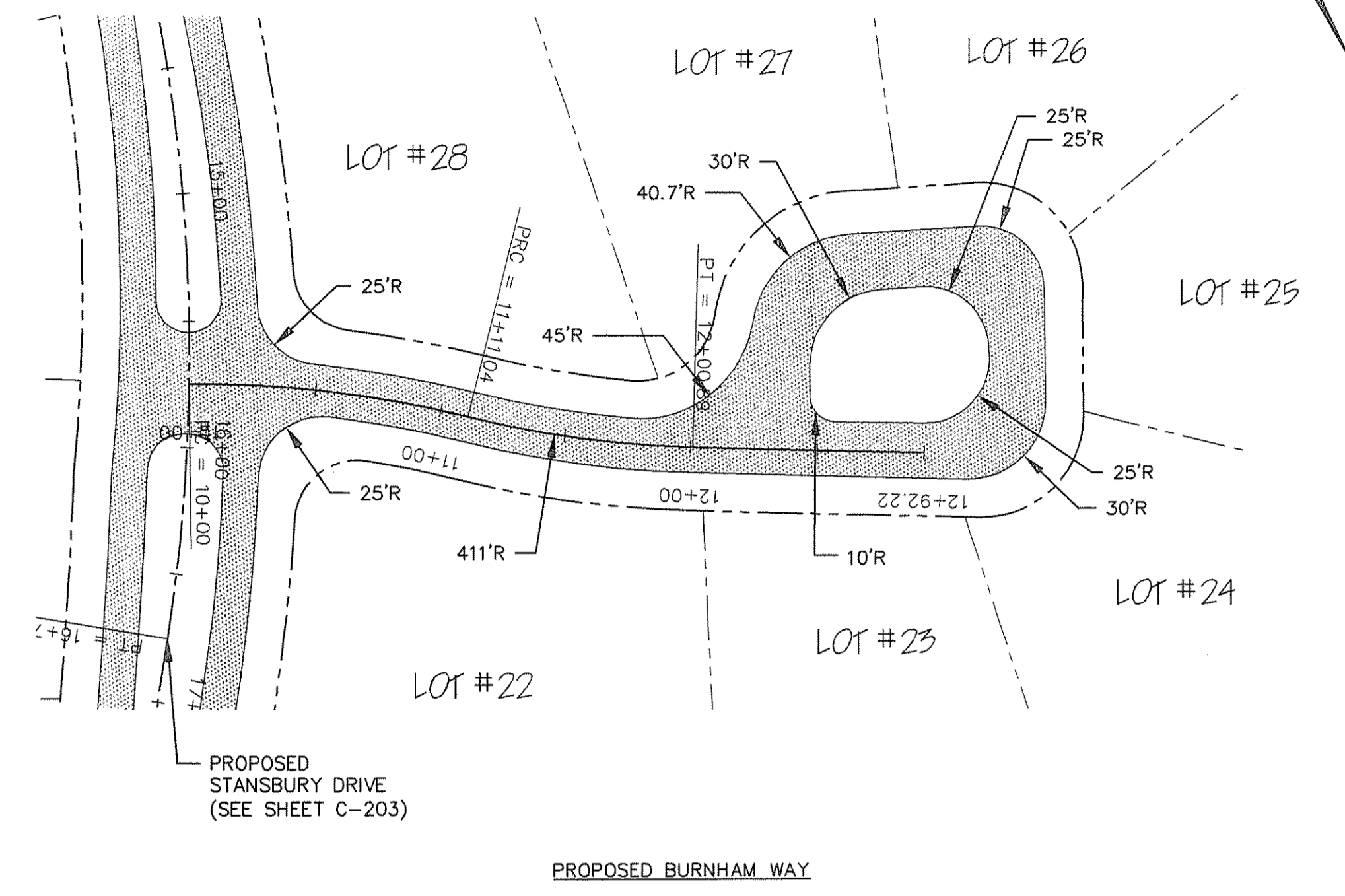
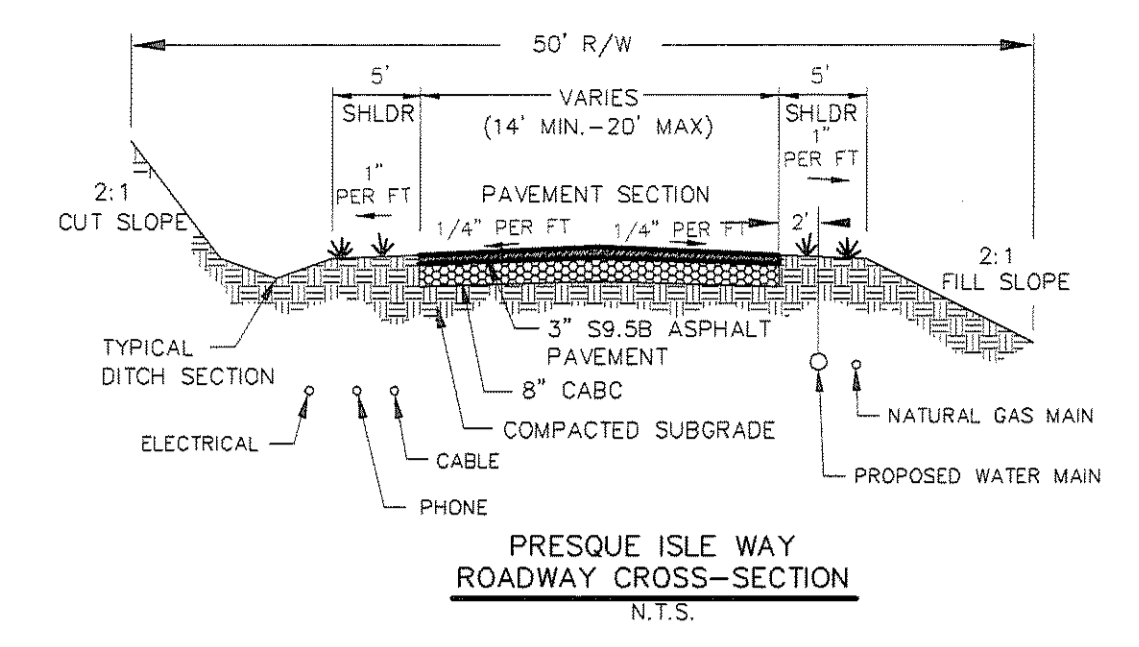
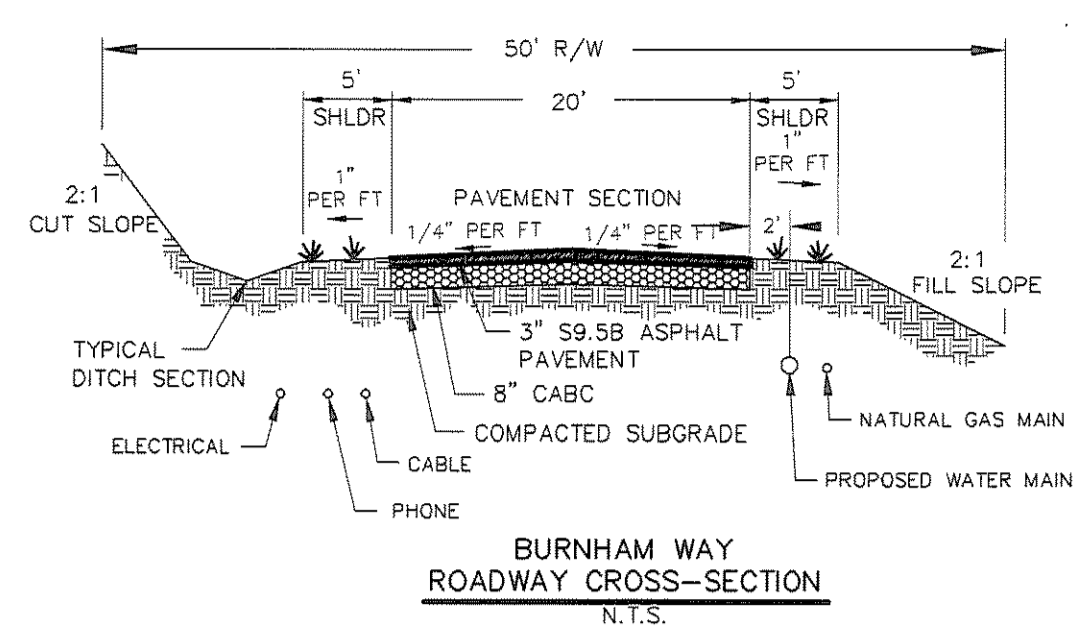


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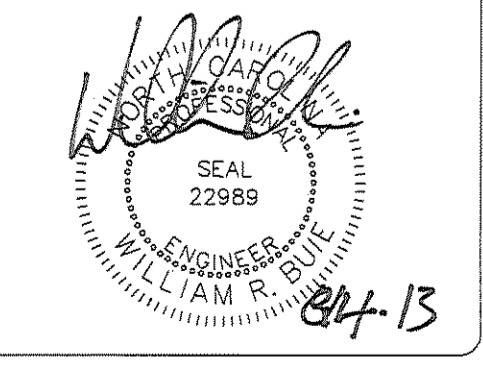
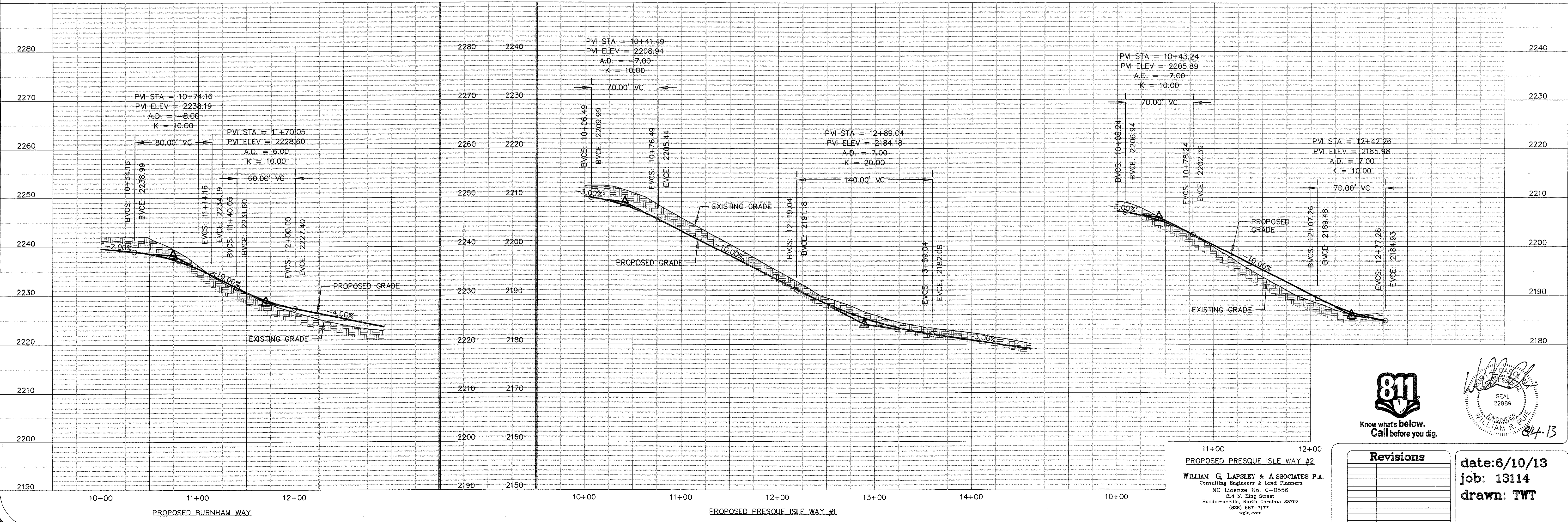
THE RAMBLE BILTMORE FOREST  
 BLOCK "D"  
 BUNCOMBE COUNTY  
 NORTH CAROLINA

BURNHAM WAY &  
 PRESQUE ISLE WAY  
 PLAN & PROFILE

sheet  
 C-204



HORIZONTAL SCALE 1"=50'  
 VERTICAL SCALE 1"=10'

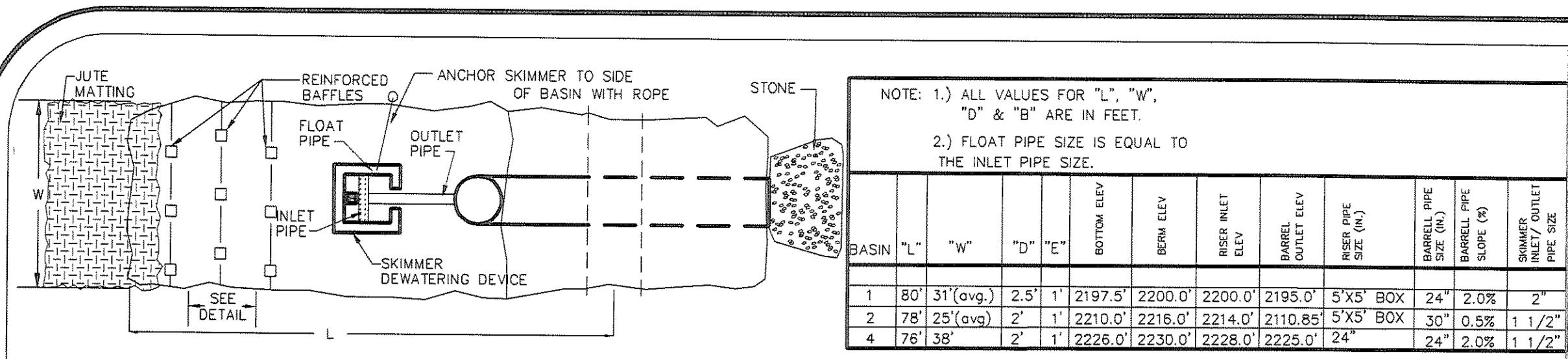


11+00 12+00  
 PROPOSED PRESQUE ISLE WAY #2  
 WILLIAM G. LAPSLEY & ASSOCIATES P.A.  
 Consulting Engineers & Land Planners  
 NC License No. C-0556  
 214 N. King Street  
 Hendersonville, North Carolina 28792  
 (866) 687-7177  
 wgl.com

Revisions

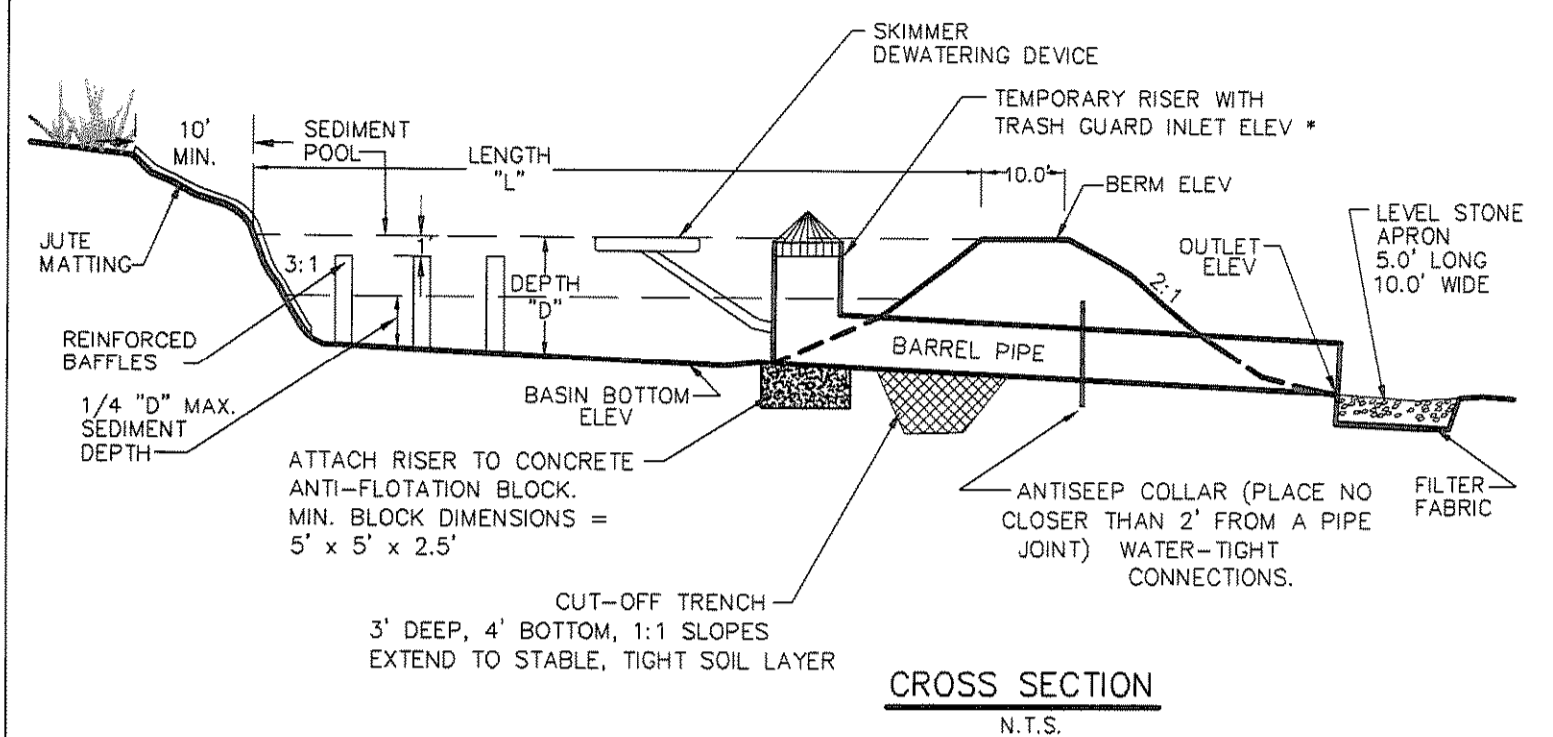
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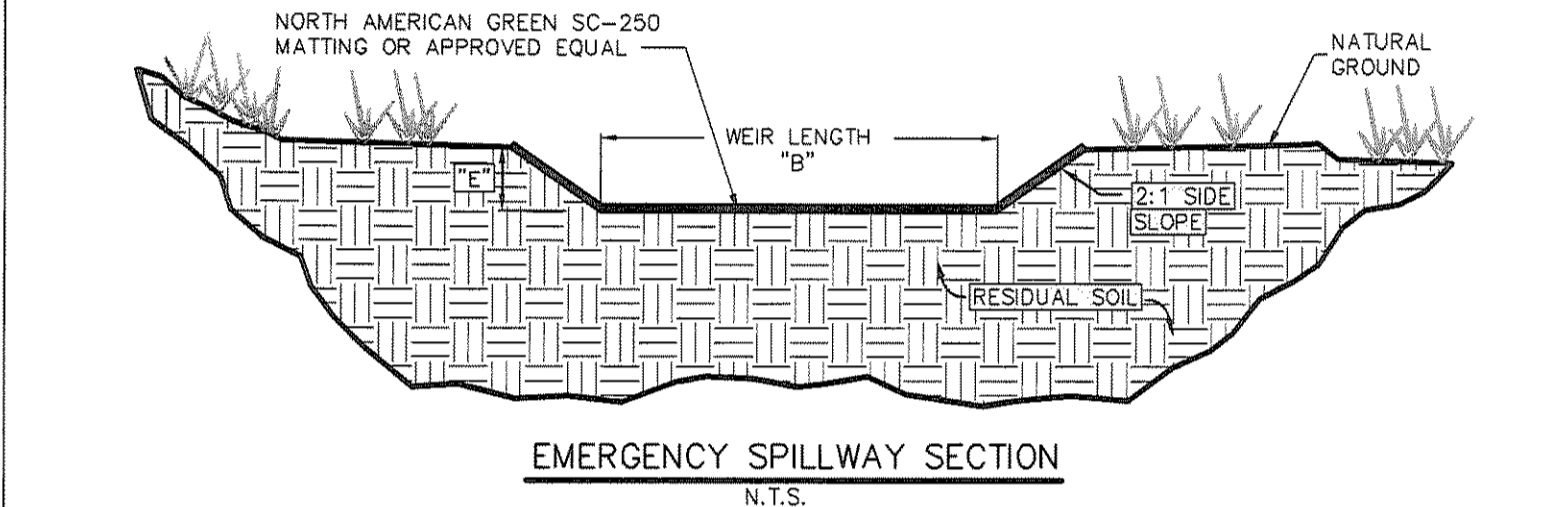


NOTE: 1.) ALL VALUES FOR "L", "W", "D" & "B" ARE IN FEET.  
2.) FLOAT PIPE SIZE IS EQUAL TO THE INLET PIPE SIZE.

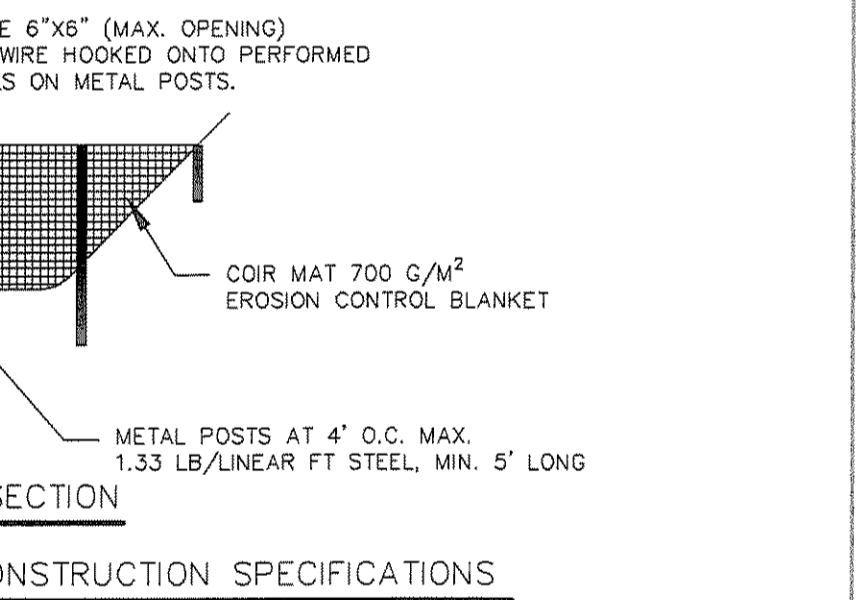
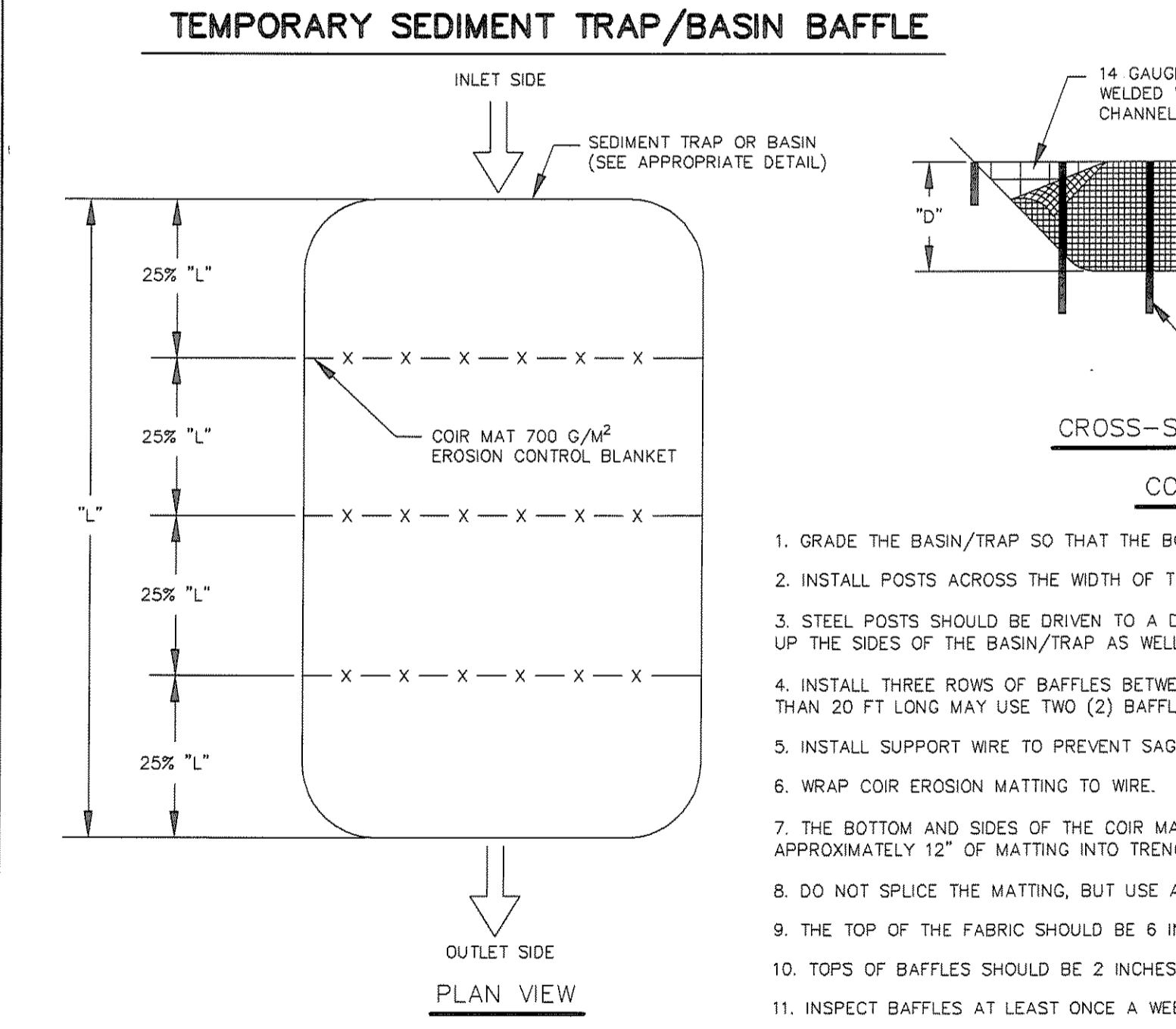
BASIN	"L"	"W"	"D"	"E"	BOTTOM ELEV.	SKIMMER ELEV.	RISER INLET ELEV.	BARREL OUTLET ELEV.	RISER PIPE SIZE (IN)	BARREL PIPE SIZE (IN)	BARREL SLOPE (%)	SKIMMER INLET PIPE SIZE
1	80'	31'(avg.)	2.5'	1'	2197.5'	2200.0'	2200.0'	2195.0'	5"X5" BOX	24"	2.0%	2"
2	78'	25'(avg.)	2'	1'	2210.0'	2216.0'	2214.0'	2110.85'	5"X5" BOX	30"	0.5%	1 1/2"
4	78'	38'	2'	1'	2226.0'	2230.0'	2228.0'	2225.0'	24"	24"	0.0%	1 1/2"



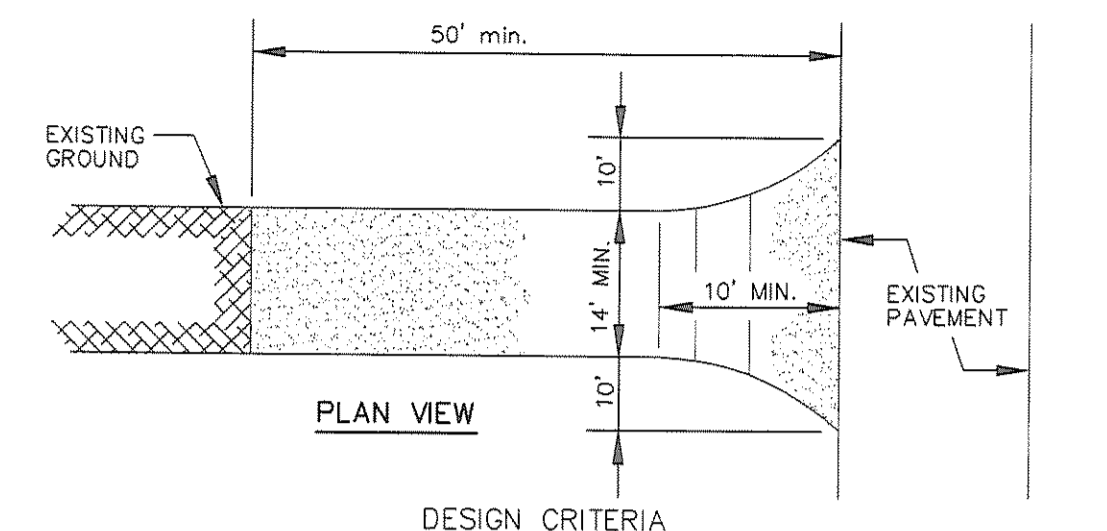
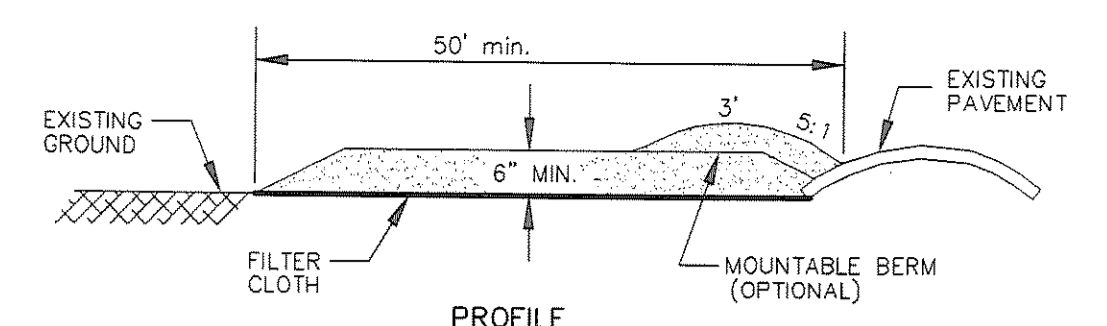
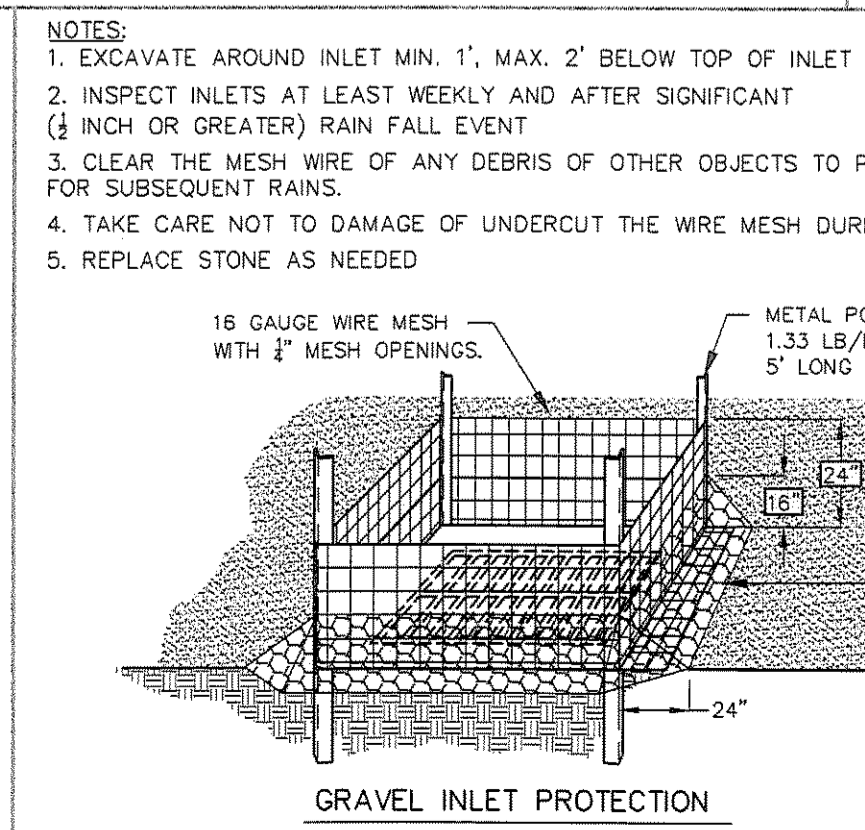
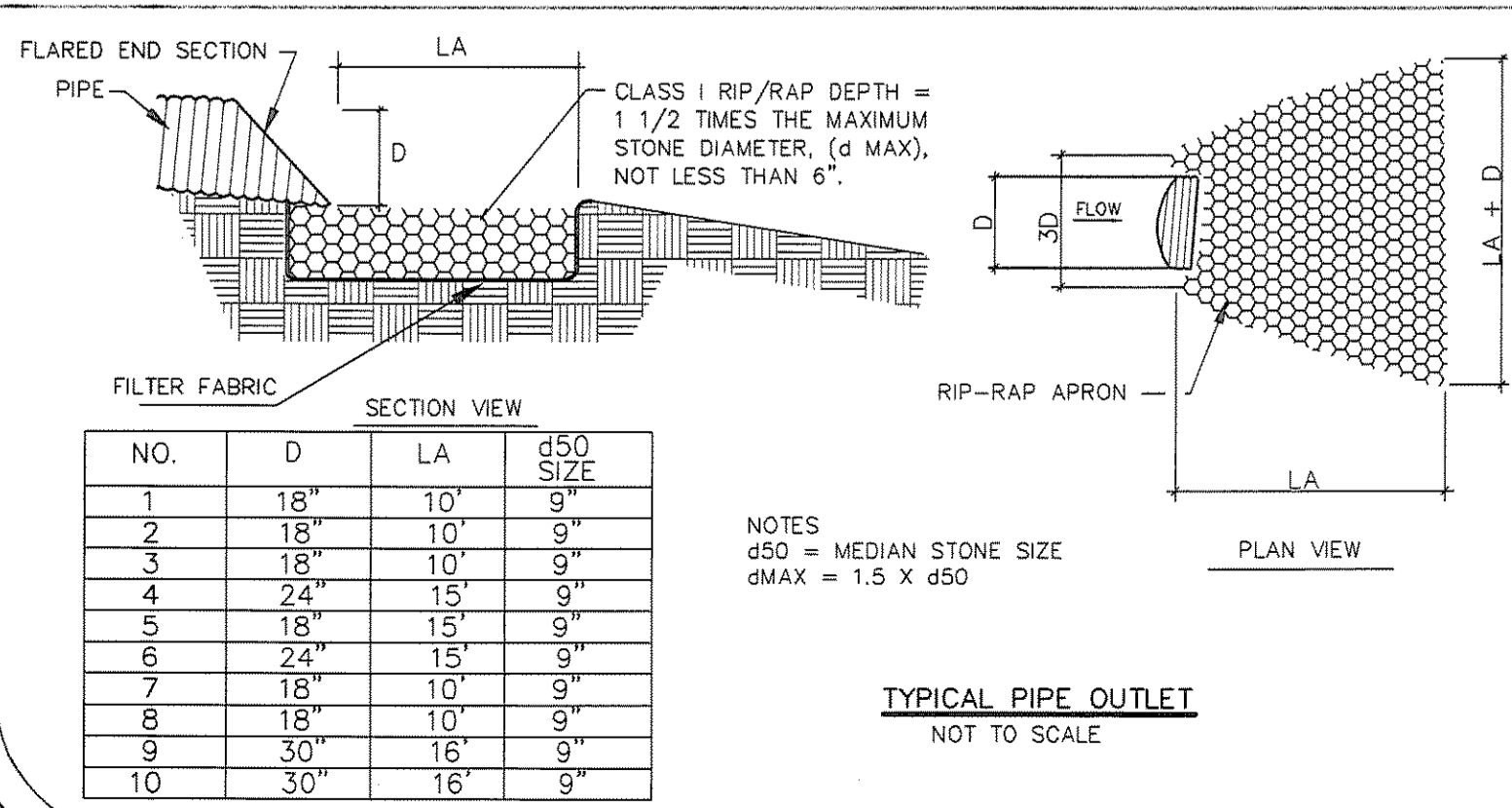
- ### CONSTRUCTION SPECIFICATIONS
- CLEAR GRUB & STRIP THE AREA UNDER THE EMBANKMENT OF ALL VEGETATION AND ROOT MAT.
  - CLEAR POND AREA.
  - USE FILL MATERIAL FREE OF ROOTS, WOODY VEGETATION AND ORGANIC MATTER. PLACE FILL IN LIFTS NOT TO EXCEED 9" AND MACHINE COMPACT.
  - CONSTRUCT BERM AND SPILLWAY TO DIMENSIONS, SLOPES AND ELEVATIONS SHOWN.
  - ENSURE THAT THE SPILLWAY CREST IS LEVEL AND BELOW THE TOP OF THE DAM AT ALL POINTS.
  - STONE USED FOR LEVEL STONE APRON SHALL BE CLASS "B" EROSION CONTROL STONE.
  - EXTEND STONE OUTLET SECTION ON ZERO GRADE WITH TOP ELEVATION OF STONE LEVEL WITH BOTTOM OF BARRELL OUTLET.
  - STABILIZE THE EMBANKMENT AND ALL DISTURBED AREAS ABOVE THE SEDIMENT POOL AS SHOWN IN THE PLANS.
  - USE PIPE WITH WATER-TIGHT JOINTS, HDPE SMOOTH WALL INTERIOR.



### SEDIMENT BASIN W/ SKIMMER



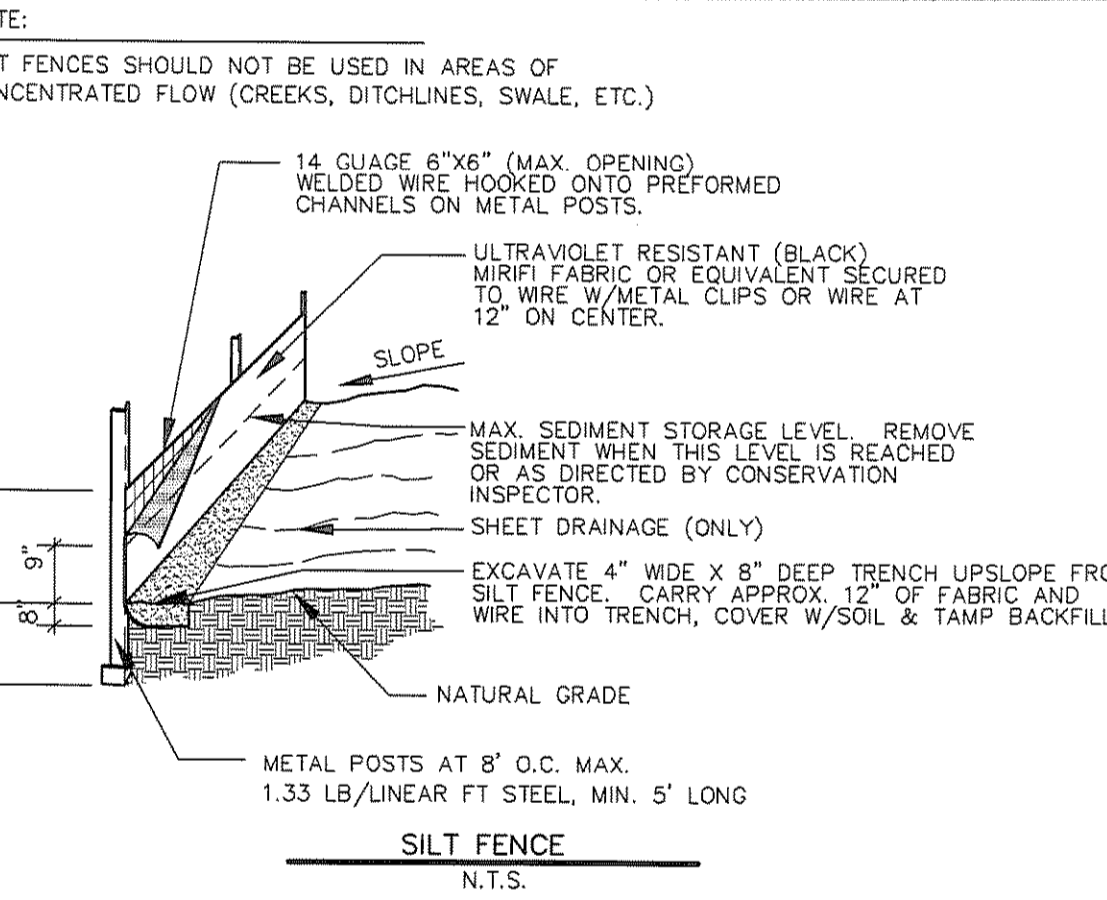
- ### CONSTRUCTION SPECIFICATIONS
- GRADE THE BASIN/TRAP SO THAT THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE.
  - INSTALL POSTS ACROSS THE WIDTH OF THE SEDIMENT TRAP.
  - STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24", SPACED A MAXIMUM OF 4 FT APART, AND INSTALLED UP THE SIDES OF THE BASIN/TRAP AS WELL.
  - INSTALL THREE ROWS OF BAFFLES BETWEEN THE INLET AND OUTLET DISCHARGE POINT. BASINS/TRAPS LESS THAN 20 FT LONG MAY USE TWO (2) BAFFLES WHICH DIVIDE THE BASIN/TRAP INTO THIRDS.
  - INSTALL SUPPORT WIRE TO PREVENT SAGGING.
  - WRAP COIR EROSION MATTING TO WIRE.
  - THE BOTTOM AND SIDES OF THE COIR MATTING SHALL BE TRENCHED IN 8" DEEP AND 4" WIDE. CARRY APPROXIMATELY 12" OF MATTING INTO TRENCH, COVER WITH SOIL AND TAMP BACKFILL.
  - DO NOT SPLICE THE MATTING, BUT USE A CONTINUOUS PIECE ACROSS THE BASIN/TRAP.
  - THE TOP OF THE FABRIC SHOULD BE 6 INCHES HIGHER THAN THE INVERT OF THE SPILLWAY.
  - TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERMS.
  - INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS.



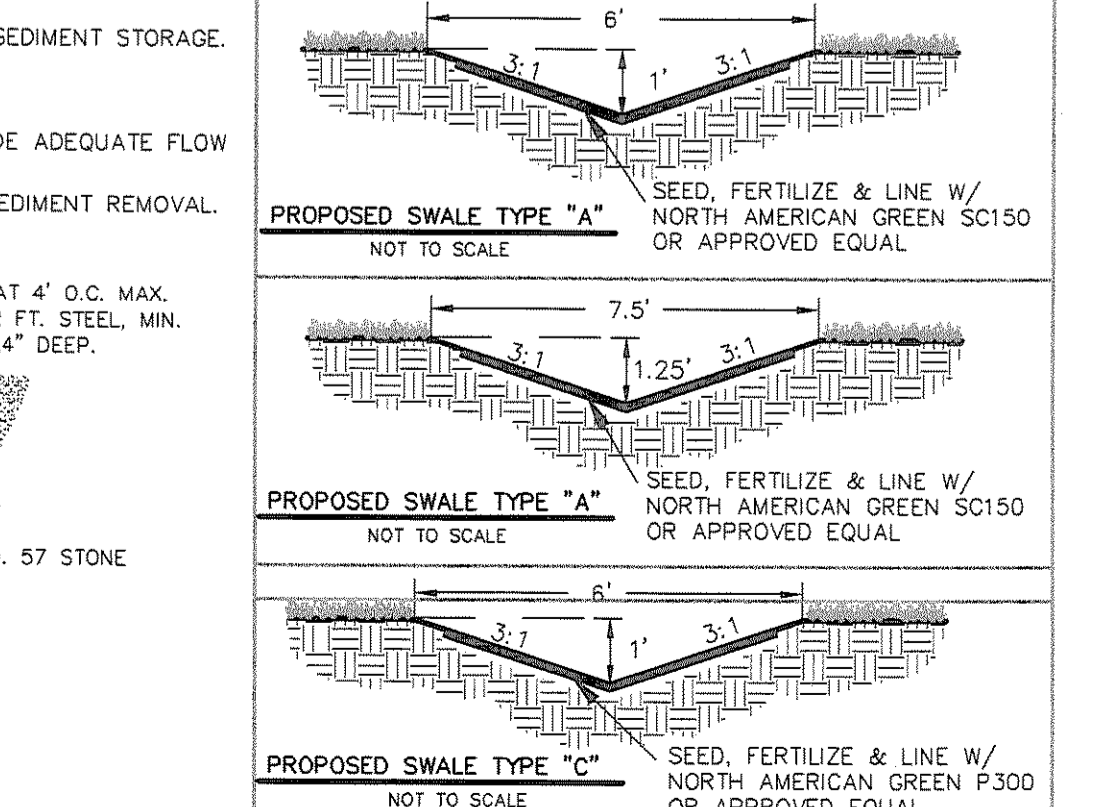
- ### DESIGN CRITERIA
- STONE SIZE - Use 2" stone, or reclaimed or recycled concrete equivalent.
  - LENGTH - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
  - THICKNESS - Not less than six (6) inches of "ABC" or "Base Course".
  - WIDTH - Fourteen (14) foot minimum for one way traffic, twenty (20) foot minimum for two way traffic, but not less than the full width at points where ingress or egress occurs.
  - ROAD GRADE - A maximum grade of 10% to 12% is recommended, although grades up to 15% are possible for short distance.
  - SIDE SLOPE OF ROAD EMBANKMENT - 2:1 or flatter.

- ### CONSTRUCTION SPECIFICATIONS
- Clear roadbed and parking areas of all vegetation, roots, and other objectionable material.
  - Ensure that road construction follows the natural contours of the terrain if it is possible.
  - Locate parking areas on a naturally flat areas if they are available. Keep grades sufficient for drainage but generally not more than 2% to 3%.
  - Provide surface drainage, and divert excess runoff to stable areas by using water bars or turnouts.
  - Keep cuts and fills at 2:1 or flatter for safety and stability and to facilitate establishment of vegetation and maintenance.
  - Spread a 6-inch course of "ABC" crushed stone evenly over the full width of the road and smooth to avoid depressions.
  - Where seepage areas or seasonally wet areas must be crossed, install subsurface drains or geotextile fabric cloth before placing the crushed stone.
  - Vegetate all roadside ditches, cuts, fills, and other disturbed areas or otherwise appropriately stabilize as soon as grading is complete.
  - Provide appropriate sediment control measures to prevent off-site sedimentation.

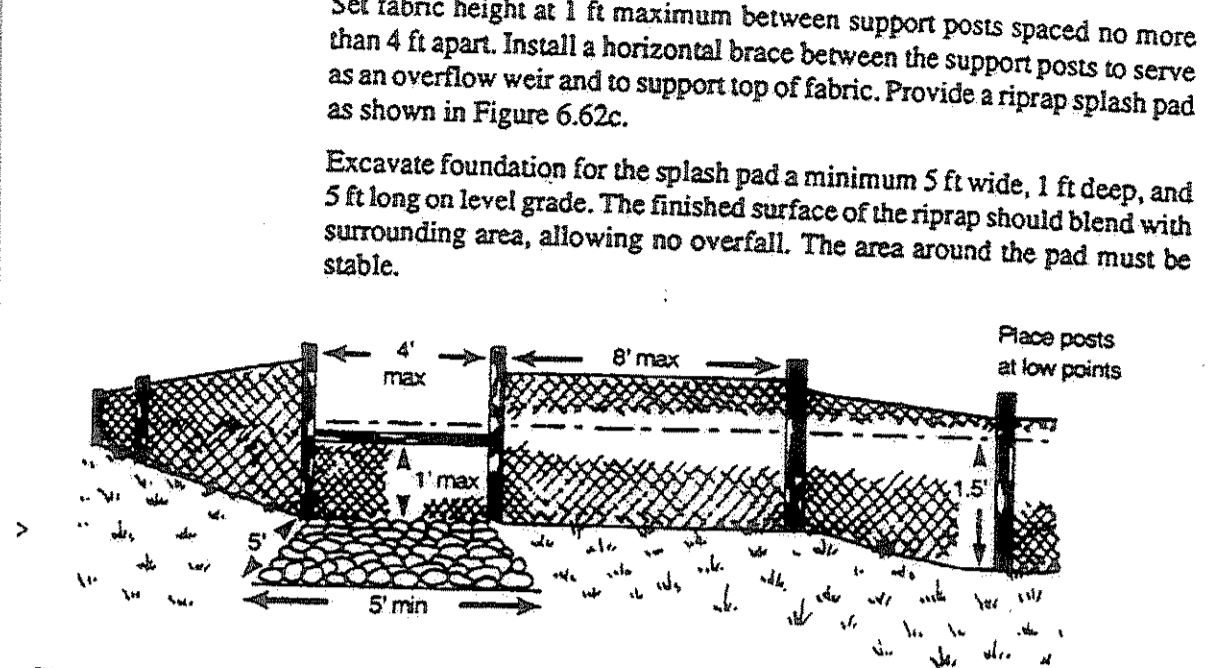
### STABILIZED CONSTRUCTION ENTRY/EXIT



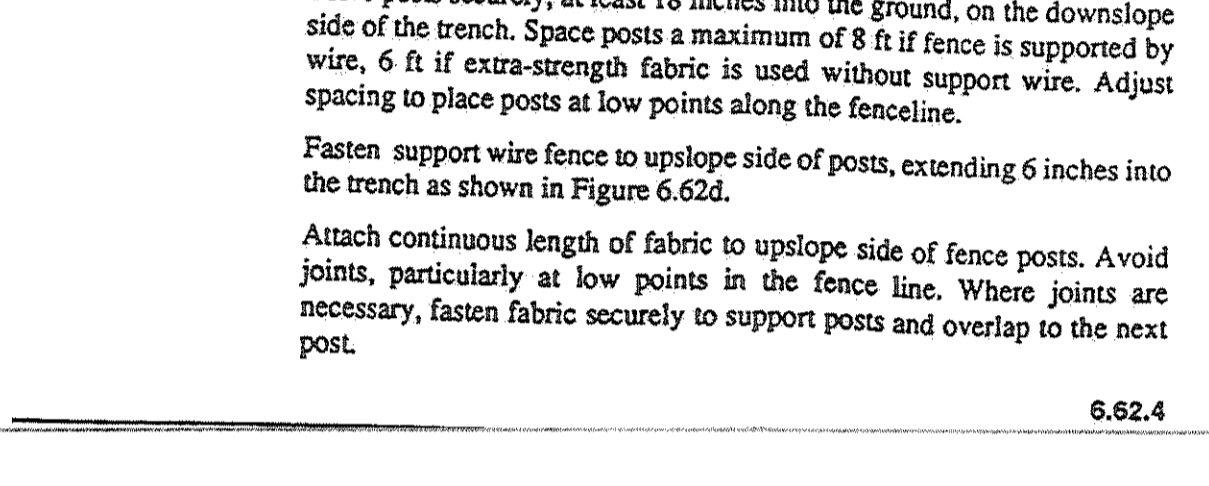
- ### CONSTRUCTION SPECIFICATIONS
- ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE THE GROUND SURFACE.
  - CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL OUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT A SUPPORT POST WITH A FEET MINIMUM OVERLAP TO THE NEXT POST.
  - SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN FABRIC ON THE UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUNDS TENSILE STRENGTH.
  - WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE POSTS A MAXIMUM OF 8 FEET APART. SUPPORT POSTS SHOULD BE DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24 INCHES.
  - EXTRA STRENGTH FILTER FABRIC WITH 6 FEET POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUND TENSILE STRENGTH.
  - EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 8 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  - PLACE 12 INCHES OF THE FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
  - BACKFILL THE TRENCH WITH SOIL PLACED OVER THE FILTER FABRIC AND COMPACT.
  - THOROUGH COMPACTION OF THE BACKFILL IS CRITICAL TO SILT FENCE PERFORMANCE.
  - DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.



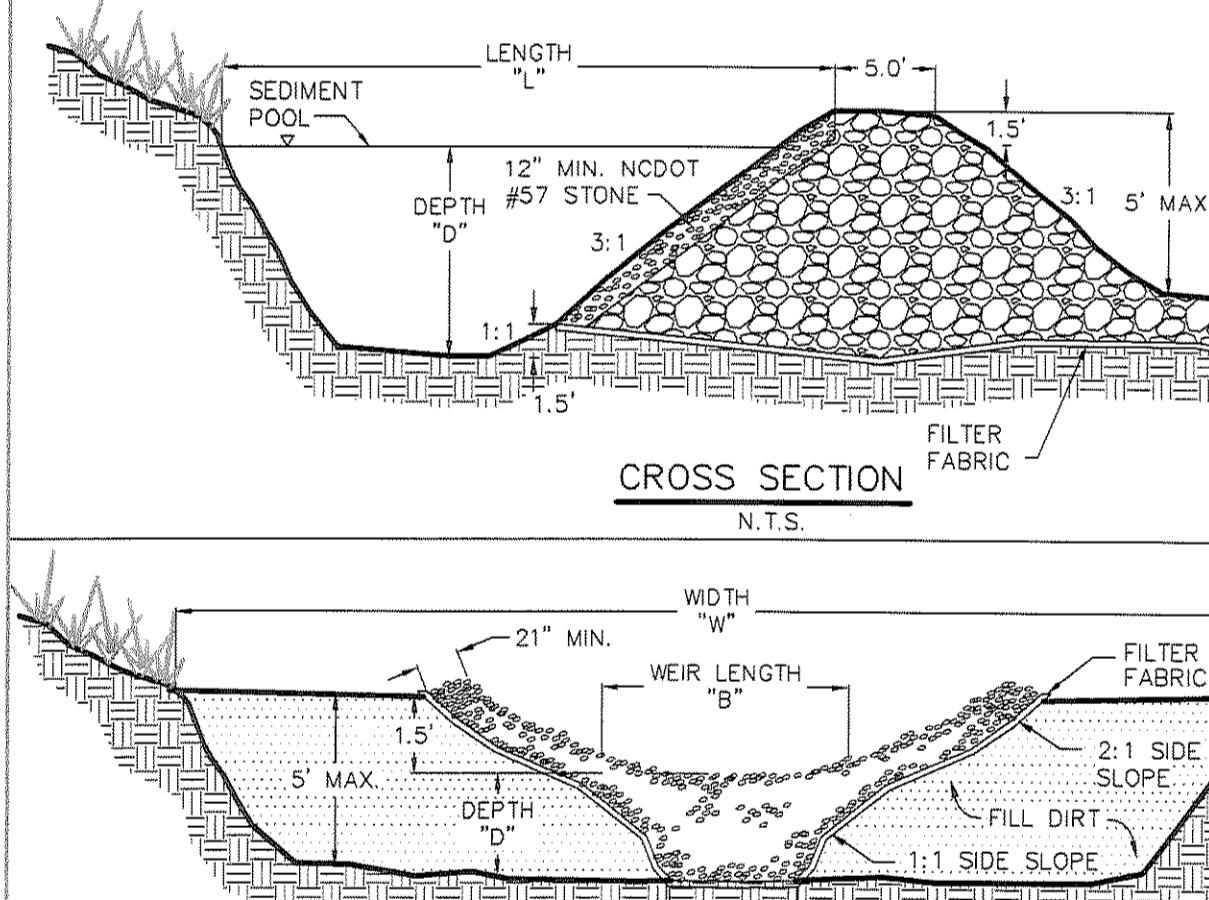
### REINFORCED STABILIZED OUTLET



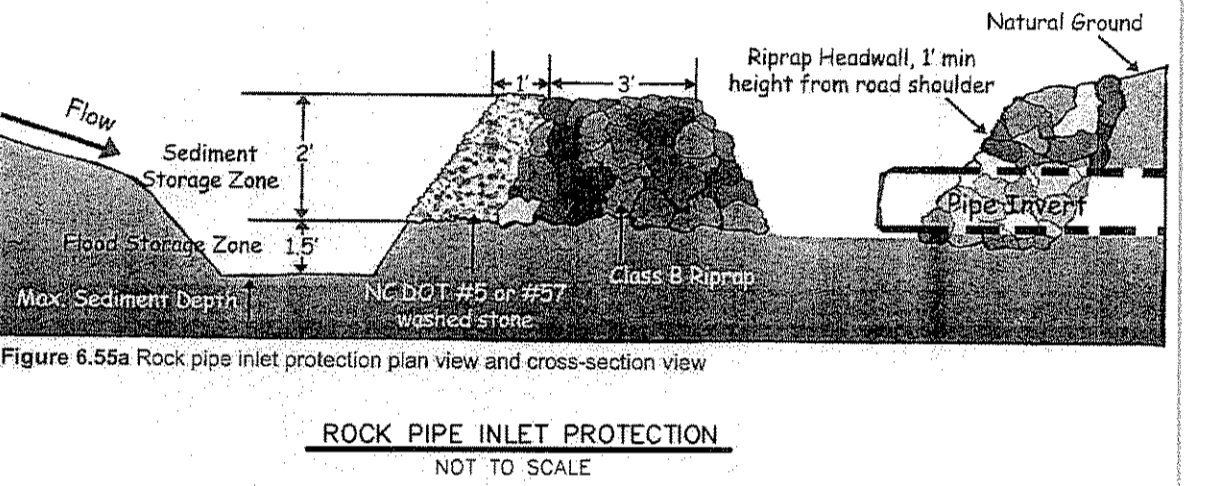
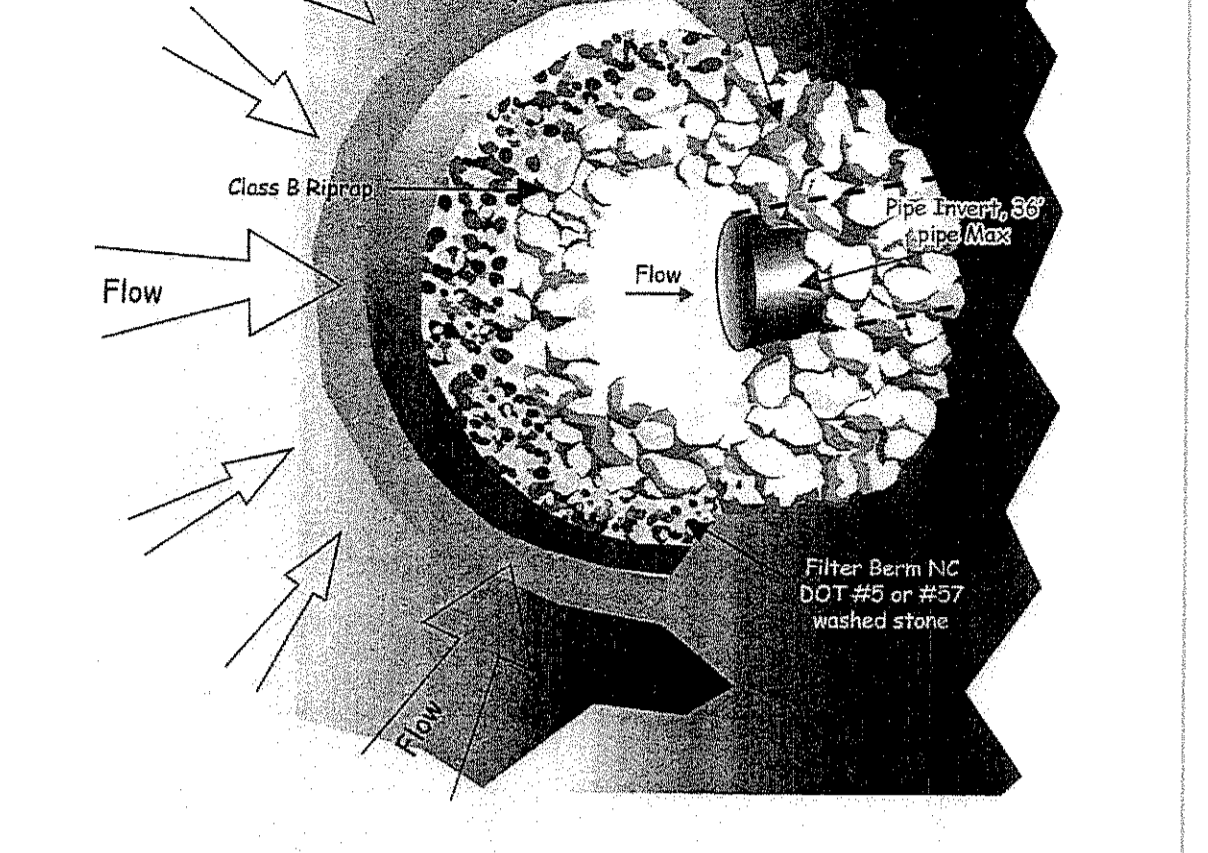
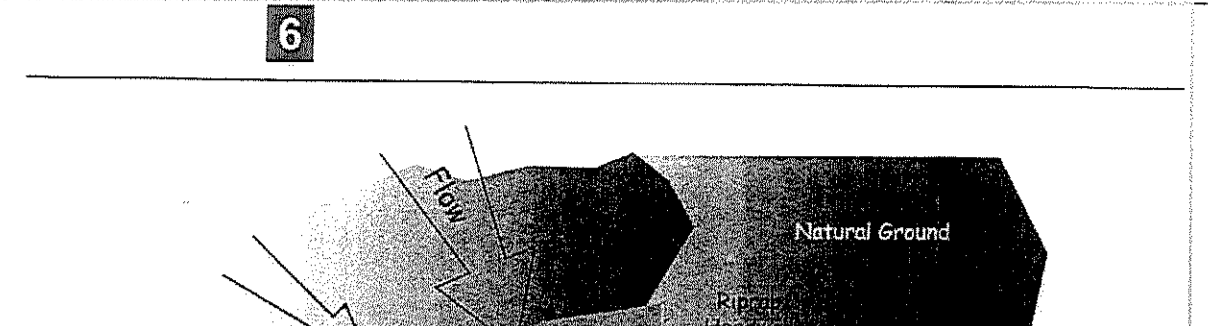
- ### CONSTRUCTION
- Dig a trench approximately 8 inches deep and 4 inches wide, or a V-trench, in the line of the fence as shown in Figure 6.62d.
  - Drive posts securely, at least 18 inches into the ground, on the downslope side of the trench. Space posts a maximum of 8 ft if fence is supported by wire, 6 ft if extra-strength fabric is used without support wire. Adjust spacing to place posts at low points along the fence line.
  - Fasten support wire to upslope side of posts, extending 6 inches into the trench as shown in Figure 6.62d.
  - Attach continuous length of fabric to upslope side of fence posts. Avoid joints, particularly at low points in the fence line. Where joints are necessary, fasten fabric securely to support posts and overlap to the next post.



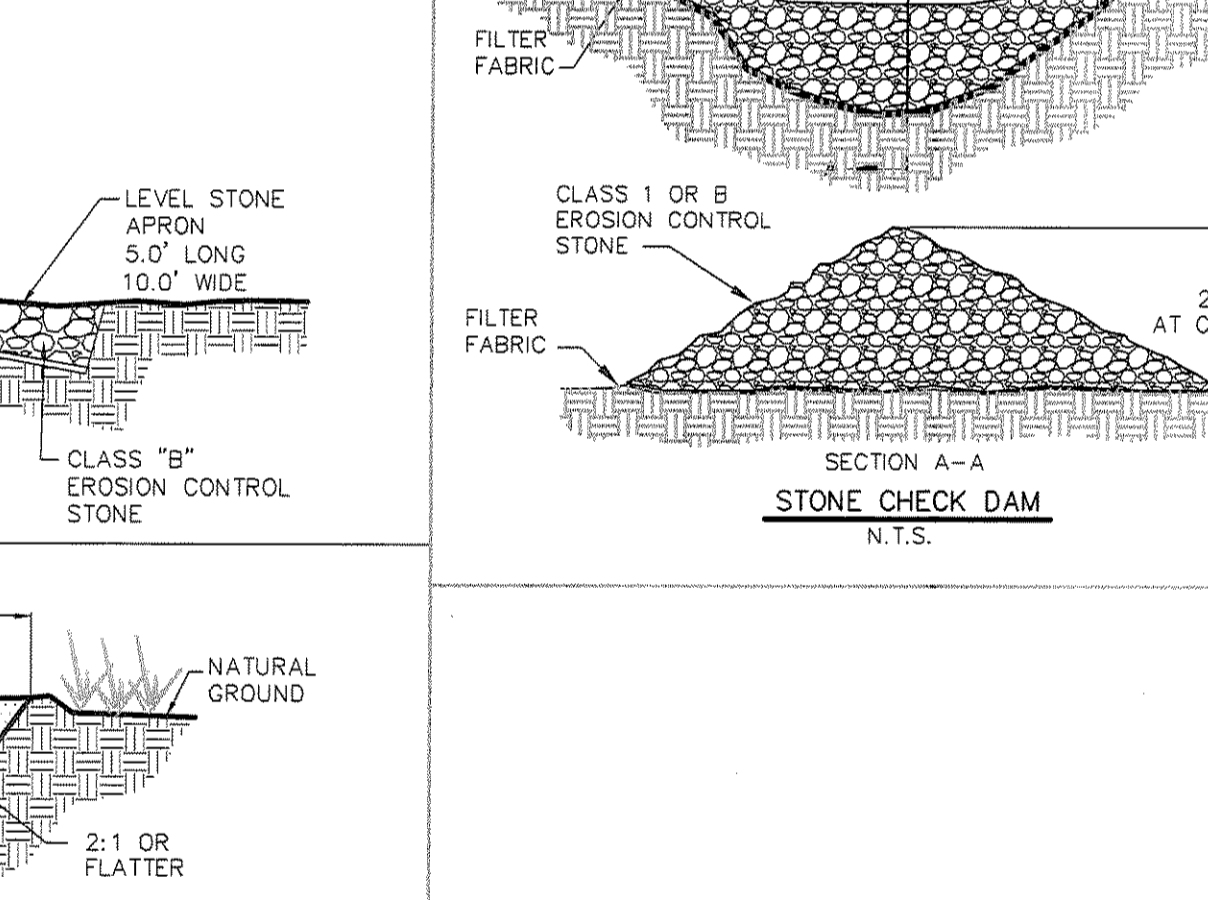
### TEMPORARY SEDIMENT TRAP



- ### CONSTRUCTION SPECIFICATIONS
- CLEAR GRUB & STRIP THE AREA UNDER THE EMBANKMENT OF ALL VEGETATION AND ROOT MAT.
  - CLEAR POND AREA. BASIN SHOULD BE EXCAVATED TO 1.5 FEET BELOW GRADE.
  - USE FILL MATERIAL FREE OF ROOTS, WOODY VEGETATION AND ORGANIC MATTER. PLACE FILL IN LIFTS NOT TO EXCEED 9" AND MACHINE COMPACT.
  - CONSTRUCT DAM AND STONE SPILLWAY TO DIMENSIONS, SLOPES AND ELEVATIONS SHOWN.
  - ENSURE THAT THE SPILLWAY CREST IS LEVEL AT LEAST 1.5' BELOW THE TOP OF THE DAM AT ALL POINTS.
  - STONE USED FOR SPILLWAY SECTION - CLASS "B" EROSION CONTROL STONE.
  - STONE USED ON INSIDE SPILLWAY FACE TO CONTROL DRAINAGE - D.O.T. #57 WASHED STONE.
  - EXTEND STONE OUTLET SECTION ON ZERO GRADE WITH TOP ELEVATION OF STONE LEVEL WITH BOTTOM OF DRAIN.
  - ENSURE THAT THE TOP OF THE DAM AT ALL POINTS IS 0.5' ABOVE NATURAL SURROUNDING GROUND.
  - STABILIZE THE EMBANKMENT AND ALL DISTURBED AREA ABOVE THE SEDIMENT POOL AS SHOWN IN THE PLANS.
  - INSTALL BAFFLES.
  - REMOVE SEDIMENT FROM THE TRAP AND RESTORE THE CAPACITY TO ORIGINAL TRAP DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH.
  - AFTER THE CONSTRUCTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND STABILIZE IT.



### STONE CHECK DAM



TRAP #	"L"	"W"	"D"	"B"	BOTTOM ELEV.
5	44'	22'	3'	4'	2218'
6	46'	23'	3'	4'	2170'

811 Know what's below. Call before you dig.

Revisions

date: 6/10/13  
job: 13114  
drawn: TWT

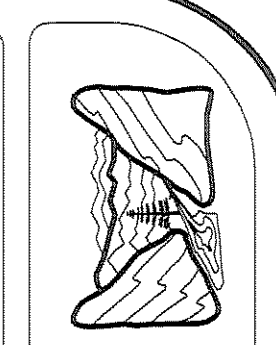
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RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

GRADING & EROSION CONTROL DETAILS

sheet  
C-205



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NORTH CAROLINA

GRADING & EROSION CONTROL  
DETAILS

sheet  
C-206

### SEEDING SPECIFICATIONS

- I. TEMPORARY COVER**
- A. LIME & FERTILIZER - CONTRACTOR SHALL FURNISH AND APPLY LIME AND FERTILIZER TO THE SOIL AS REQUIRED TO PROVIDE SATISFACTORY CONDITIONS FOR SEED GERMINATION. AN APPLICATION RATE OF 2000 LBS PER ACRE OF GROUND AGRICULTURAL LIME AND 750 LBS/ACRE OF FERTILIZER (10-10-10).
- THESE MATERIALS SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE PLANTED. THE SOIL SHALL BE TILLED TO A DEPTH OF 3 - 4 INCHES WITH EQUIPMENT APPROVED BY THE ENGINEER.
- B. TEMPORARY COVER SEEDING - CONTRACTOR SHALL SELECT A QUICK GROWING GRASS WITH HIGH SEEDING VIGOR THAT IS SUITED TO THE AREA, THE TIME OF PLANTING, AND THAT WILL NOT INTERFERE WITH PLANTS TO BE SOWN LATER FOR PERMANENT COVER.
- MAY THROUGH AUGUST
- SUNDANGRASS 50 LB./AC.  
OR GERMAN MILLET 40 LB./AC.
- SEPT. THROUGH APRIL
- RYEGRASS 120 LBS./AC.
- ALL SEEDS SHALL HAVE BEEN TESTED NOT MORE THAN 6 MONTHS PRIOR TO THE DATE OF SEEDING.
- CONTRACTORS SHALL APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTPACKER SEEDER, OR HYDRAULICALLY.
- A. SLURRY MIXTURE OF WATER, FERTILIZER, SEED, AND CELLULOSE FIBER MULCH IS ACCEPTABLE ON THIS PROJECT.
- C. MULCHING - IN ORDER TO REDUCE DAMAGE FROM WATER RUN-OFF AND IMPROVE MOISTURE CONDITIONS FOR SEEDLINGS, A MULCH MATERIAL SHALL BE FURNISHED WHEN TEMPORARY SEEDING IS TO BE DONE. ACCEPTABLE MATERIALS ARE:**
- A. DRY UNCHOPPED, UNWEATHERED SMALL GRAIN STRAW OR HAY FREE OF SEEDS OF COMPETING PLANTS - 1-2 TON/ACRE
  - B. WOOD FIBER (EXCELSIOR)
  - C. WOOD CELLULOSE FIBER - 500 LBS./ACRE WITHOUT STRAW
  - D. JUTE MATTING -
- II. PERMANENT COVER**
- A. CONTRACTOR SHALL FURNISH AND APPLY 90 LBS./1000 S.F. OF GROUND AGRICULTURAL LIME (2 TONS PER ACRE), 25 LBS./1000 S.F. OF FERTILIZER (10-10-10) (1000 LBS. PER ACRE), AND 2.5 LBS./1000 S.F. KENTUCKY 31 TALL FESCUE (100 LBS. PER ACRE) IN THE MANNER DESCRIBED ABOVE IN PARTS 1, 2 & 3. APPLY NURSE CROP AS FOLLOWS:
- MAY 1 - AUG 15 - 10 LBS./AC. GERMAN MILLET OR 15 LBS./AC. SUNDANGRASS
- AUG 15 - MAY 1 - 40 LBS./AC. RYE (GRAIN)
- B. SEEDING DATES: KY 31 TALL FESCUE  
AUG 20 - SEPT. 15 (BELOW 2500' ELEVATION)  
MARCH 1 - MAY 1
  - SEEDING DATES: KY 31 TALL FESCUE  
JULY 15 - AUG. 30 (ABOVE 2500' ELEVATION)  
MARCH 5 - MAY 15
- C. MULCHING
- APPLY 4,000 LB PER ACRE OF GRAIN STRAW SUITABLY TACKED DOWN.  
ADD NETTING TO STEEP SLOPES AND STAPLE PER MANUFACTURERS RECOMMENDATIONS.

### NCDENR Self Inspection Program for Erosion and Sedimentation Control

Effective October 1, 2010, persons conducting land disturbing activities larger than one acre must inspect their project at for each phase of the project, and document the inspection in writing.

1. The financially responsible party, landowner or their agent may conduct the inspection.
2. Alteration and sedimentation control measures, including sedimentation control basins, sedimentation traps, sedimentation ponds, rock dams, temporary diversions, temporary slope drains, rock check dams, sediment fence or barriers, all forms of inlet protection, storm drainage facilities, energy dissipaters, and stabilization methods of open channels must be inspected.
3. The need for ground cover should also be checked. Temporary or permanent ground cover must be provided on exposed graded slopes and fill within 21 calendar days of the completion of a phase of grading. Permanent ground cover must be provided within 15 working days or 90 calendar days (60 days in HGW zones), whichever term is shorter, upon the completion of construction or development.
4. The actual dimensions (length and width) of the basins have to be checked, usually with a tape measure, and compared to the dimensions on the approved plan. Only relative elevations, comparing the bottom and top elevations are necessary.
5. A significant deviation means an omission, alteration or relocation of an erosion or sedimentation control measure that prevents the measure from performing as intended. If the approved erosion and sedimentation control plan cannot be followed, a revised plan should be submitted for review.
6. Use the NonFinal Inspection Report for Land Disturbing Activity as Required by NCGS §134-54.11. It can be completed by hand or computer as an Excel spreadsheet. An alternative is to make notations on the copy of the approved erosion and sedimentation control plan that is kept on the project site. Rule 15A-NCAC 04B.0121 states that documentation shall be accomplished by initialing and dating each measure or practice shown on a copy of the approved erosion and sedimentation control plan or by completing, dating and signing an inspection report that lists each measure, practice or device shown on the approved erosion and sedimentation control plan.
7. NPDES Self-Monitoring Report may only be used to report that the maintenance and repair requirements for all temporary and permanent erosion and sedimentation control measures, practices and devices have been performed.
8. Unlike the NPDES Self-Monitoring Report, the Self-Inspection Report for Land Disturbing Activity does not have to be weekly. Rather, this report is completed after each phase of a approved erosion and sedimentation control plan is complete. Not every project will have all the possible phases, but the list of phases includes the following:
  - Installation of perimeter erosion and sediment control measures;
  - Clearing and grubbing of existing ground cover;
  - Completion of any phase of grading of slopes or fills;
  - Installation of storm drainage facilities;
  - Completion of construction or development;
  - Establishment of permanent ground cover sufficient to restrain erosion.
9. Do not mail the report. The records must be made available to the erosion control inspector at the site. Any documentation of inspections that occur on a copy of the approved erosion and sedimentation control plan shall occur on a single copy of the plan and that plan shall be made available on the site. Any inspection reports shall also be made available on the site.

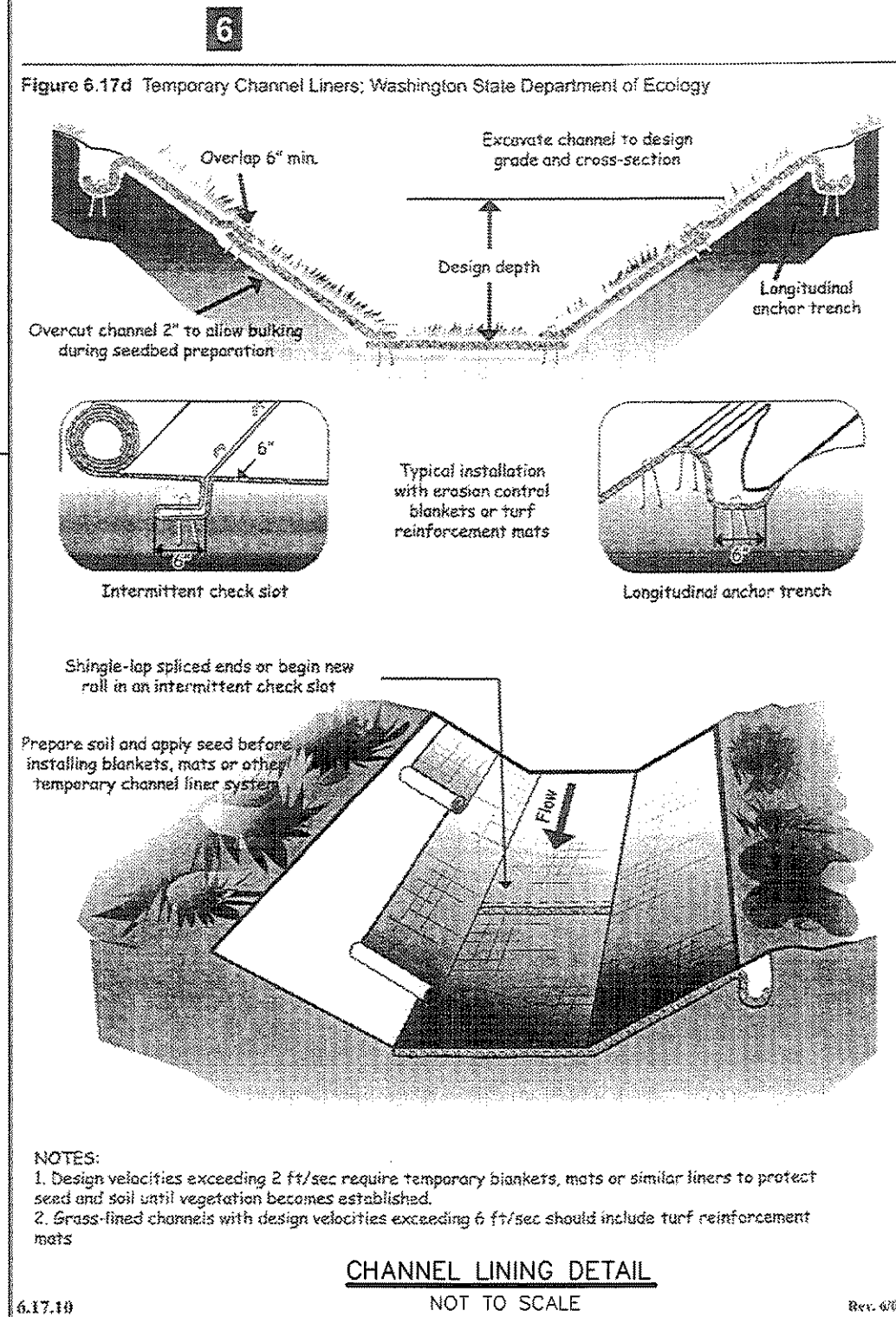
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Revisions

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### GENERAL CONSTRUCTION NOTES

1. All work and construction activities on the project site shall comply with all applicable OSHA regulations and requirements. It is the Contractor's responsibility to maintain a safe work site.
  2. The Engineer and Owner reserve the right to modify project work items (including grading) as deemed necessary for the successful completion of the project. The Contractor may suggest adjustments to grading or other work items to be approved by the Engineer or Owner.
  3. The Contractor shall comply with the Geotechnical Report for the placement of fill and compaction requirements. If no report is available, the following minimum standards shall apply:
- Placement of fill:**
- A. Place the material in successive horizontal layers not exceeding 6" for the full width of the cross section.
  - B. Fill shall be placed only when it is within 3% of its optimum moisture content as determined by a Standard Proctor ASTM D 698.
  - C. Each layer of fill shall be spread evenly and shall be compacted to its specified density as determined by Standard Proctor ASTM D 698 before new layers are placed and compacted.
  - D. Sloped ground surfaces steeper than one vertical to four horizontal, on which fill is to be placed, shall be stepped or banded such that fill material will bond to the existing surfaces.
  - E. Embankment slopes shall be constructed by filling one (1) foot beyond the proposed finished slope surface for each lift. Compaction equipment shall work to the edge of each lift. After the entire fill is placed and compacted, the outside foot of the slope shall be trimmed to the design slope with a dozer. Unless indicated on the drawings, no fill slopes shall be steeper than 2 horizontal to 1 vertical.
- Compaction:**
- A. Structural Fill Under Buildings and Within 10' of Building Perimeter: 100% of Standard Proctor at the entire depth of fill.
  - B. Under Walks, Drives, Pads, and Paved Areas: 95% of Standard Proctor except 100% of Standard Proctor in the upper 2'.
  - C. Under Lawns and Planting Areas Beyond 10' from Building: 95% of Standard Proctor.
  - D. Backfill in Trenches: Comply with compaction requirements for the area through which the trench runs.
4. All erosion control devices such as silt fences, diversions, sediment traps, etc. shall be maintained in workable conditions for the life of the project and shall be removed at the completion of the project only with the Engineer's approval. See the NPDES requirements on this plan sheet for more detail. If during the life of the project a storm causes soil erosion which changes the finished grades or creates gullies and washed areas, these shall be repaired by the Contractor at no extra cost. The Contractor shall adhere to this approved erosion control plan and take any additional measures necessary to prevent sediment from leaving the site.

### NPDES REQUIREMENTS

The contractor shall be aware that any project with a disturbed area of greater than one acre must now comply with NPDES requirements for new construction projects. The contractor should obtain a copy of the plan approval and should follow all requirements including but not limited to:

A.) GROUND STABILIZATION

Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches and slopes	7 Days	None
High Quality Water (HQP) Zones	7 Days	None
Slopes steeper than 3:1	7 Days	If Slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 Days	7 days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 Days	None (except for perimeters and HQW Zones)

\*Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable." (Section II.b (2)(B))

1. Placement and upkeep of rain gauge on site that must be monitored throughout the course of the project.
2. The contractor shall keep a log of all rainfall events, erosion control activities, and inspections throughout the course of the project. This log must be kept on site at all times and be available for inspection.
3. The contractor shall inspect all erosion control measures in accordance with the NPDES requirements. A minimum inspection schedule of weekly and in 24 hours after every significant (1/2 inch or more) rainfall event (obtain copy of the permit for this project for details).

### B.) INSPECTIONS

1. Inspection reports must be available on-site during business hours unless a site-specific exemption is approved.
2. Records must be kept for 3 years and available upon request.

### C.) BUILDING WASTE HANDLING

1. No paint or liquid wastes in stream or storm drains.
2. Dedicated areas for demolition, construction and other wastes located 50' from storm drains and streams unless no reasonable alternatives are available.
3. Earthen-material stockpiles located 50' from storm drains unless no reasonable alternative available.
4. Concrete materials must be controlled to avoid contact with surface waters, wetlands, or buffers.

7-06 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

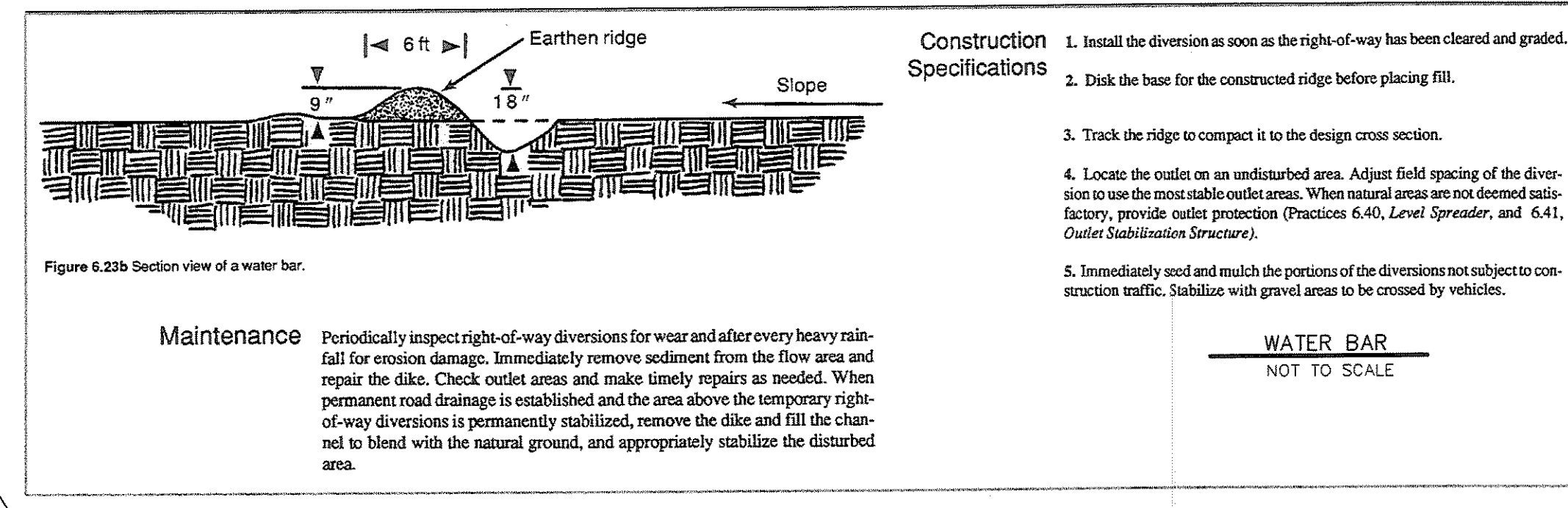
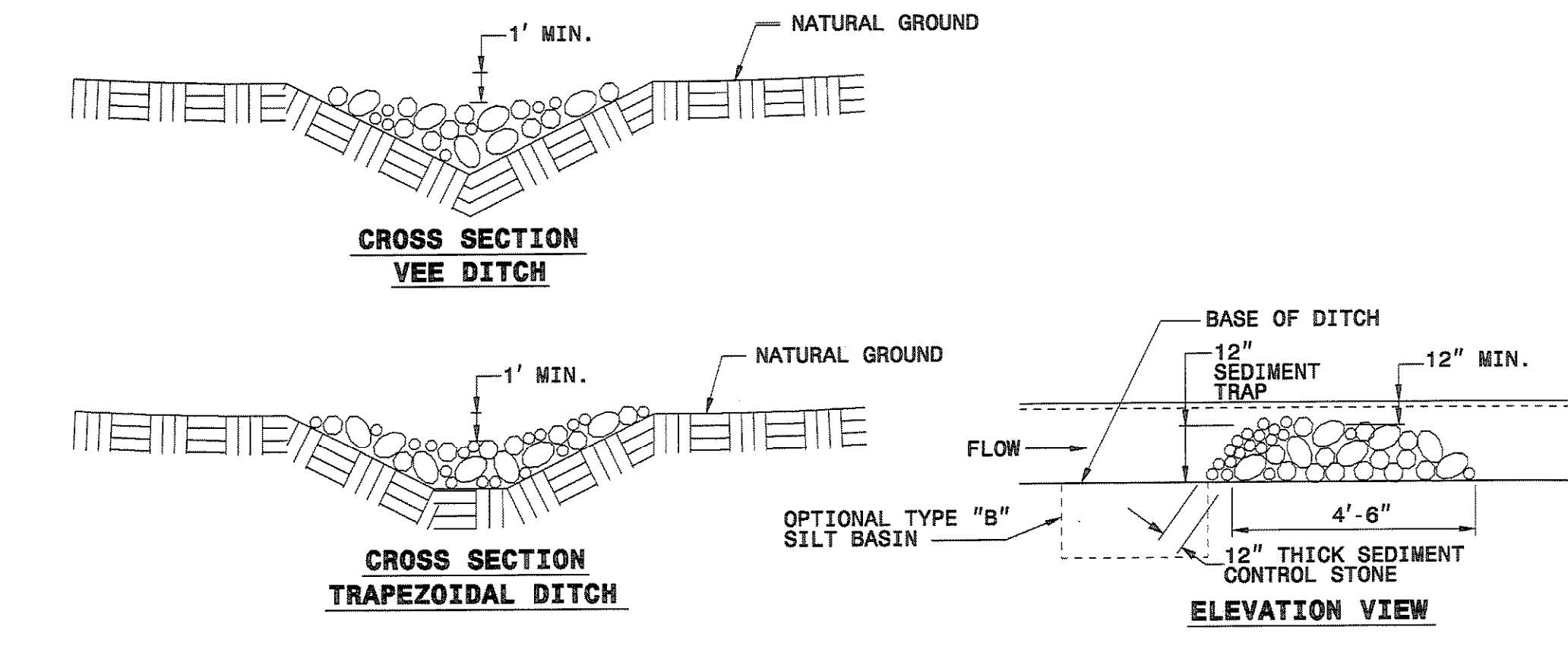
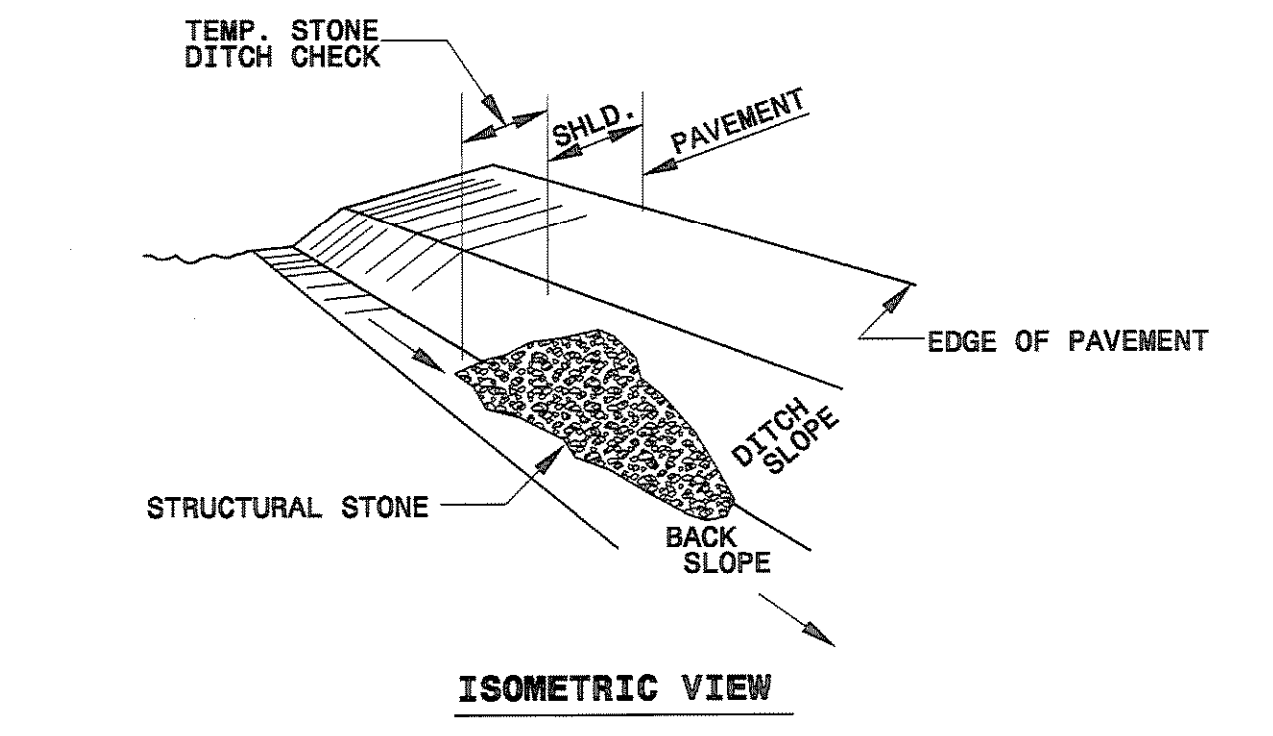
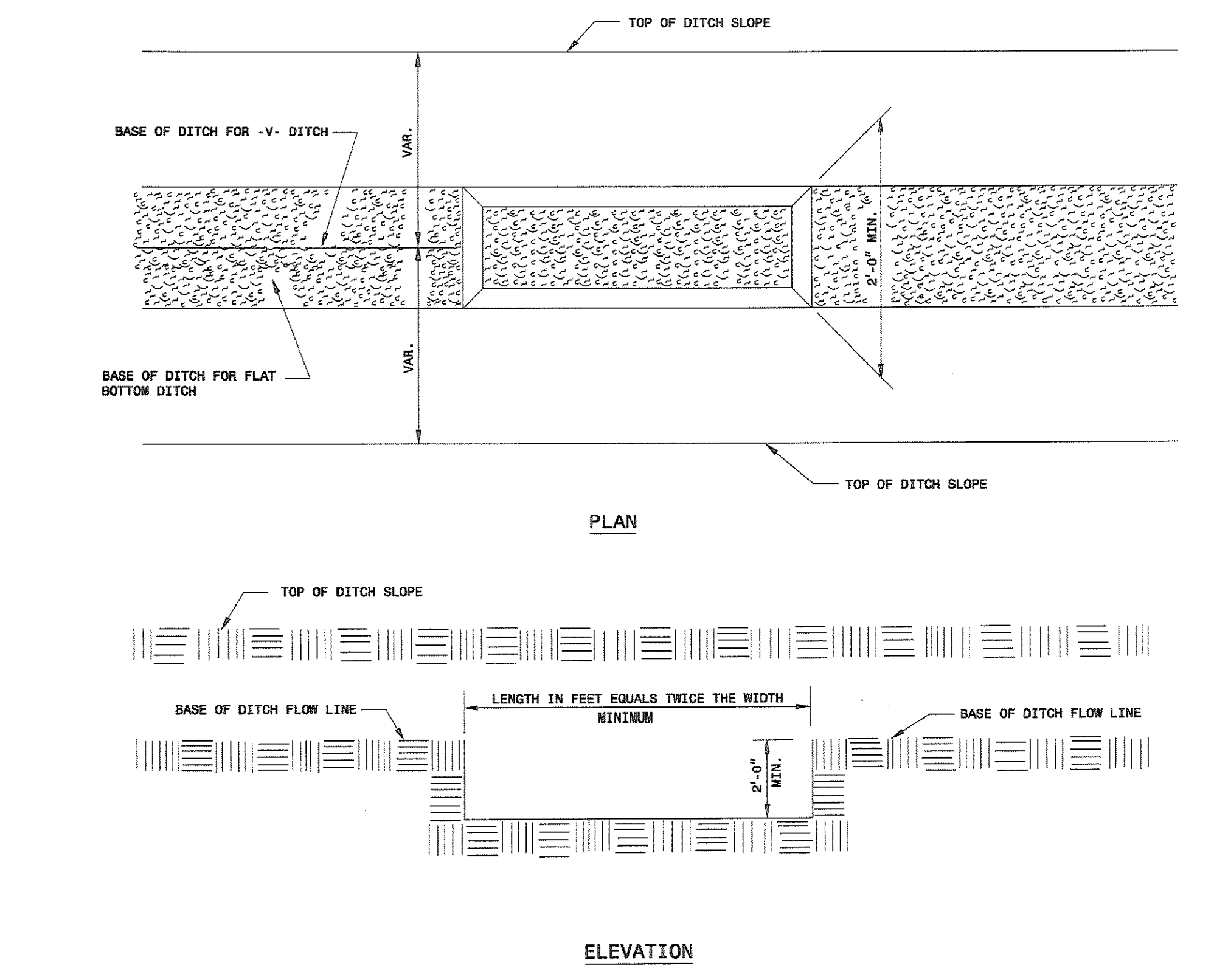
ENGLISH STANDARD DRAWING FOR SILT BASIN TYPE 'B'

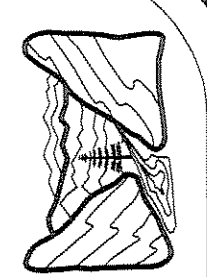
SHEET 1 OF 1  
1630.02

7-06 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR TEMPORARY ROCK SILT CHECK TYPE 'B'

SHEET 1 OF 1  
1633.02



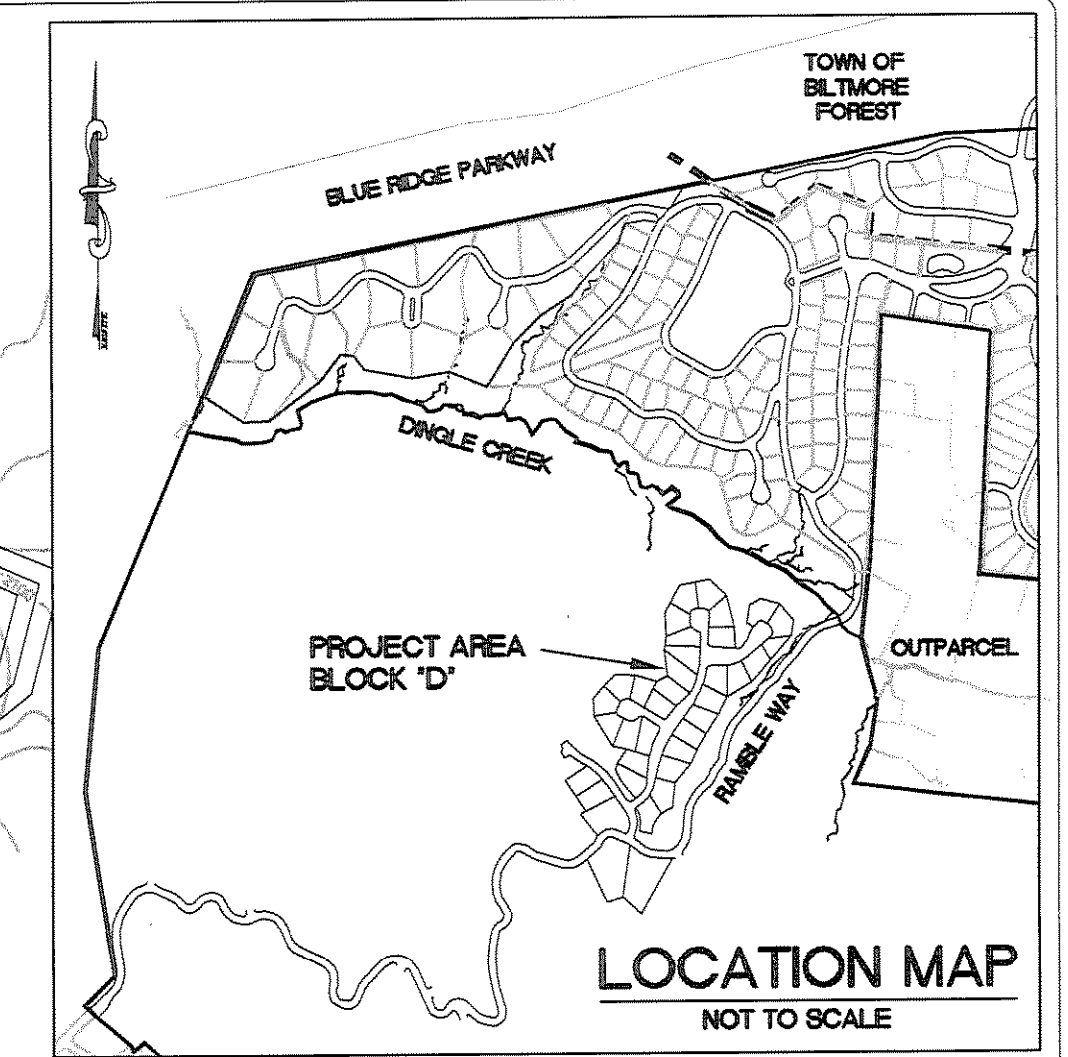


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HENDERSONVILLE, NORTH CAROLINA

THE RAMBLE BILTMORE FOREST  
BLOCK "D",  
BUNCOMBE COUNTY  
NORTH CAROLINA

STORM DRAINAGE PLAN

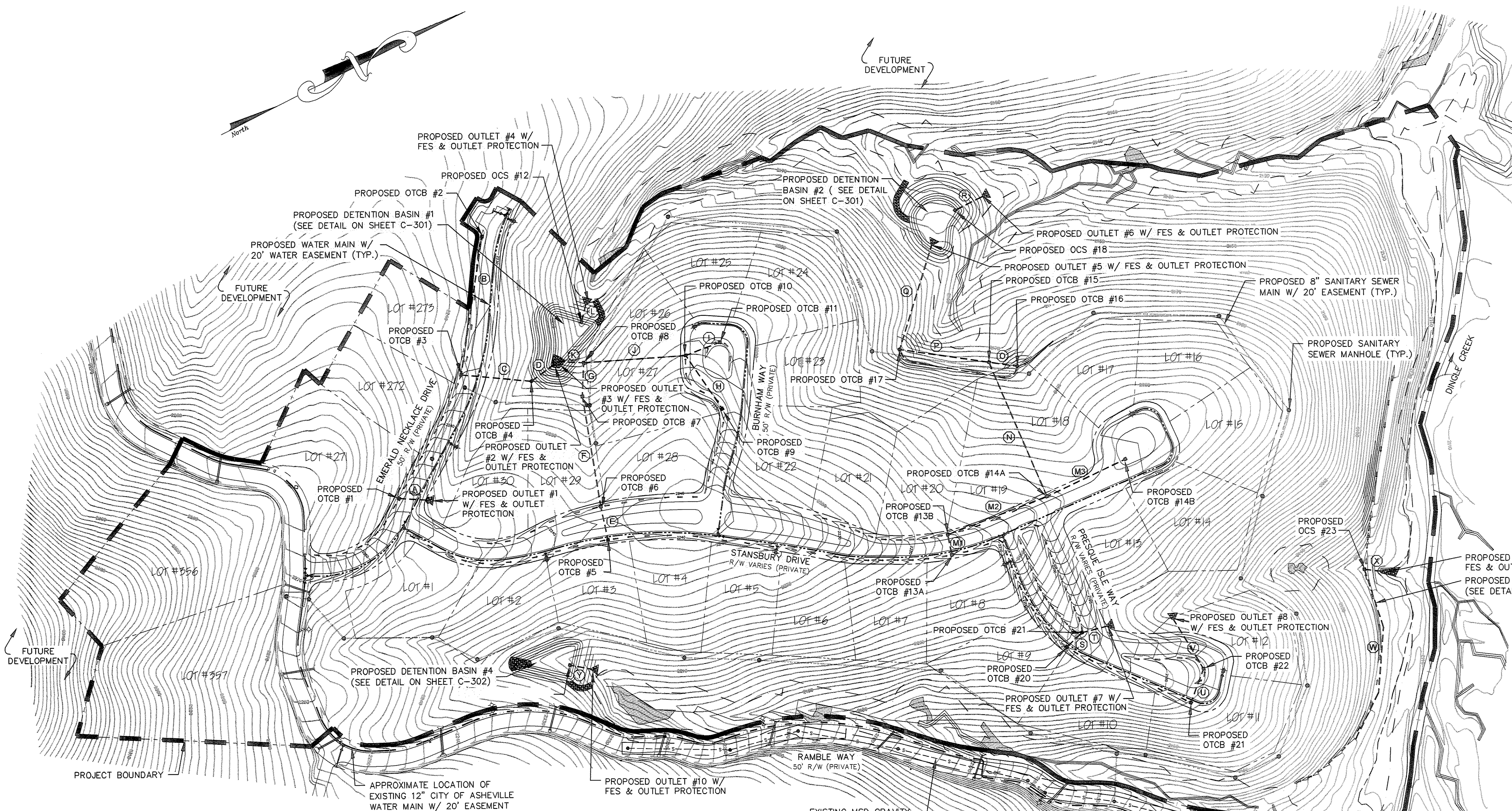
sheet  
C-300



LEGEND

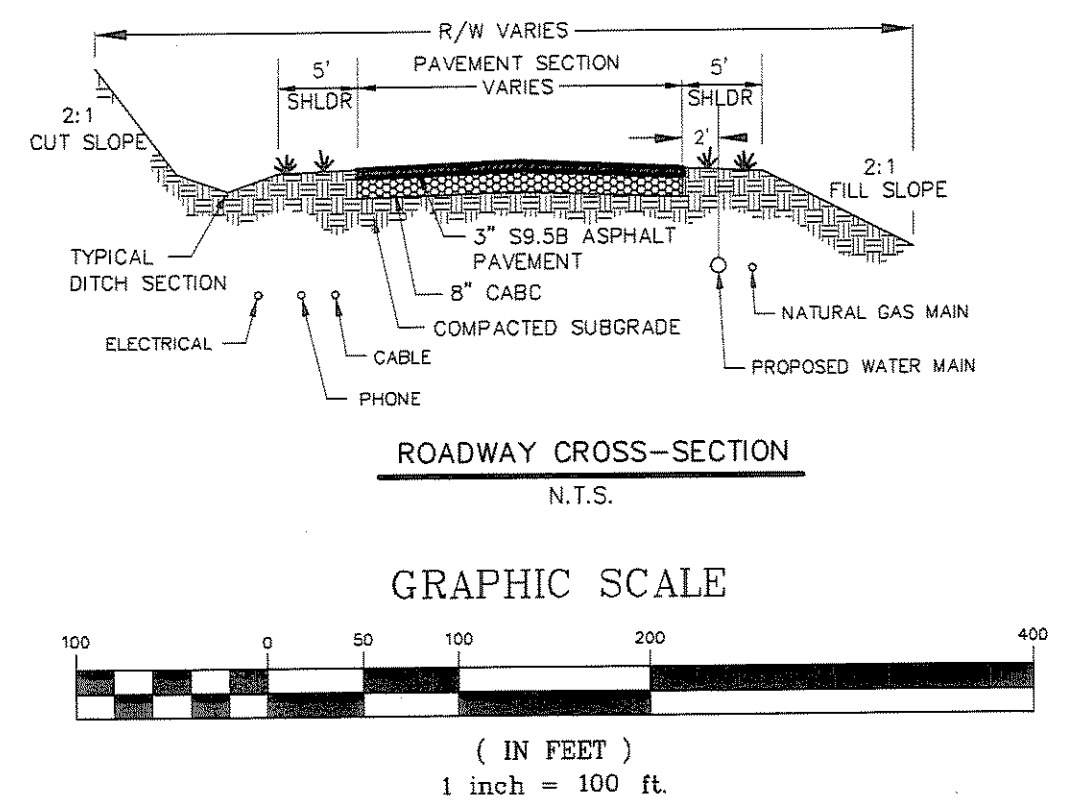
- EXISTING 2' CONTOUR
- PROPOSED 2' CONTOUR
- EXISTING STORM DRAINAGE PIPING
- - - PROPOSED STORM DRAINAGE PIPING
- EXISTING STORM DRAINAGE STRUCTURE
- PROPOSED STORM DRAINAGE STRUCTURE
- EXISTING WATER SYSTEM
- - - PROPOSED WATER SYSTEM
- EXISTING SANITARY SEWER SYSTEM
- - - PROPOSED SANITARY SEWER SYSTEM

- NOTES:
- 1.) 2' CONTOUR INTERVAL.
  - 2.) ALL STORM DRAINAGE INLETS SHALL BE PROVIDED WITH GRAVEL INLET PROTECTION AS DETAILED ON SHEET C-205.
  - 3.) ALL STORM DRAINAGE PIPE SHALL BE HDPE SMOOTH WALL INTERIOR, BELL AND SPIGOT, SOIL TIGHT JOINTS, UNLESS OTHERWISE SPECIFIED ON PLANS.
  - 4.) CONTRACTOR SHALL ENSURE ALL EXISTING AND PROPOSED STORM DRAINAGE STRUCTURES, PIPES AND GRADES WILL PROVIDE POSITIVE DRAINAGE TO STRUCTURES PRIOR TO INSTALLATION.
  - 5.) ALL PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED GRADE.
  - 6.) ALL DRAINAGE STRUCTURES THAT ARE GREATER THAN 4' IN DEPTH SHALL HAVE ACCESS STEPS INSTALLED 16" ON CENTER.
  - 7.) SEE SHEETS C-301 & C-302 FOR ADDITIONAL DETAILS ON OCS STRUCTURES.



DEVELOPMENT BLOCK:

PROJECT NAME: THE RAMBLE BILTMORE FOREST BLOCK "D"  
PROJECT ADDRESS: RAMBLE WAY  
OWNER/DEVELOPER: RAMBLE BILTMORE FROEST, LLC  
ONE TOWN SQUARE BLVD, SUITE 330  
ASHEVILLE, NC 28803  
(828) 209-2000  
CONTACT PERSON: LEE THOMASON  
ONE TOWN SQUARE BLVD, SUITE 330  
ASHEVILLE, NC 28803  
(828) 209-2000  
ENGINEER: WILLIAM R. BUJE, P.E.  
WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.  
214 N. KING STREET  
HENDERSONVILLE, NC 28792  
(828) 687-7177  
PIN #: 9645-46-2140  
TOTAL PROPERTY SIZE: 49.8± AC.  
TOTAL # OF PROPOSED LOTS: 35 LOTS  
DENSITY: 1 LOT / 1.42± AC.  
PROPOSED ROAD: 3,068 LF±  
CORRIDOR 90' OR LESS: 2,364 LF (77.1%)  
CORRIDOR 91' TO 135': 704 LF (22.9%)  
MAX. CORRIDOR HEIGHT: 10'  
DEED REF: D.B. 3836 PG. 0521  
ZONING: R-1 (BUNCOMBE COUNTY)  
TOWNSHIP: LOWER HOMINY CREEK  
BUILDING SETBACKS: REQUIRED  
FRONT - 20' (from ROW)  
SIDE - 10'  
REAR - 20'



STRUCTURE TABLE

STRUCTURE	TOP ELEV.	STRUCTURE TABLE	DEPTH	TYPE
		DROP INV. IN	INV. ELEV.	
1	2249.80	---	2244.60	5.00 OTCB
2	2248.75	---	2244.75	4.00 OTCB
3	2233.00	---	2223.53	8.47 OTCB
4	2216.00	2211.00'	2198.86	17.14 OTCB
5	2236.30	---	2229.80	6.50 OTCB
6	2236.30	---	2229.49	6.81 OTCB
7	2217.00	---	2208.76	8.24 OTCB
8	2208.75	2204.75'	2198.50	10.25 OTCB
9	2226.40	---	2221.90	4.50 OTCB
10	2224.00	---	2217.68	6.32 OTCB
11	2222.50	---	2218.60	4.90 OTCB
12	2200.00	---	2193.84	6.16 OTCB
13A	2213.50	---	2207.00	6.50 OTCB
13B	2213.50	---	2206.50	7.00 OTCB
14A	2205.10	---	2199.74	5.36 OTCB
14B	2208.50	---	2200.50	8.00 OTCB
15	2178.00	2073.80' (N)	2171.00	5.00 OTCB
16	2176.00	---	2171.50	4.50 OTCB
17	2176.00	---	2170.21	5.79 OTCB
18	2158.00	---	2148.00	8.00 OCS *
19	2187.90	---	2181.40	6.50 OTCB
20	2186.30	---	2181.22	5.08 OTCB
21	2176.00	---	2169.50	6.50 OTCB
22	2174.00	---	2169.13	4.87 OTCB
23	2172.00	---	2111.00	6.00 OCS *
24	2214.00	---	2208.20	5.80 OCS *

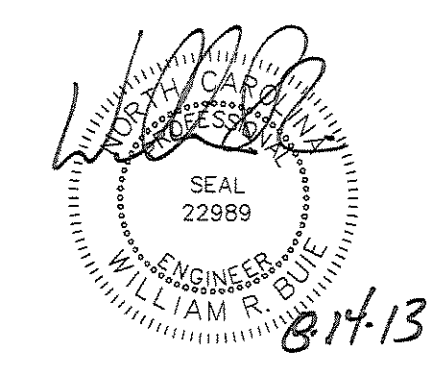
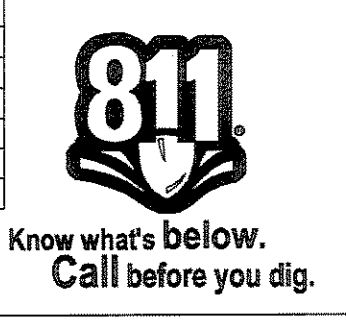
\* = SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION ON OUTLET CONTROL STRUCTURES

PIPING CHART

SEGMENT	FROM	TO	LENGTH (LF)	SIZE (Ø)	SLOPE (%)	MATERIAL
A	1	OUTLET #1	46	18"	0.50	HDPE
B	2	3	244	18"	1.75	HDPE
C	3	4	124	18"	10.10	HDPE (WT)
D	4	OUTLET #2	50	18"	1.72	HDPE
E	5	6	61	18"	0.51	HDPE
F	6	7	196	18"	8.41	HDPE
G	7	8	58	18"	6.90	HDPE
H	9	10	113	18"	3.73	HDPE
I	11	10	84	18"	0.50	HDPE
J	10	8	180	18"	7.18	HDPE
K	8	OUTLET #3	43	18"	1.16	HDPE
L	12	OUTLET #4	32	24"	2.00	HDPE (WT)
M1	13A	13B	36	18"	1.39	HDPE
M2	13B	14A	187	18"	3.61	HDPE
M3	14B	14A	152	18"	0.50	HDPE
N	14A	15	257	18"	10.09	HDPE (WT)
O	16	15	50	18"	1.00	HDPE
P	15	17	158	18"	0.50	HDPE
Q	17	10	190	18"	9.58	HDPE (WT)
R	18	OUTLET #6	54	24"	1.85	HDPE (WT)
S	19	20	36	18"	0.50	HDPE
T	20	OUTLET #7	26	18"	0.50	HDPE
U	21	22	63	18"	0.59	HDPE
V	22	OUTLET #8	102	18"	0.50	HDPE
W	CLEANOUT 1	23	312	48"	0.00	HDPE (WT)
X	23	OUTLET #9	29	30"	0.52	HDPE (WT)
Y	24	OUTLET #10	40	30"	0.50	HDPE (WT)

OUTLET CHART

OUTLET	INV. ELEV.	END TREATMENT
1	2244.00'	FES & OUTLET PROTECTION
2	2196.00'	FES & OUTLET PROTECTION
3	2196.00'	FES & OUTLET PROTECTION
4	2196.00'	FES & OUTLET PROTECTION
5	2152.00'	FES & OUTLET PROTECTION
6	2147.00'	FES & OUTLET PROTECTION
7	2180.99'	FES & OUTLET PROTECTION
8	2168.62'	FES & OUTLET PROTECTION
9	2110.85'	FES & OUTLET PROTECTION
10	2208.00'	FES & OUTLET PROTECTION

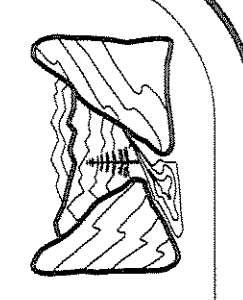


Revisions

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job: 13114  
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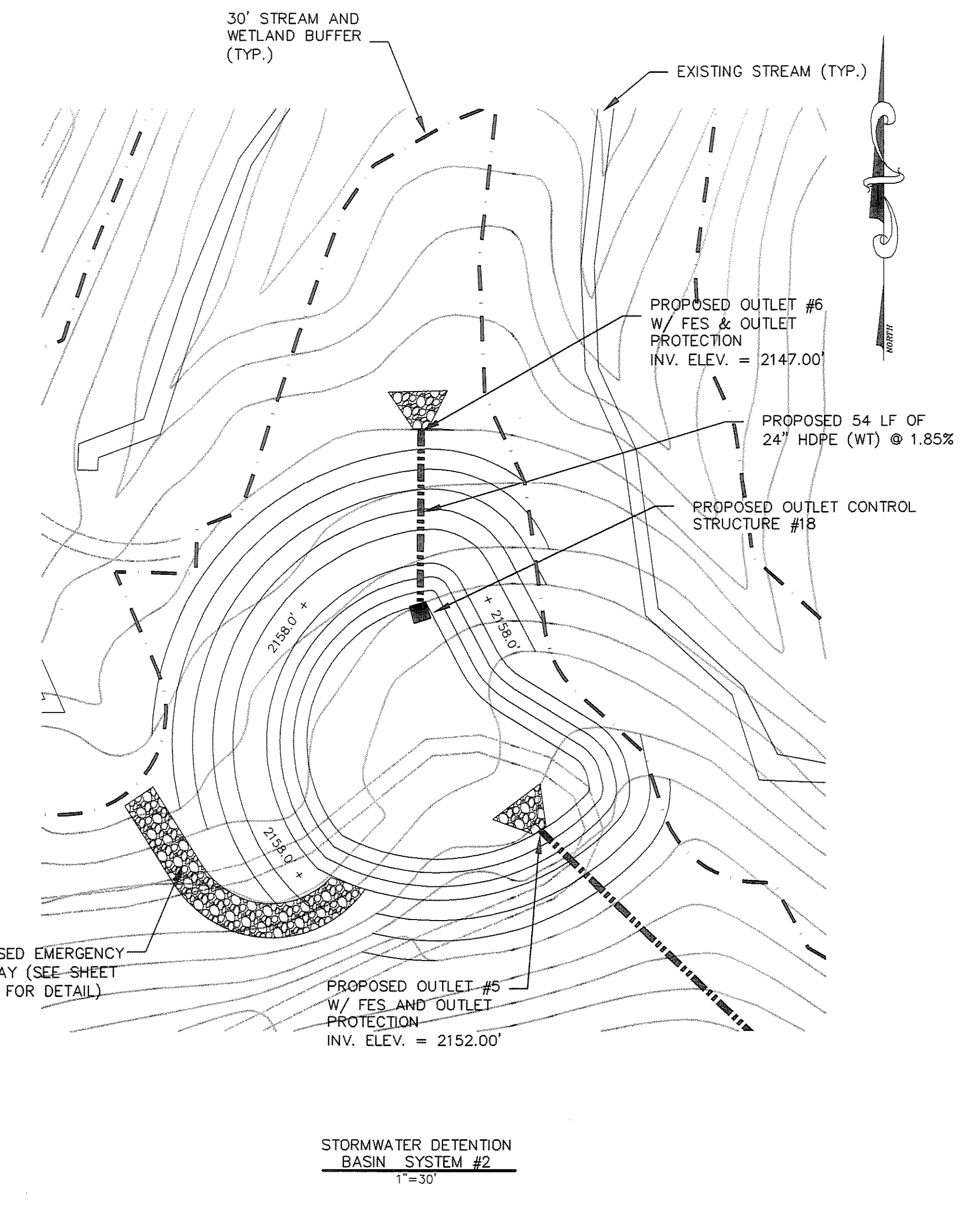
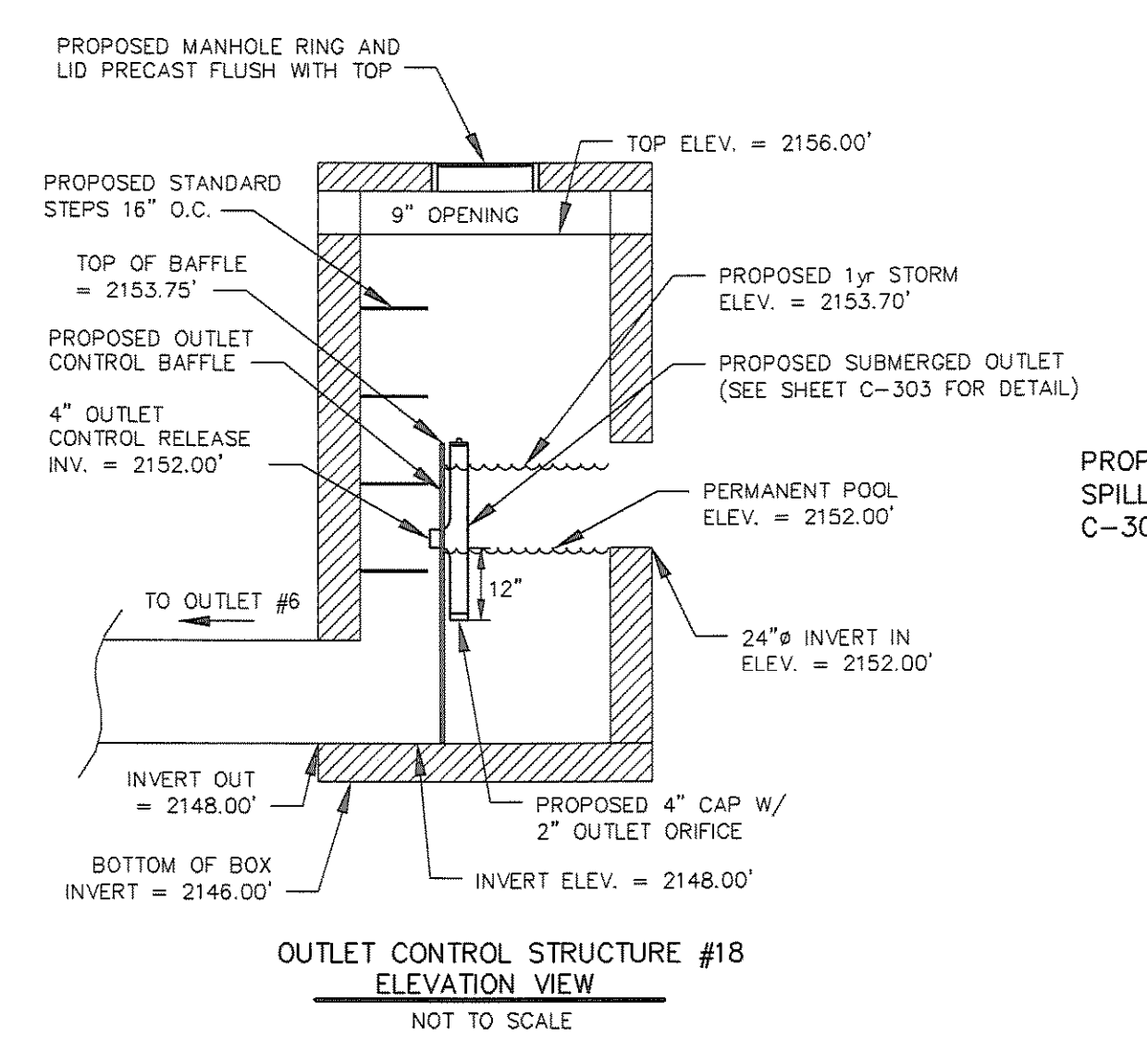
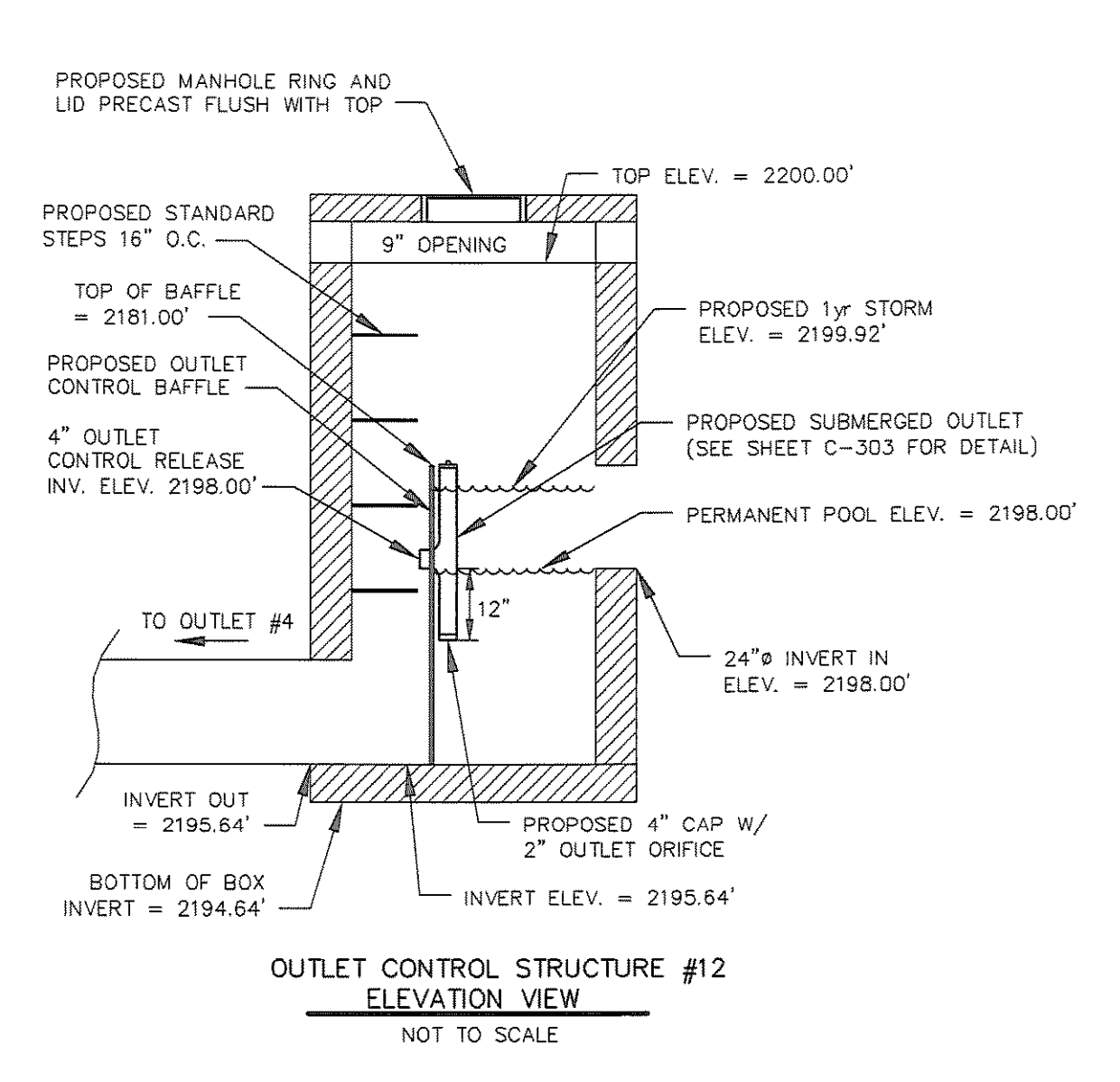
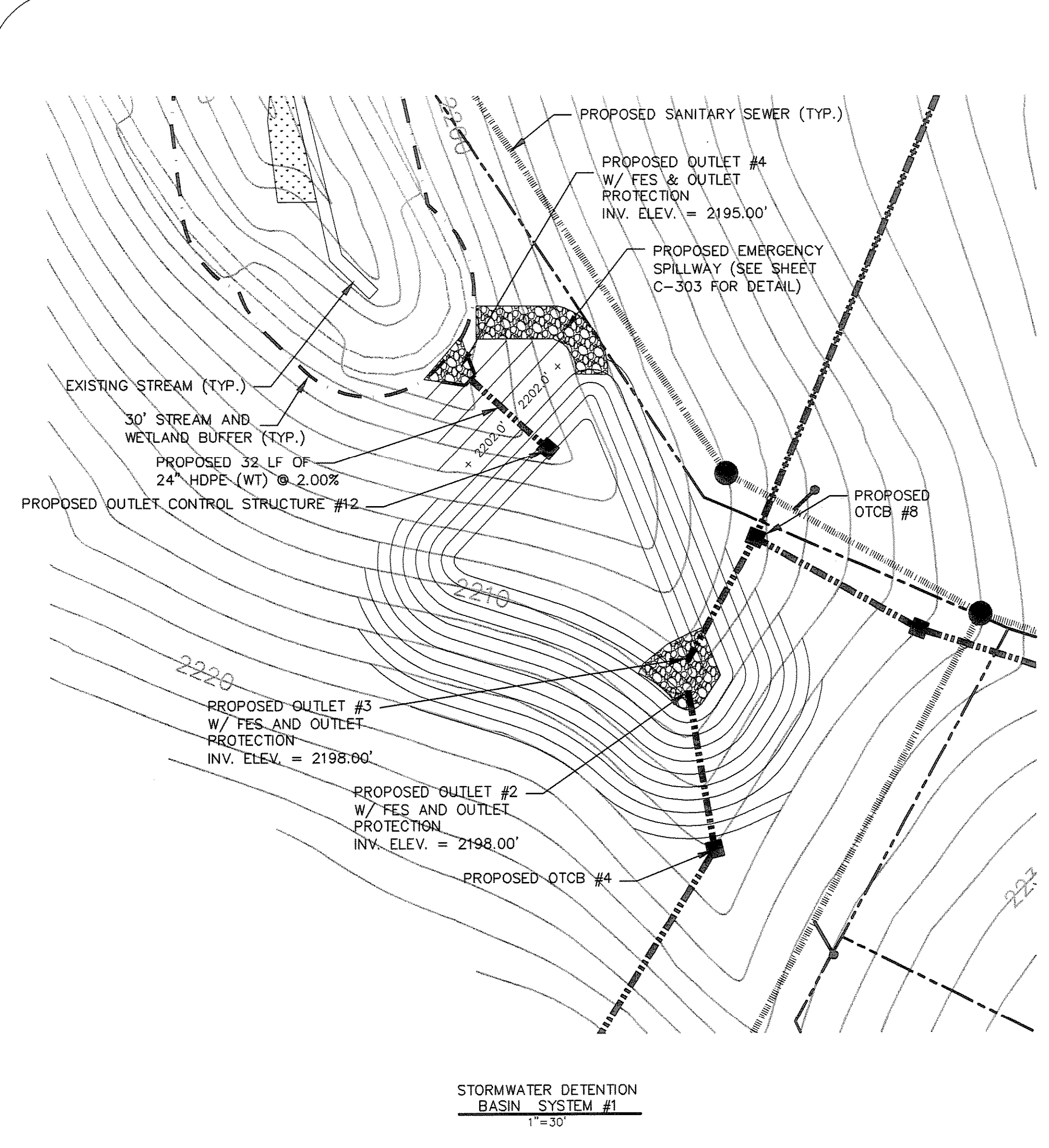


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HENDERSONVILLE, NORTH CAROLINA

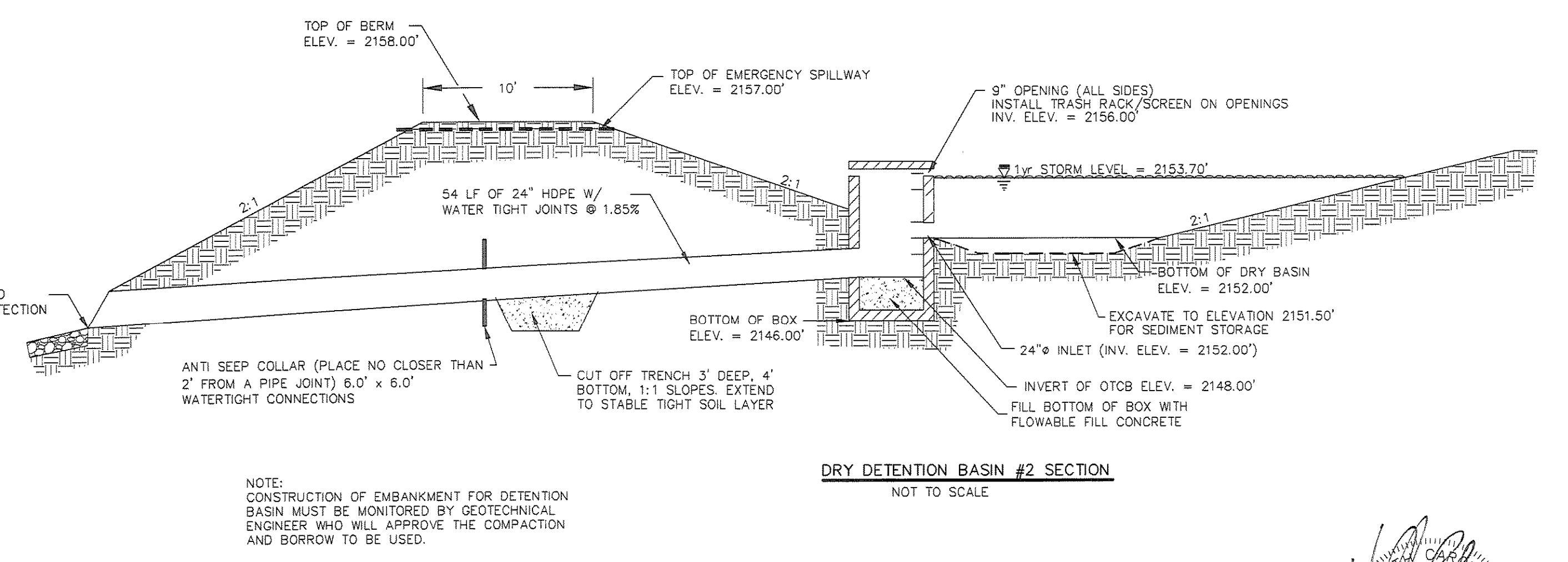
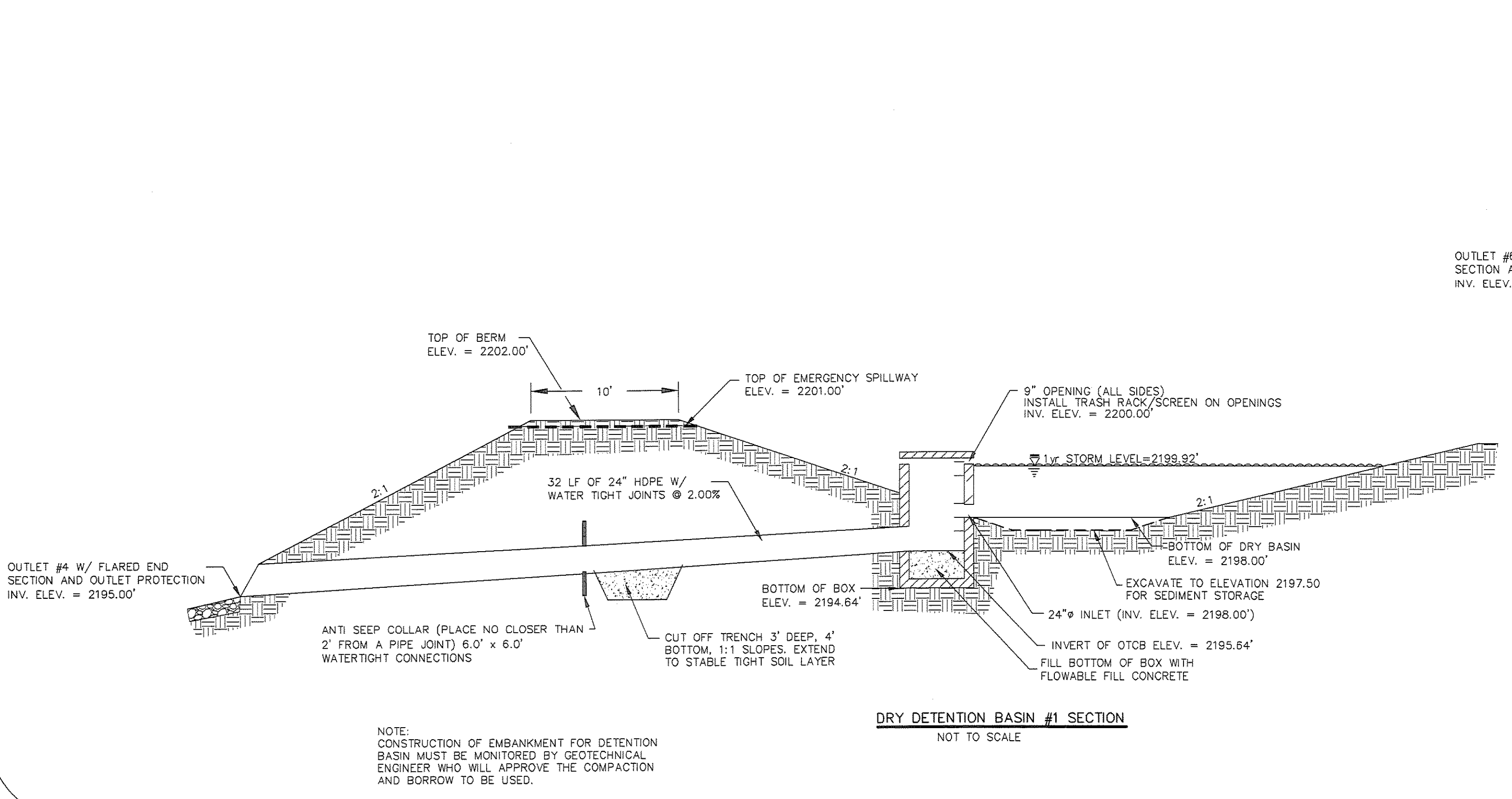
THE RAMLBE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

STORM DRAINAGE DETAILS

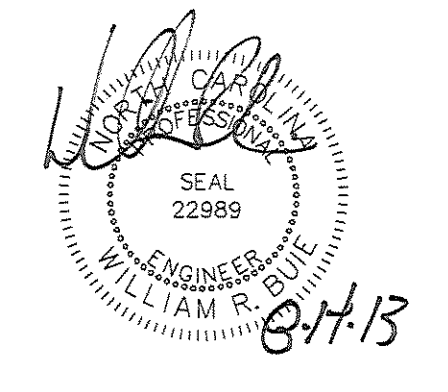
sheet  
C-301



NOTE: ALL OUTLET CONTROL STRUCTURES SHALL BE A MIN. OF 5'x5' PRECAST CONCRETE BOX.



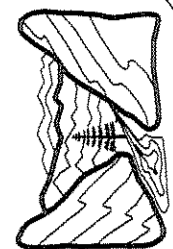
NOTE: CONSTRUCTION OF EMBANKMENT FOR DETENTION BASIN MUST BE MONITORED BY GEOTECHNICAL ENGINEER WHO WILL APPROVE THE COMPACTION AND BORROW TO BE USED.



Revisions

date: 6/10/13  
job: 13114  
drawn: TWT

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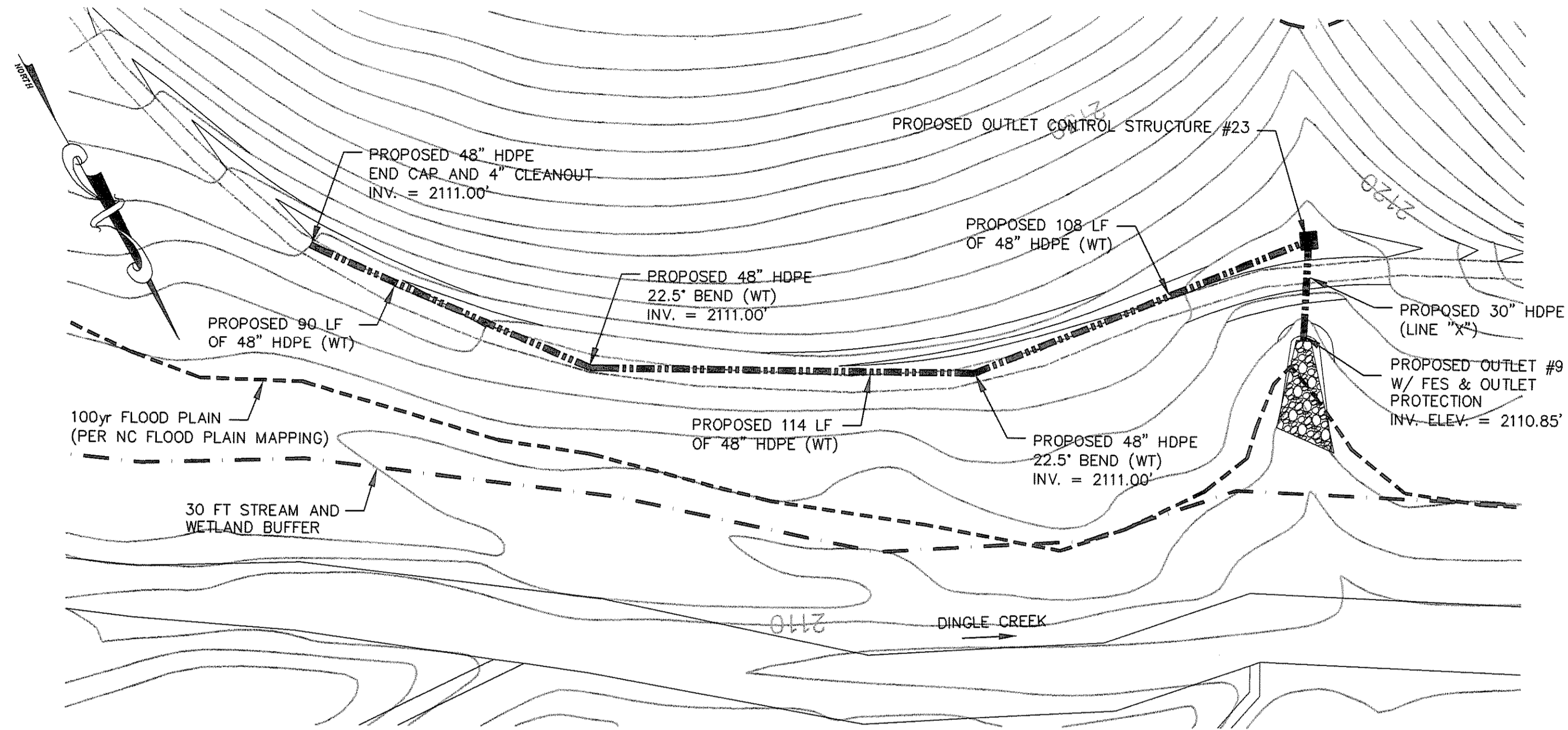


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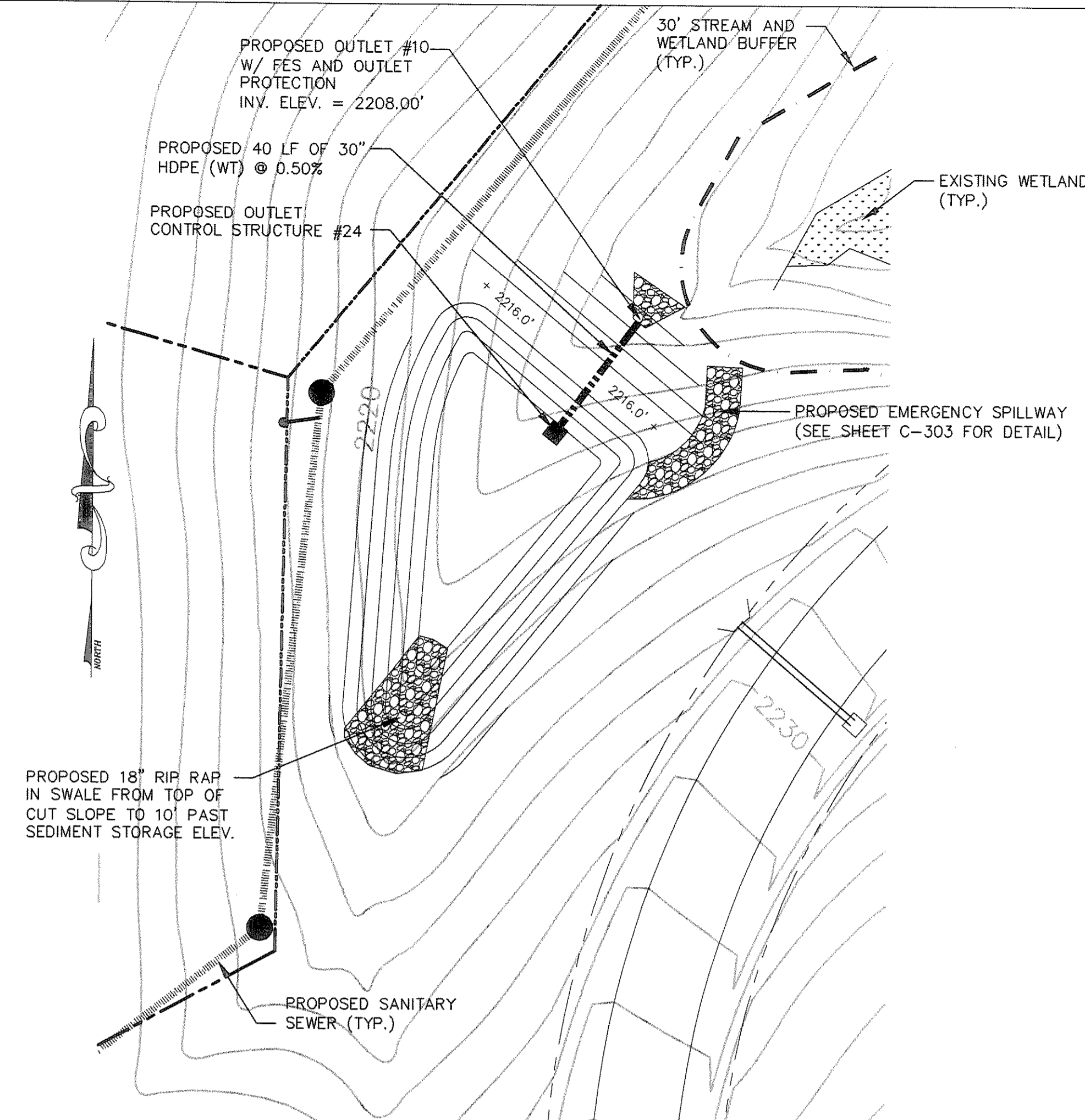
**THE RAMBLE BILTMORE FOREST  
 BLOCK "D"**  
 BUNCOMBE COUNTY  
 NORTH CAROLINA

**STORM DRAINAGE DETAILS**

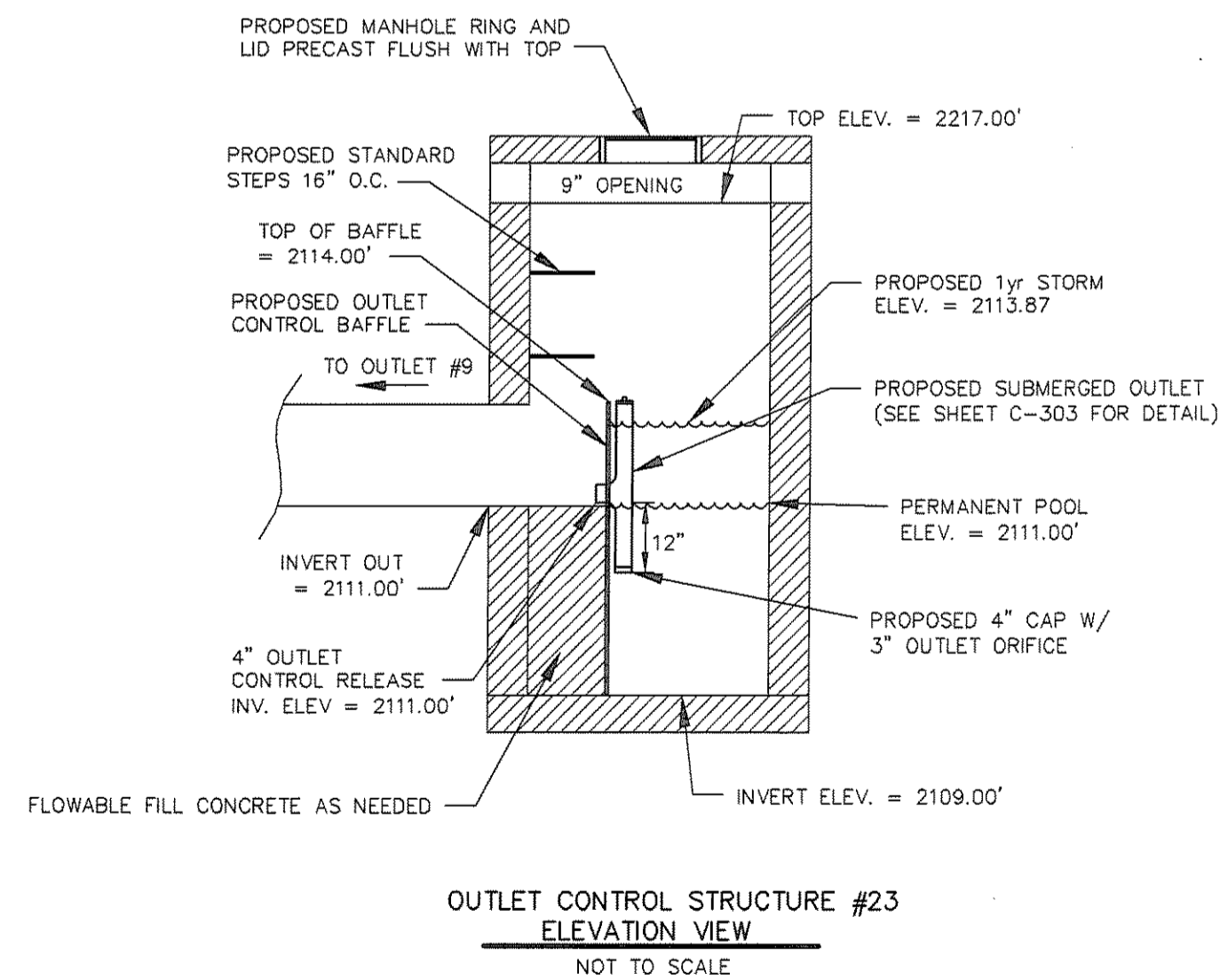
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 C-302



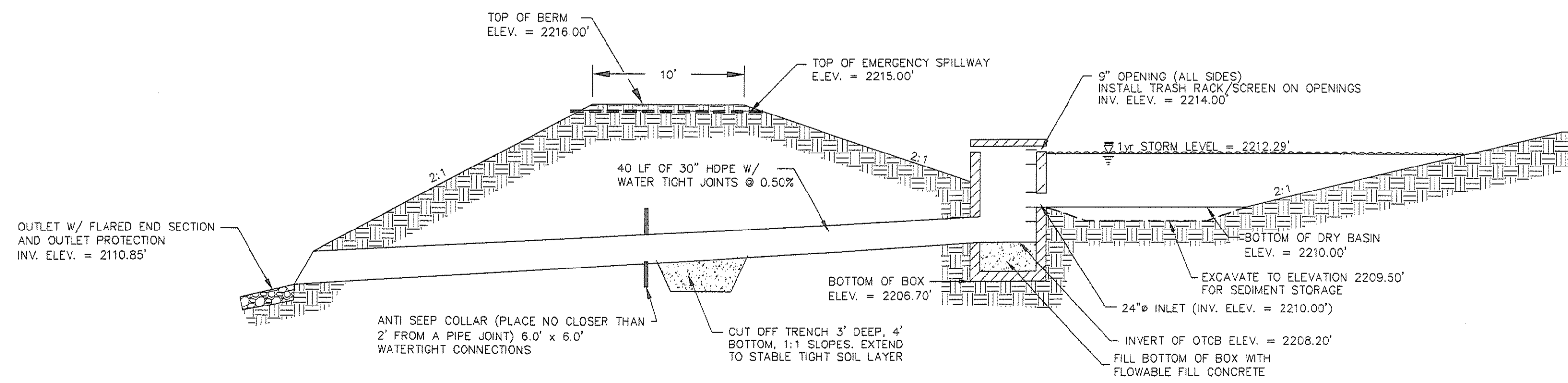
STORMWATER DETENTION  
 PIPING SYSTEM #3  
 1"=30'



STORMWATER DETENTION  
 BASIN SYSTEM #4  
 1"=30'



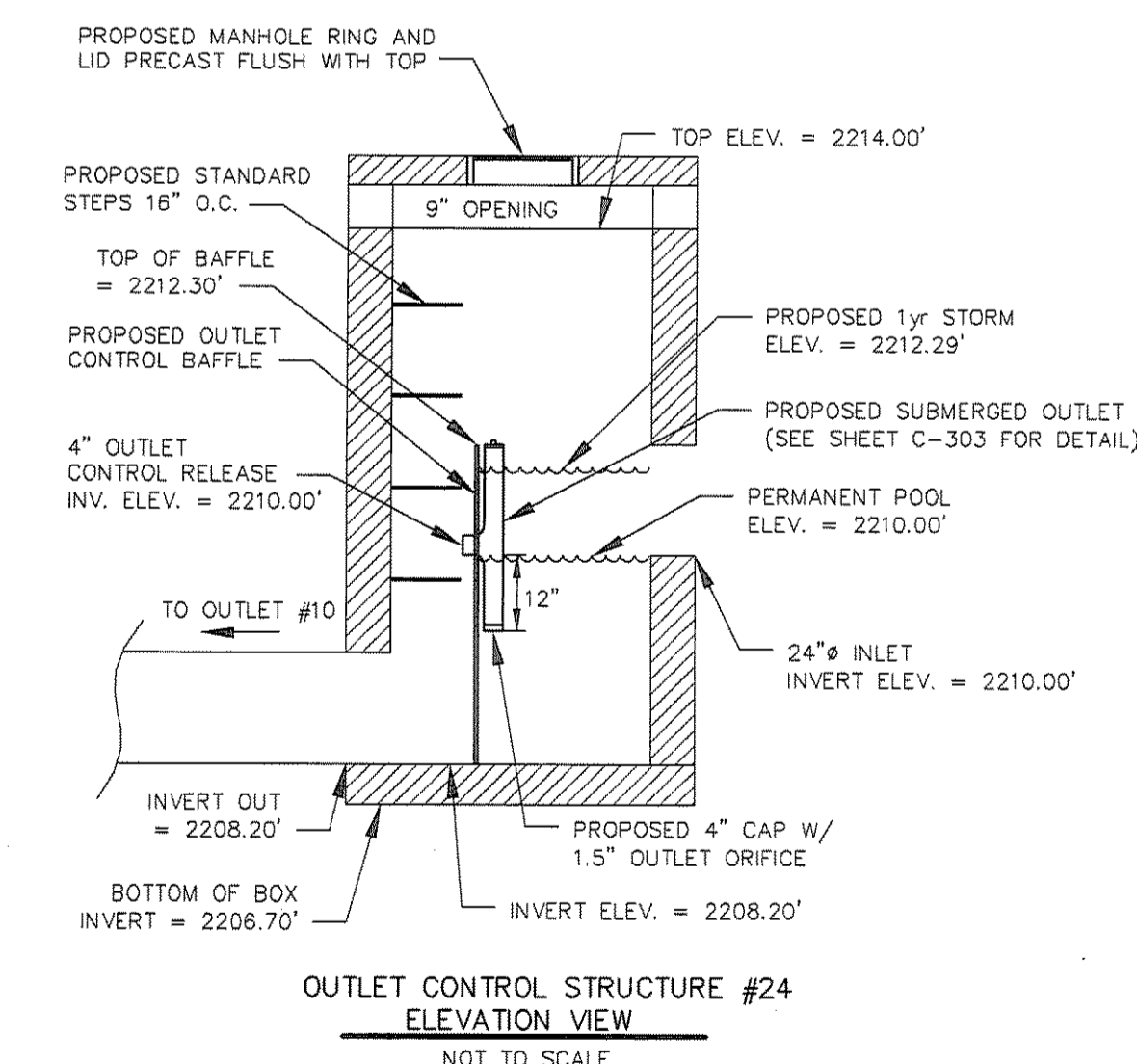
OUTLET CONTROL STRUCTURE #23  
 ELEVATION VIEW  
 NOT TO SCALE



DRY DETENTION BASIN #4 SECTION  
 NOT TO SCALE

NOTE:  
 CONSTRUCTION OF EMBANKMENT FOR DETENTION  
 BASIN MUST BE MONITORED BY GEOTECHNICAL  
 ENGINEER WHO WILL APPROVE THE COMPACTION  
 AND BORROW TO BE USED.

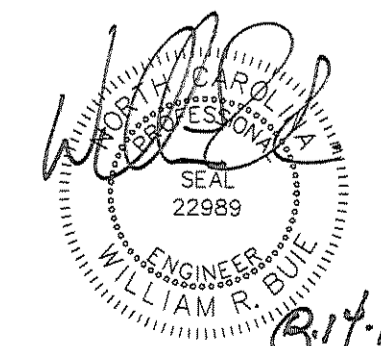
NOTE: ALL OUTLET CONTROL STRUCTURES SHALL BE A MIN. OF  
 5'x5' PRECAST CONCRETE BOX.



OUTLET CONTROL STRUCTURE #24  
 ELEVATION VIEW  
 NOT TO SCALE



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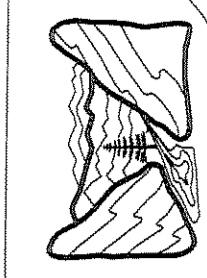
**Revisions**

NO.	DESCRIPTION

date: 6/10/13  
 job: 13114  
 drawn: TWT

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 wgl@a.com

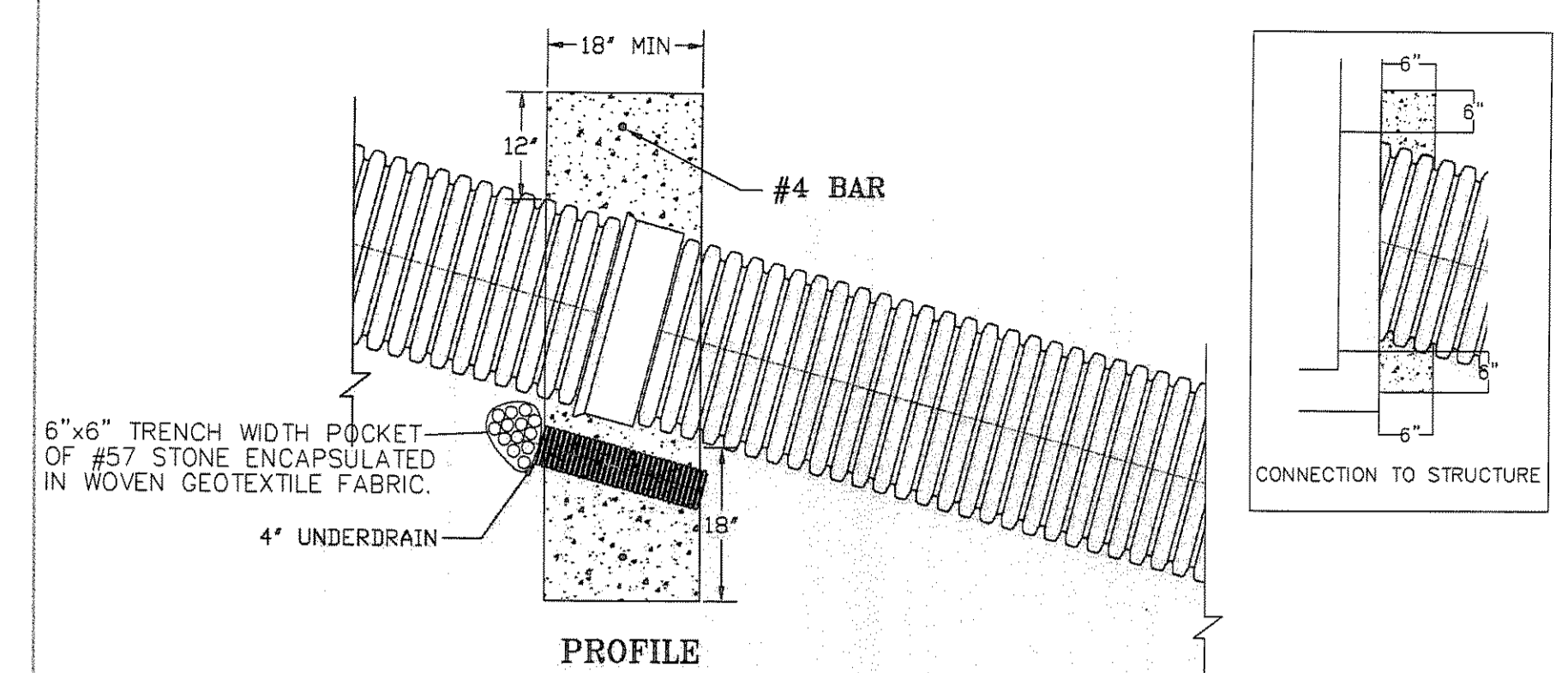
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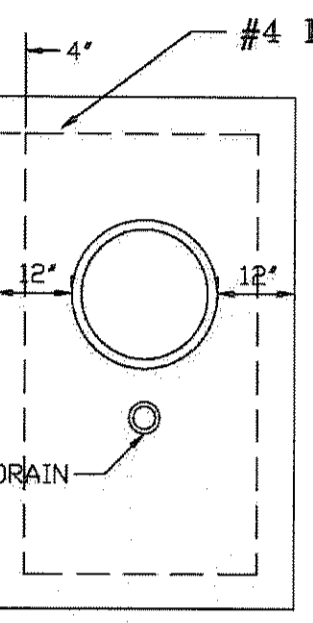
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RAMBLE BILTMORE FOREST  
BLOCK 7<sup>th</sup>  
BUNCOMBE COUNTY  
NORTH CAROLINA

STORM DRAINAGE DETAILS



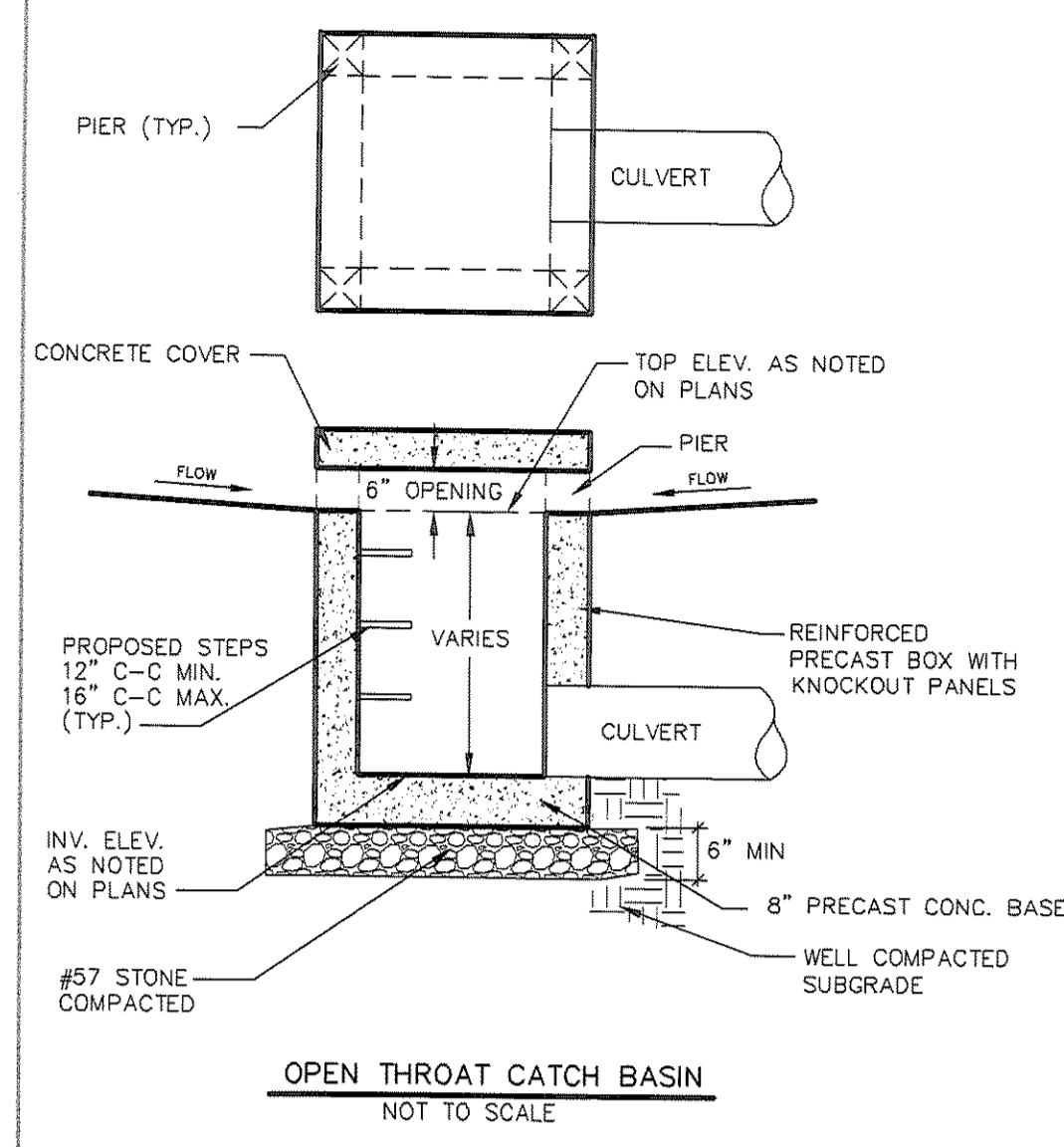
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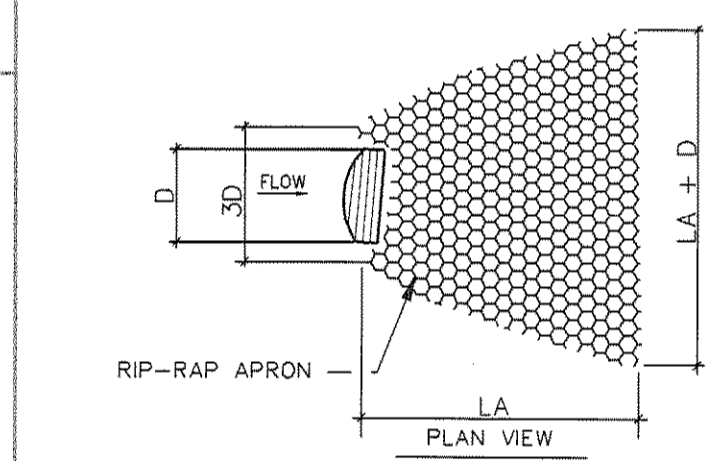
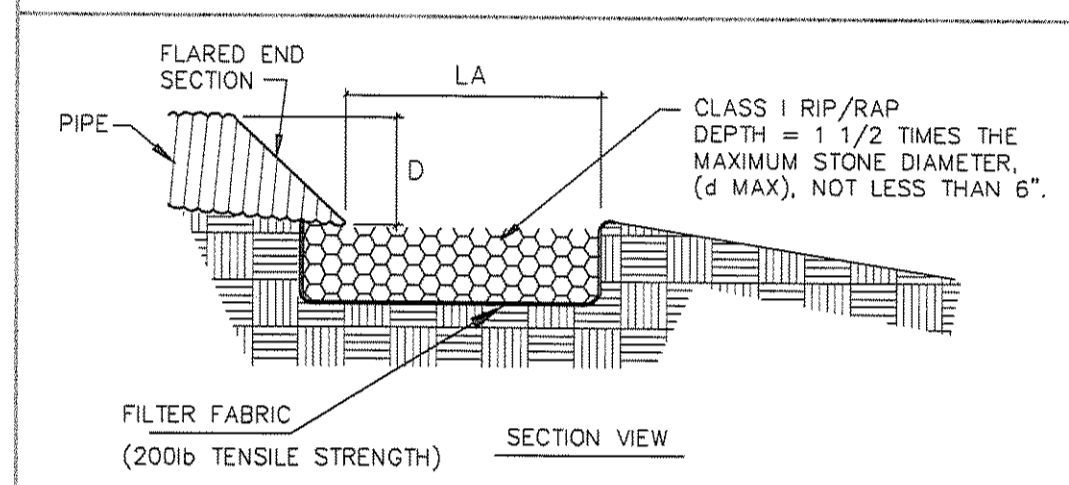
ELEVATION

CONCRETE ANCHOR DETAIL  
Not To Scale

- Notes:
- 1.) Contractor shall space anchors as directed on plans.
  - 2.) Concrete shall have a minimum 28 day compressive strength of 2000 p.s.i.
  - 3.) Contractor shall use water tight HDPE storm drain on all lines that will have Concrete Anchors.
  - 4.) Back fill with natural material (Class III or Better) Compacting to 95% Standard Proctor Value.
  - 5.) When Coupling Pipe, Joints shall be pushed fully home.
  - 6.) For all lines that Anchors are used, Contractor shall place a Hydraulic Cement or non-shrink Grout anchor around the connection point at the beginning and end of the run, that will be a minimum of 6" thick and will extend a minimum of 6" pass the hole opening in the structure. (See Connection to Structure)
  - 7.) Anchor pipes 36 lf max. on center.



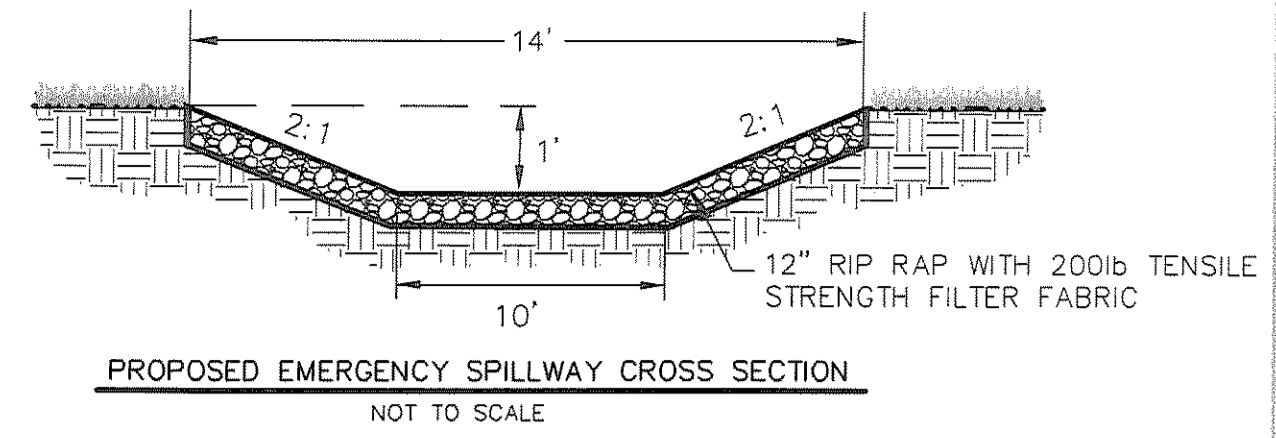
OPEN THROAT CATCH BASIN  
NOT TO SCALE



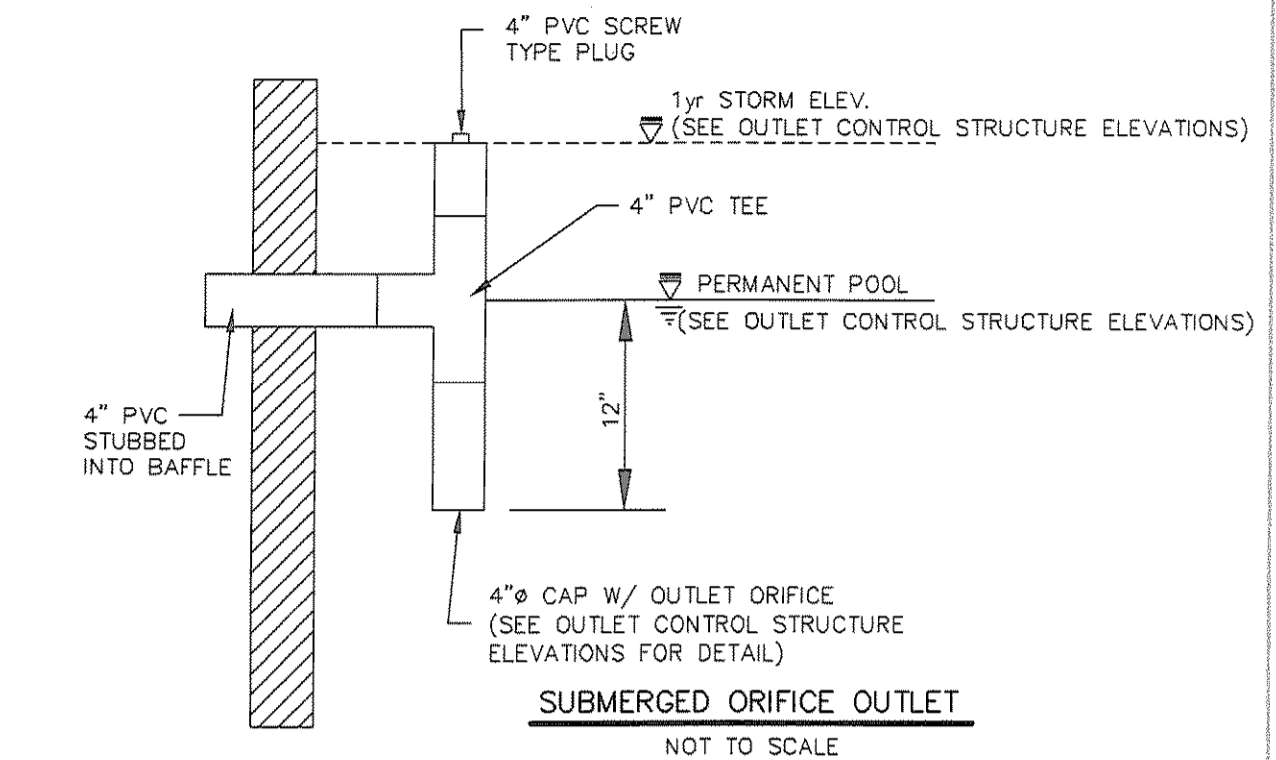
OUTLET PROTECTION  
NOT TO SCALE

NO.	D	LA	d50 SIZE
1	18"	10'	9"
2	18"	10'	9"
3	18"	10'	9"
4	18"	15'	9"
5	18"	15'	9"
6	18"	15'	9"
7	18"	10'	9"
8	18"	10'	9"
9	30"	16'	9"
10	30"	16'	9"

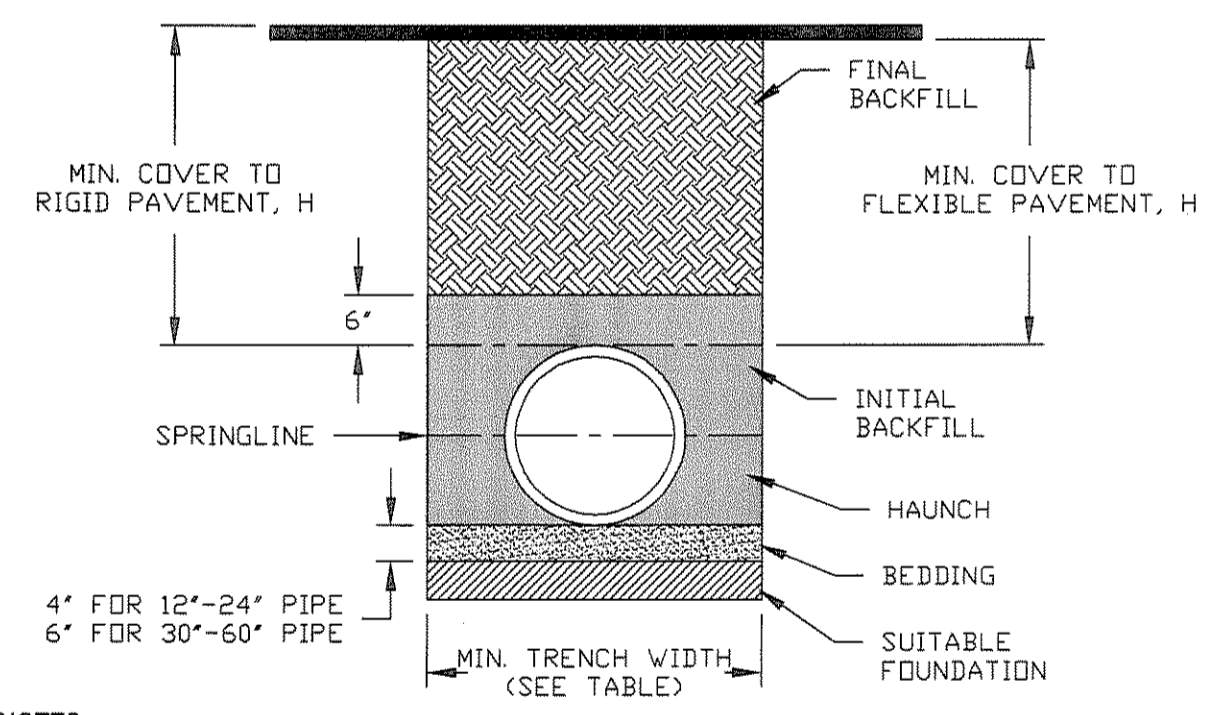
NOTES  
d50 = MEDIAN STONE SIZE  
dMAX = 1.5 x d50



PROPOSED EMERGENCY SPILLWAY CROSS SECTION  
NOT TO SCALE



SUBMERGED ORIFICE OUTLET  
NOT TO SCALE



- NOTES:
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION
  2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-900mm).
  5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	25"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
54" - 60"	24"	60"

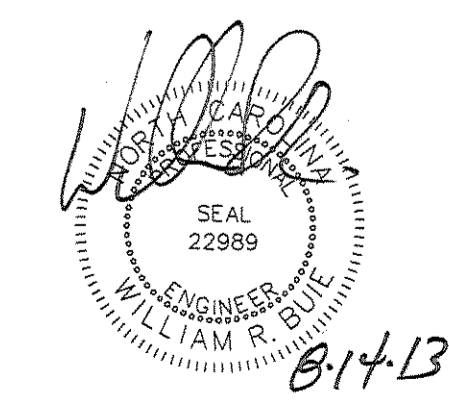
\* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS

PIPE DIAM.	COOPER E-80**
	UP TO 24"
30"-36"	36"
42"-60"	48"

\*\* COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE.  
\*\*\* E-80 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2306 PIPE.

TYPICAL HDPE STORM DRAINAGE TRENCH DETAIL  
NOT TO SCALE



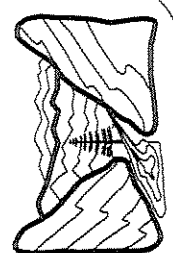
Revisions

date: 6/10/13  
job: 13114  
drawn: TWT

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(828) 687-7177  
wgl@a.com

sheet  
C-303



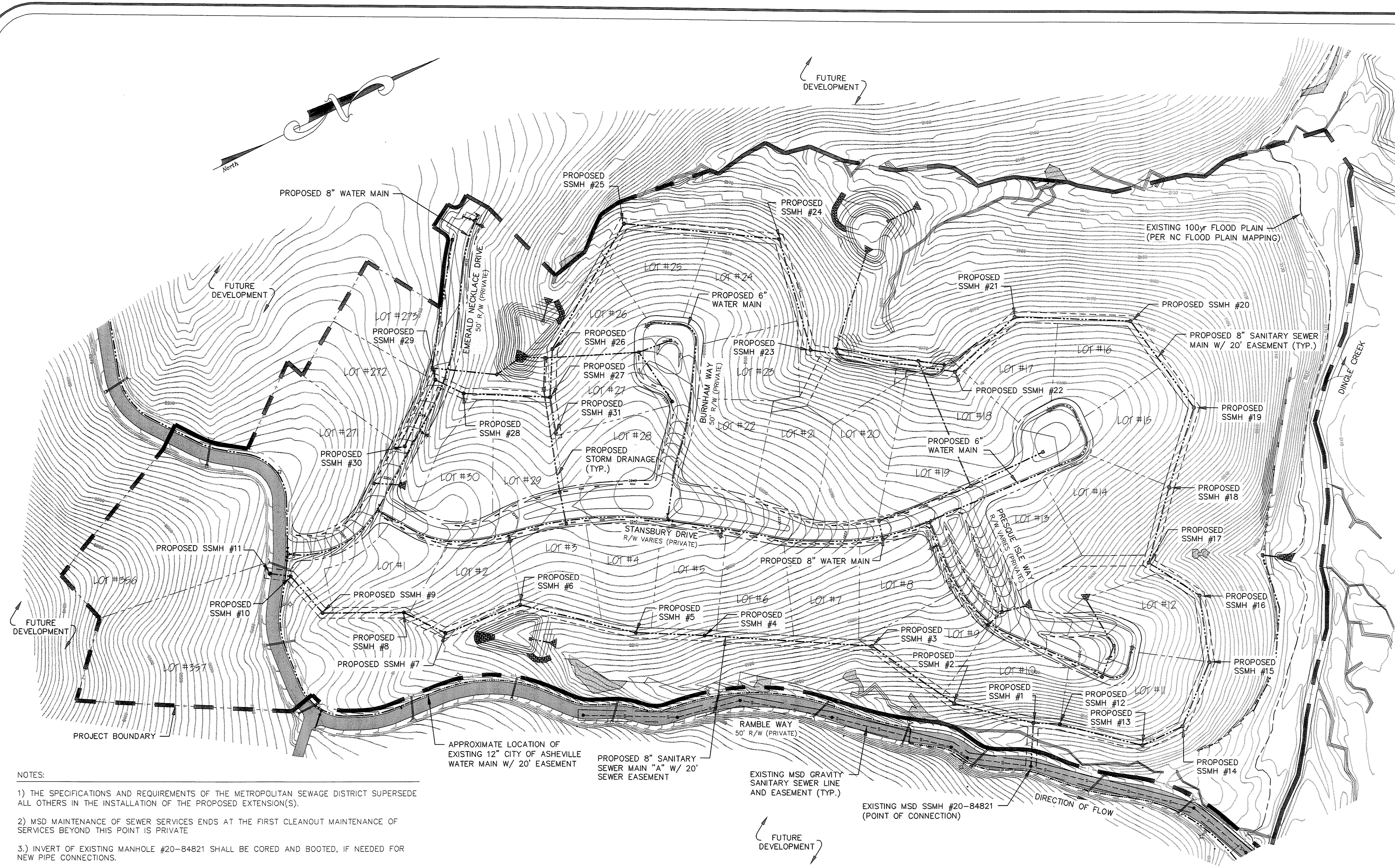
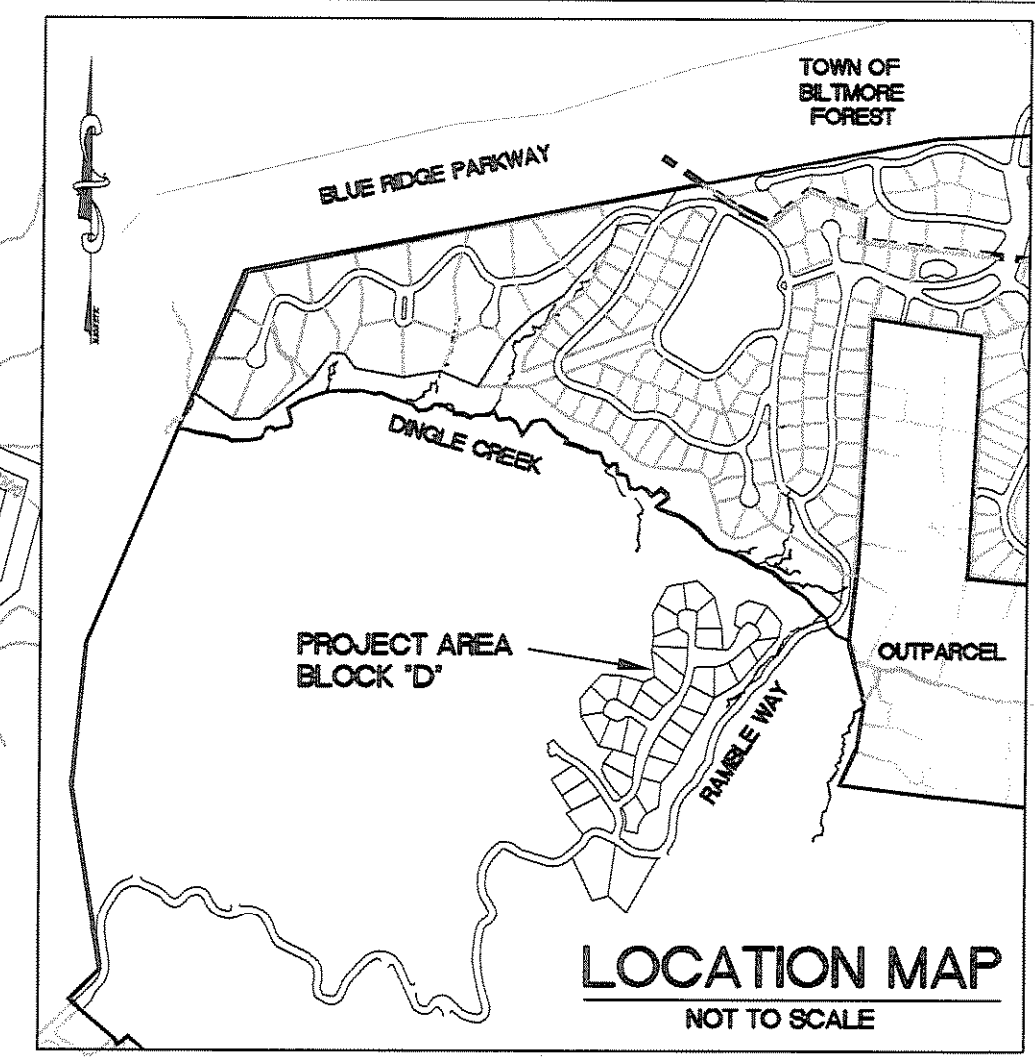


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HENDERSONVILLE, NORTH CAROLINA

THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

SANITARY SEWER SYSTEM LAYOUT

sheet  
C-400

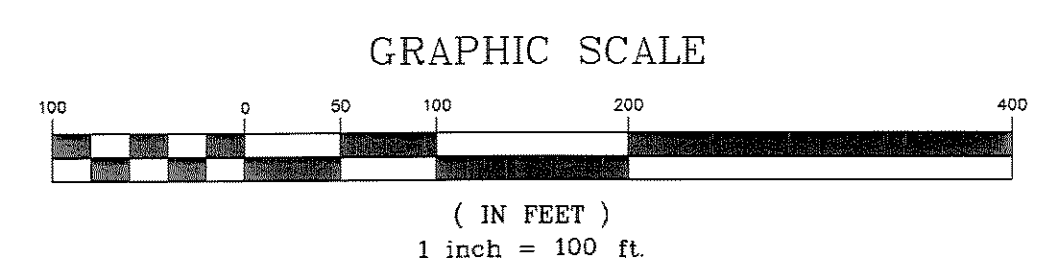
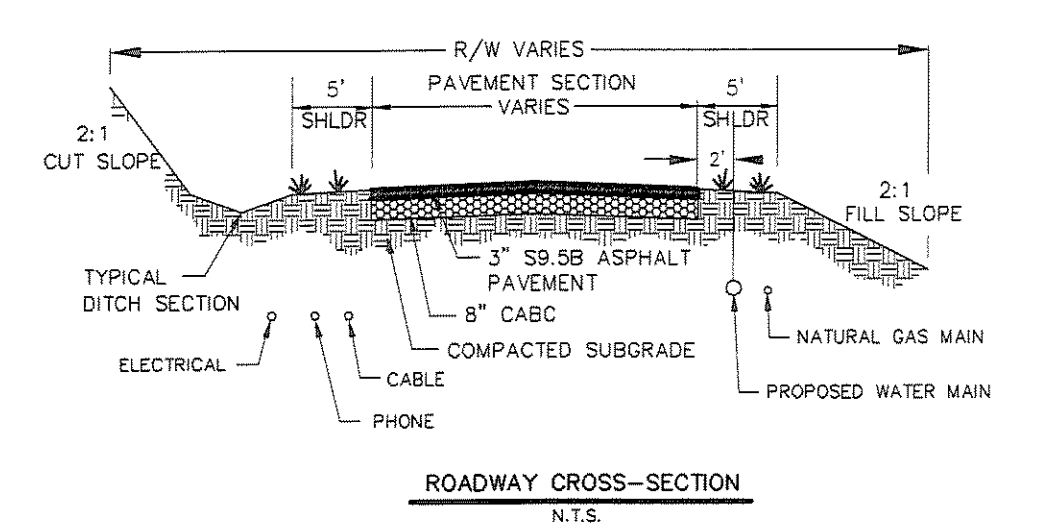


LEGEND

- EXISTING 2' CONTOUR
- PROPOSED 2' CONTOUR
- EXISTING SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER MAIN
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING STORM DRAINAGE
- PROPOSED STORM DRAINAGE

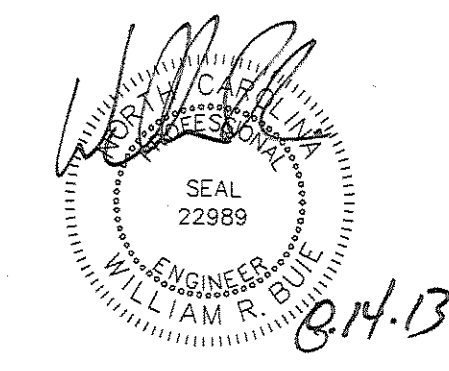
- NOTES:
- 1.) THE SPECIFICATIONS AND REQUIREMENTS OF THE METROPOLITAN SEWAGE DISTRICT SUPERSEDE ALL OTHERS IN THE INSTALLATION OF THE PROPOSED EXTENSION(S).
  - 2.) MSD MAINTENANCE OF SEWER SERVICES ENDS AT THE FIRST CLEANOUT MAINTENANCE OF SERVICES BEYOND THIS POINT IS PRIVATE
  - 3.) INVERT OF EXISTING MANHOLE #20-84821 SHALL BE CORED AND BOOTED, IF NEEDED FOR NEW PIPE CONNECTIONS.
  - 4.) ALL SEWER SERVICES SHALL BE 4" UNLESS OTHERWISE NOTED.
  - 5.) CONTRACTOR SHALL USE DIP/CL-350 PIPING ON ALL SEWER LINES WHERE 3 FEET OF COVER IS NOT PROVIDED.
  - 6.) PIN # 9645-46-2140 IS THE ONLY PROPERTY AFFECTED BY THE PROPOSED SEWER LINE CONSTRUCTION.
  - 7.) ALL SANITARY SEWER WORK IS TO BE PERFORMED BY A LICENSED NORTH CAROLINA UTILITY CONTRACTOR
  - 8.) BENCHMARK FOR THIS PROJECT SHALL BE EXISTING MSD MANHOLE #20-84821 TOP WITH ELEV. 2147.78'
  - 9.) ALL SEWER EASEMENTS SHALL BE 20' WIDE UNLESS NOTED ON PLAN OTHERWISE.
  - 10.) ALL PROPOSED SANITARY SEWER LINES TO BE TURNED OVER TO MSD WILL BE GRAVITY LINES.
  - 11.) IF CONTRACTOR TRANSITIONS FROM PVC TO DIP, THEN A SOLID SLEEVE COUPLING WILL BE USED. ONLY ONE TRANSITION WILL BE ALLOWED BETWEEN MANHOLES.
  - 13.) SEE THE GRADING AND EROSION CONTROL PLANS FOR ALL EROSION MEASURES RELATED TO SEWER CONSTRUCTION
  - 14.) HORIZONTAL CONTROL IS NAD 27, VERTICAL CONTROL IS NAVD 88.
  - 15.) NO DOGHOUSE MANHOLES ALLOWED.
  - 16.) THE ENTIRE MSD PERMANENT SEWER EASEMENT MUST BE CLEARED AND REMAIN CLEAR OF TREE PLANTINGS & PERMANENT TYPE STRUCTURES.

DEVELOPMENT BLOCK:  
PROJECT NAME: THE RAMBLE BILTMORE FOREST BLOCK "D"  
PROJECT ADDRESS: RAMBLE WAY  
OWNER/DEVELOPER: RAMBLE BILTMORE FROST, LLC  
ONE TOWN SQUARE BLVD, SUITE 330  
ASHEVILLE, NC 28803  
(828) 209-2000  
CONTACT PERSON: LEE THOMASON  
ONE TOWN SQUARE BLVD, SUITE 330  
ASHEVILLE, NC 28803  
(828) 209-2000  
ENGINEER: WILLIAM R. BUJE, P.E.  
WILLIAM G. LAPSLEY AND ASSOCIATES, P.A.  
214 N. KING STREET  
HENDERSONVILLE, NC 28792  
(828) 687-7177  
PIN #: 9645-46-2140  
TOTAL PROPERTY SIZE: 49.8± AC.  
TOTAL # OF PROPOSED LOTS: 35 LOTS  
DEED REF: D.B. 3836 PG. 0521  
TOWNSHIP: LOWER HOMINY CREEK



**MSD PROJECT # 2013074**

NOTE:  
• A MINIMUM OF 10 FT. HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES MUST BE MAINTAINED. WHERE THE SEWER LINE INSTALLATION DOES NOT CONFORM TO THIS REQUIREMENT OR HAVE A MINIMUM COVER OF 36" FROM THE GROUND SURFACE OR 24" VERTICAL SEPARATION FROM STORM DRAINAGE LINES - SEWER PIPE MUST BE OF A FERROUS MATERIAL.

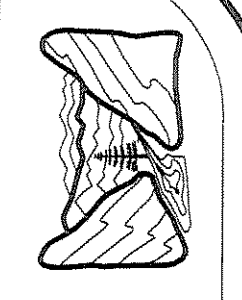


Revisions


date: 6/10/13  
job: 13114  
drawn: TWT

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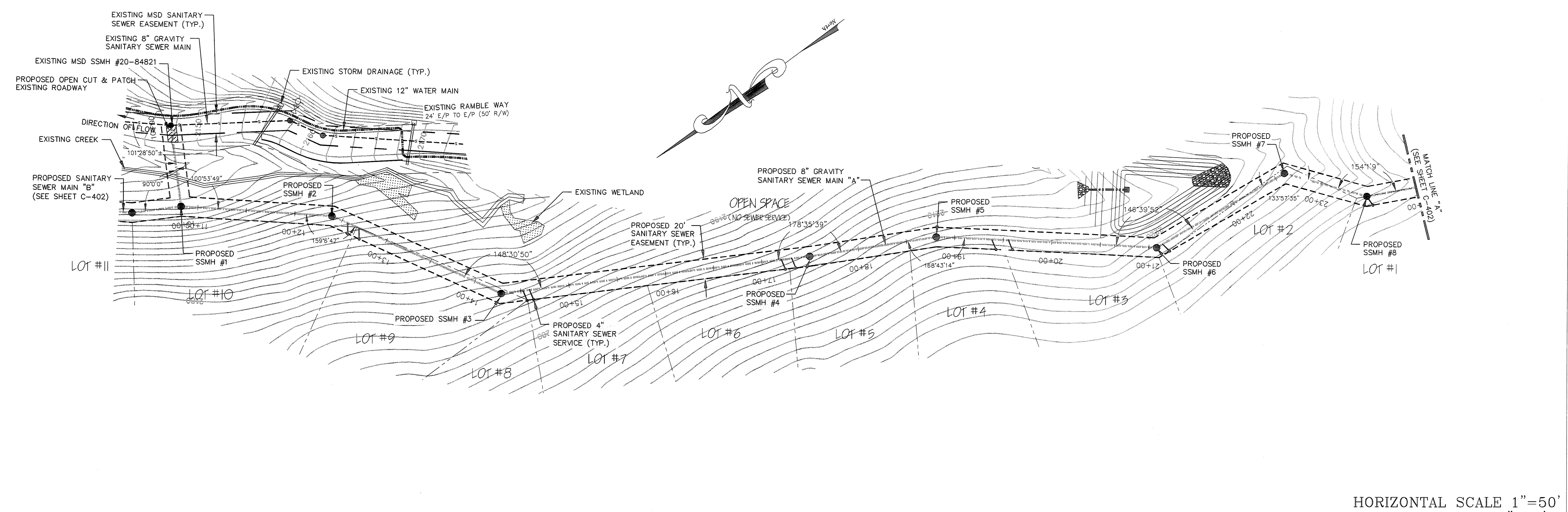


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THE RAMBLE BILTMORE FOREST  
 BLOCK "D"  
 BUNCOMBE COUNTY  
 NORTH CAROLINA

SANITARY SEWER MAIN "A"  
 STATION 10+00 TO 24+00  
 PLAN & PROFILE

sheet  
 C-401

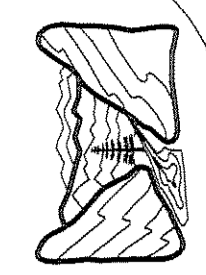


PROPOSED SANITARY SEWER MAIN "A"

HORIZONTAL SCALE 1"=50'  
 VERTICAL SCALE 1"=10'



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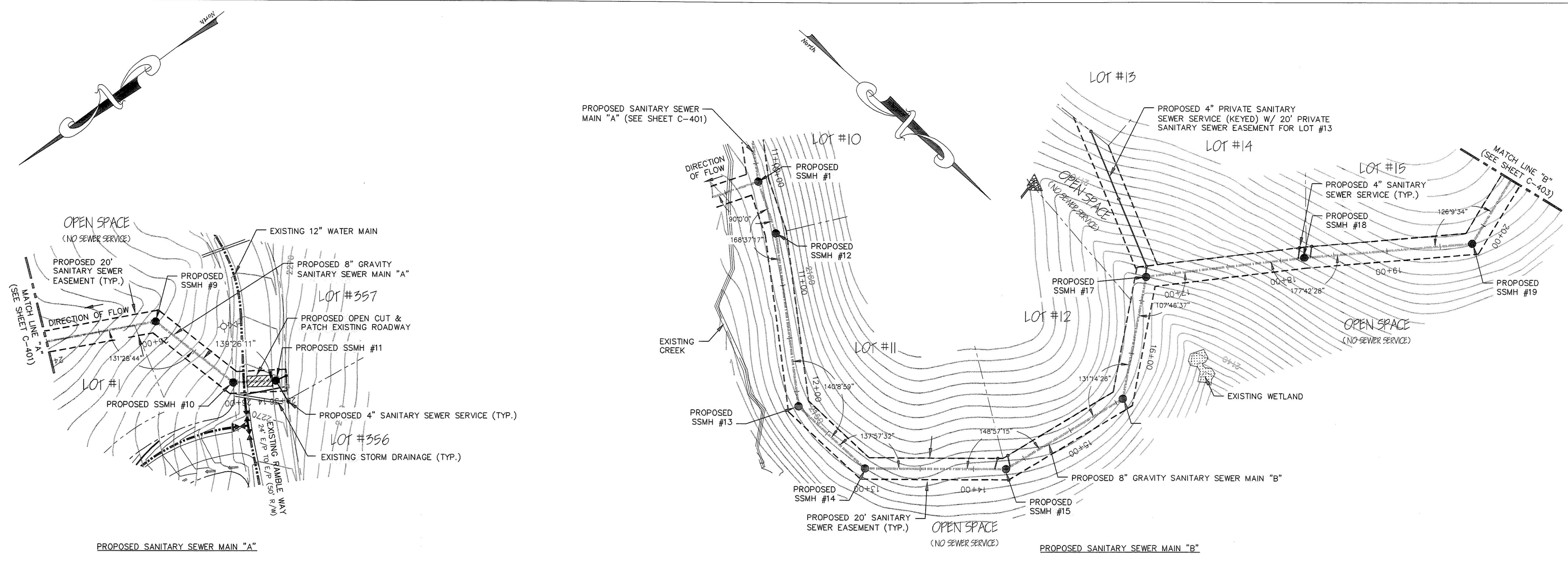


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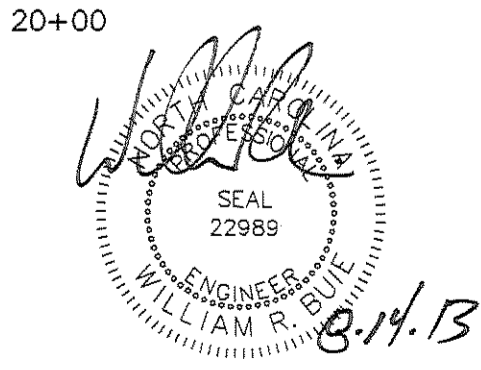
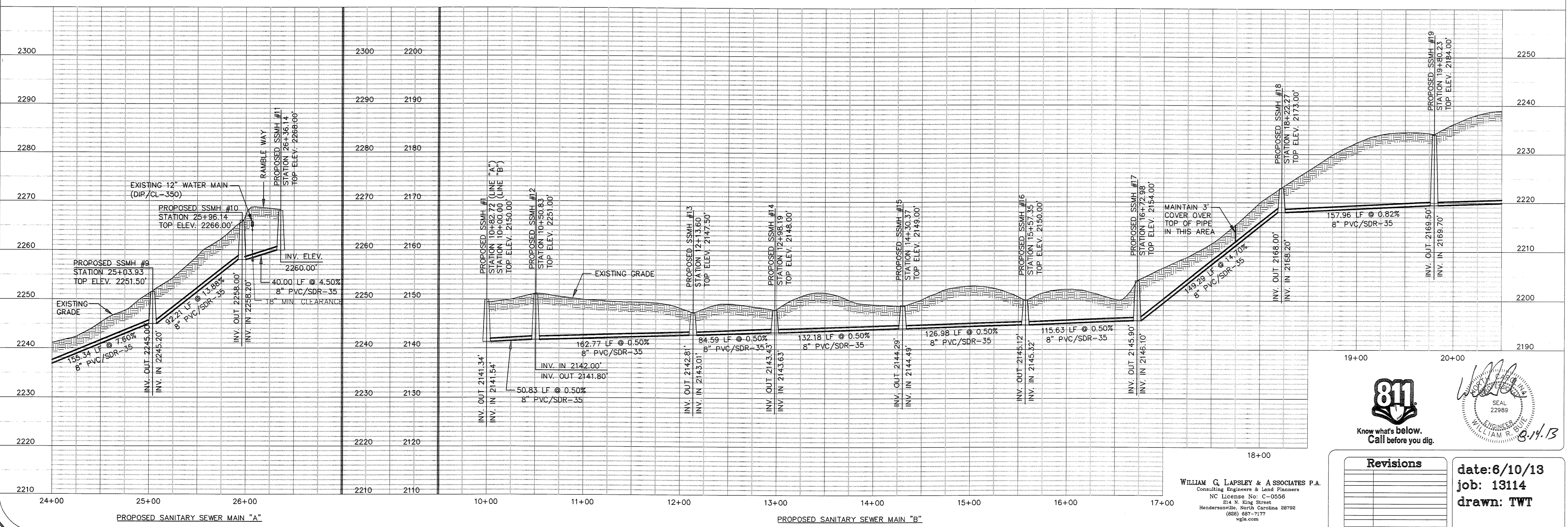
THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

SANITARY SEWER MAIN "A"  
STATION 24+00 TO 26+36.14  
SANITARY SEWER MAIN "B"  
STATION 10+00 TO 20+50

sheet  
C-402



HORIZONTAL SCALE 1"=50'  
VERTICAL SCALE 1"=10'

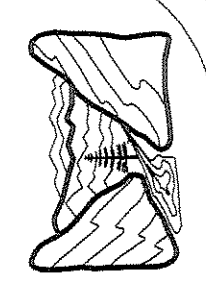


Revisions

date: 6/10/13  
job: 13114  
drawn: TWT

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(800) 467-7177  
wgl@comcast.net

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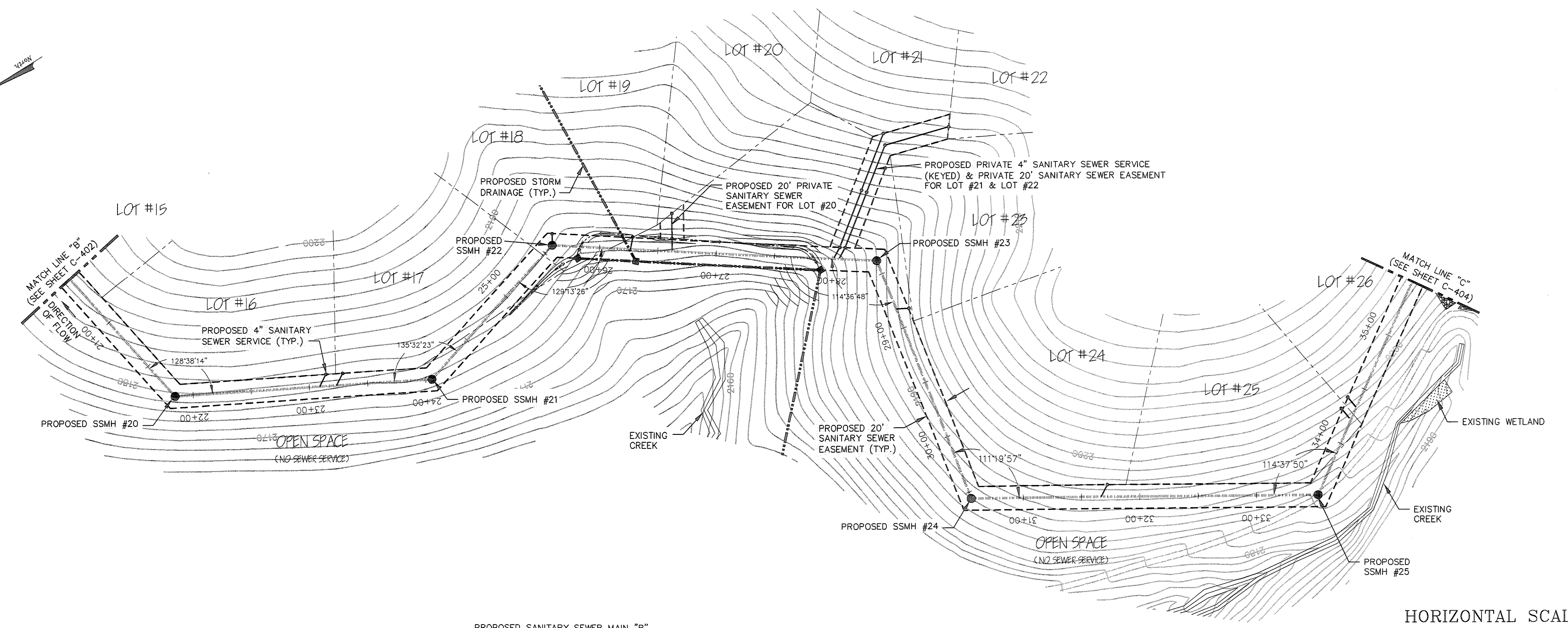
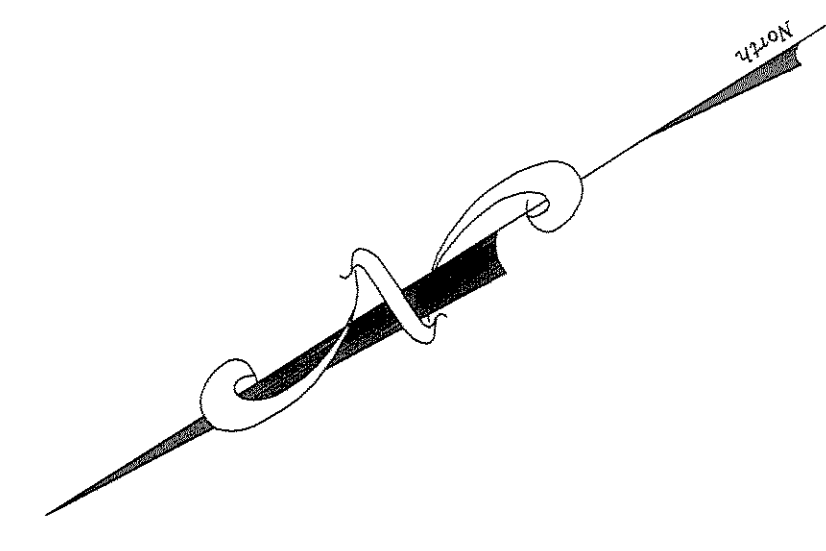


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HENDERSONVILLE, NORTH CAROLINA

THE RAMBLE BELTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

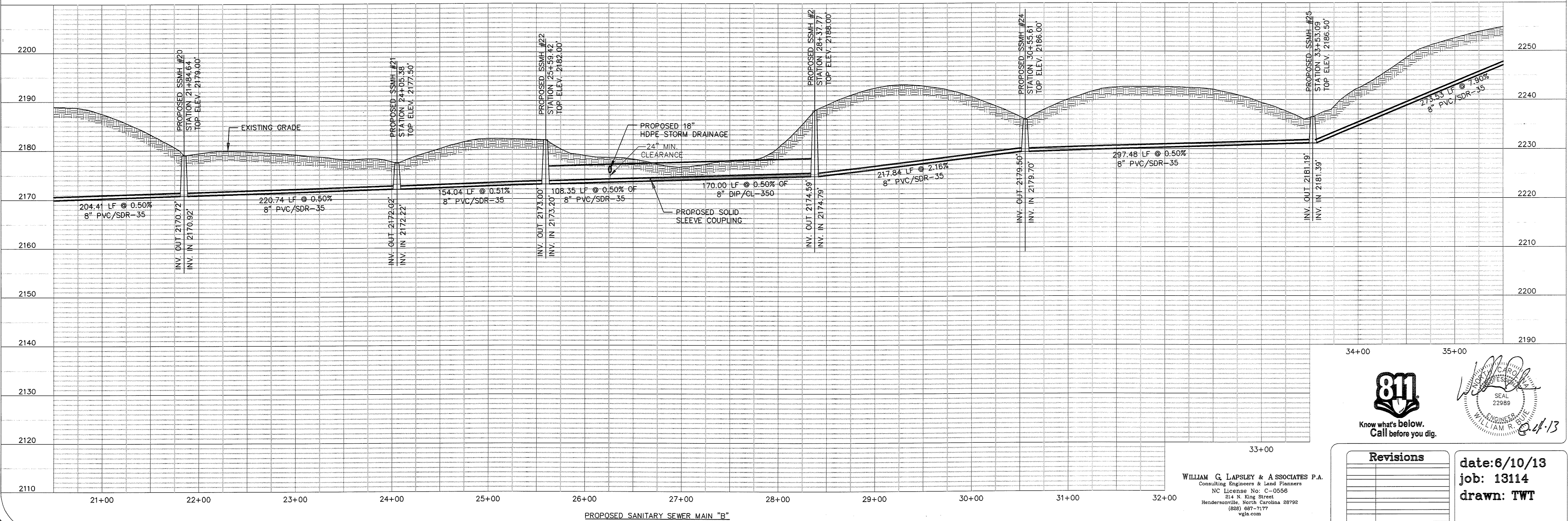
SANITARY SEWER MAIN "B"  
STATION 20+50 TO 35+50  
PLAN & PROFILE

sheet  
C-408



PROPOSED SANITARY SEWER MAIN "B"

HORIZONTAL SCALE 1"=50'  
VERTICAL SCALE 1"=10'



PROPOSED SANITARY SEWER MAIN "B"

811  
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Professional Engineer Seal for William G. Lapsley, License No. 22989, State of North Carolina.

Revisions	date: 6/10/13
	job: 13114
	drawn: TWT

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Hendersonville, North Carolina 28792  
(828) 687-7177  
wga.com

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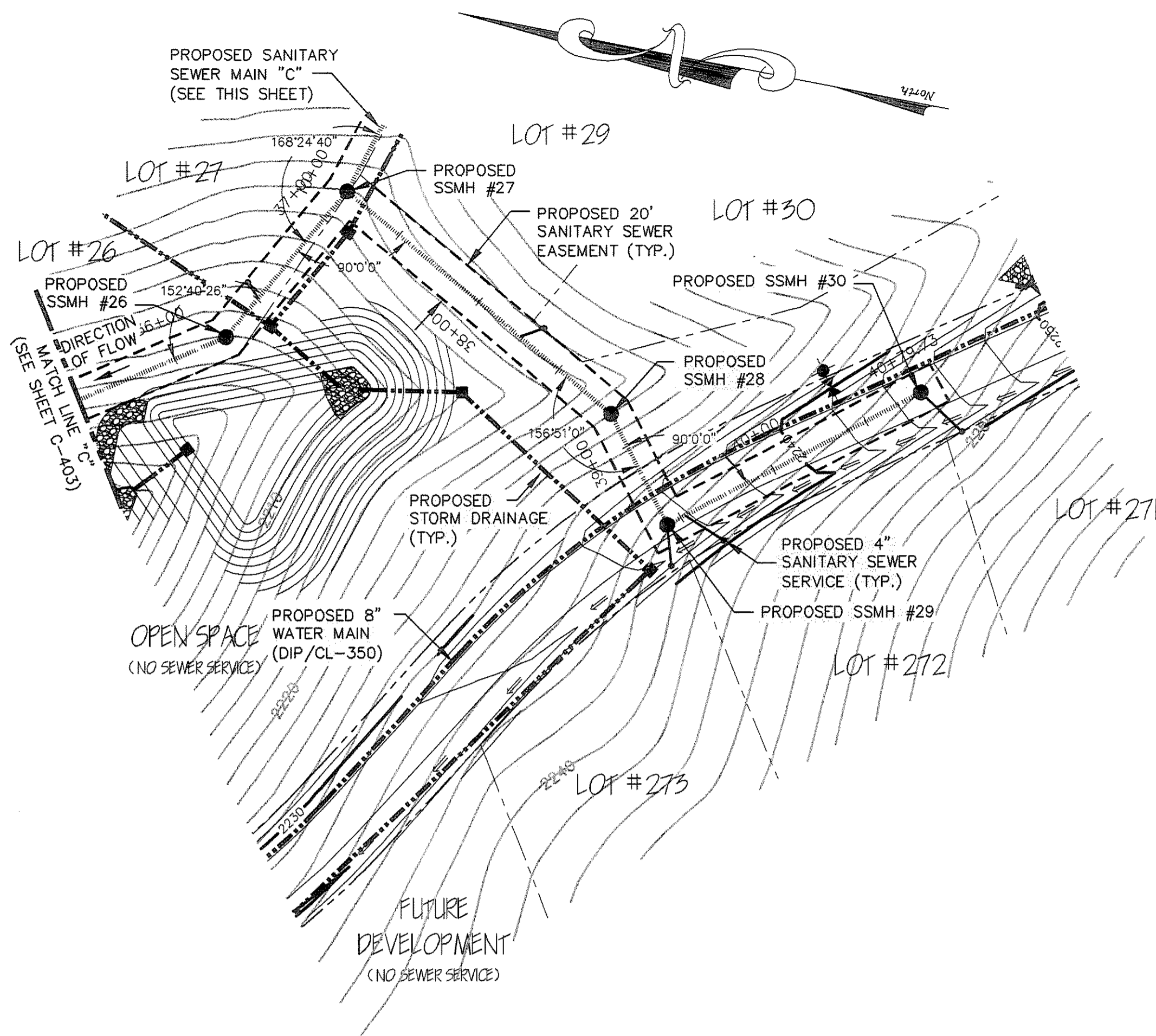


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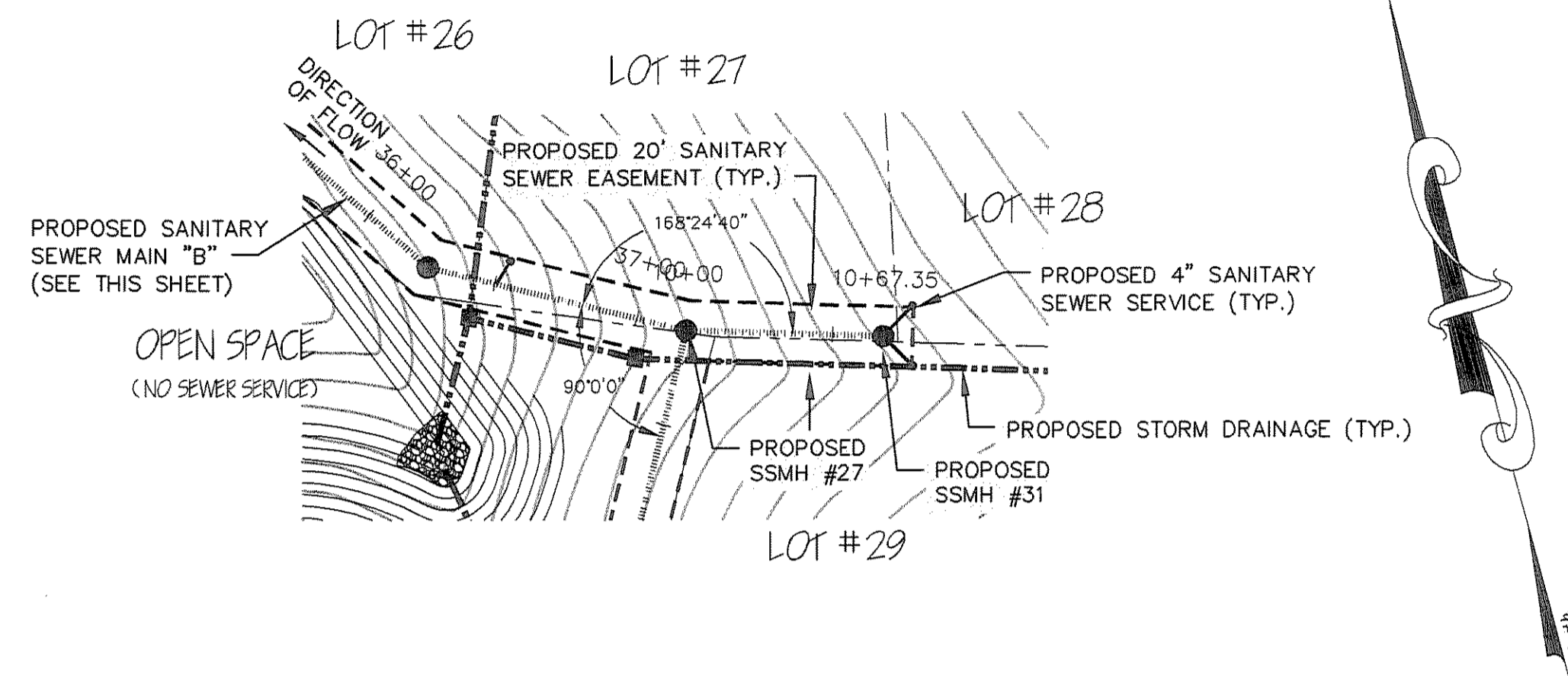
THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

SANITARY SEWER MAIN "B"  
STATION 35+50 TO 40+79.73  
SANITARY SEWER MAIN "C"  
PLAN & PROFILE

sheet  
C-404

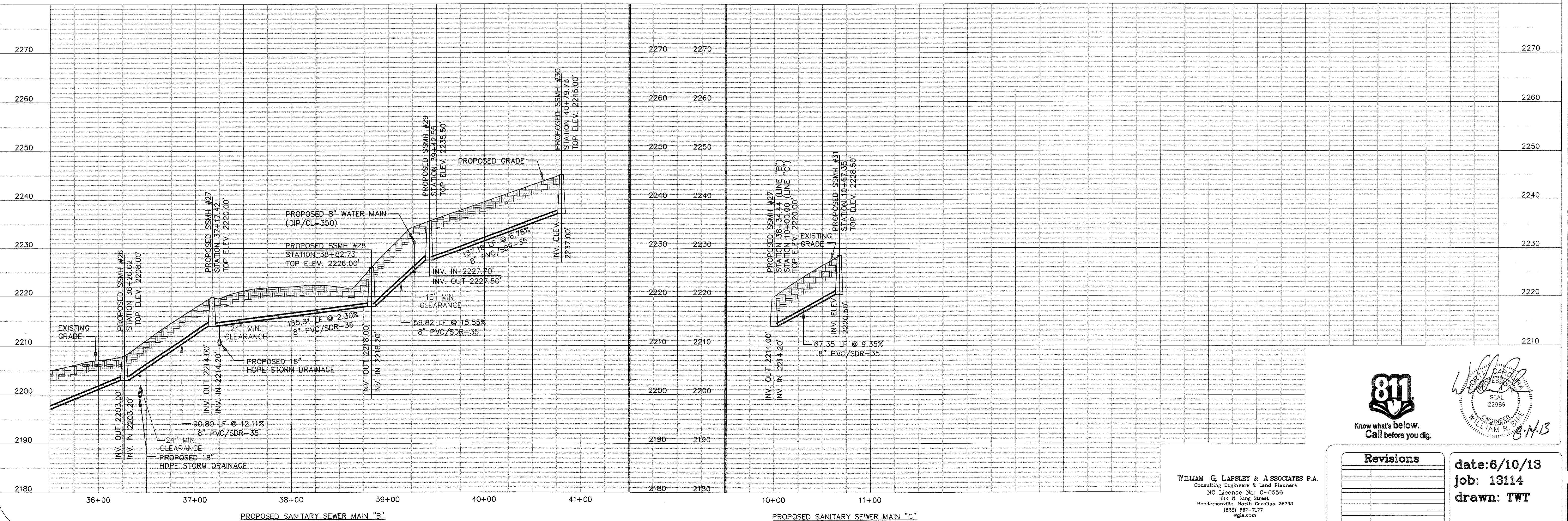


PROPOSED SANITARY SEWER MAIN "B"



PROPOSED SANITARY SEWER MAIN "C"

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VERTICAL SCALE 1"=10'

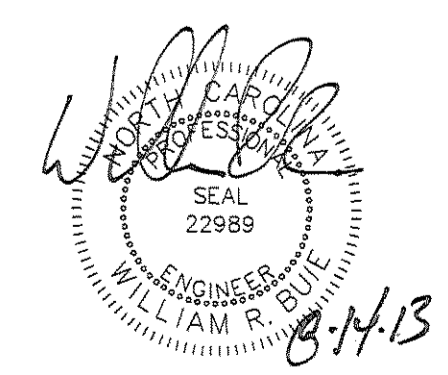


PROPOSED SANITARY SEWER MAIN "B"

PROPOSED SANITARY SEWER MAIN "C"



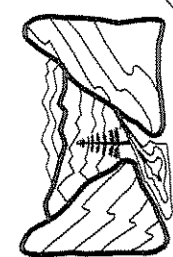
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date: 6/10/13  
job: 13114  
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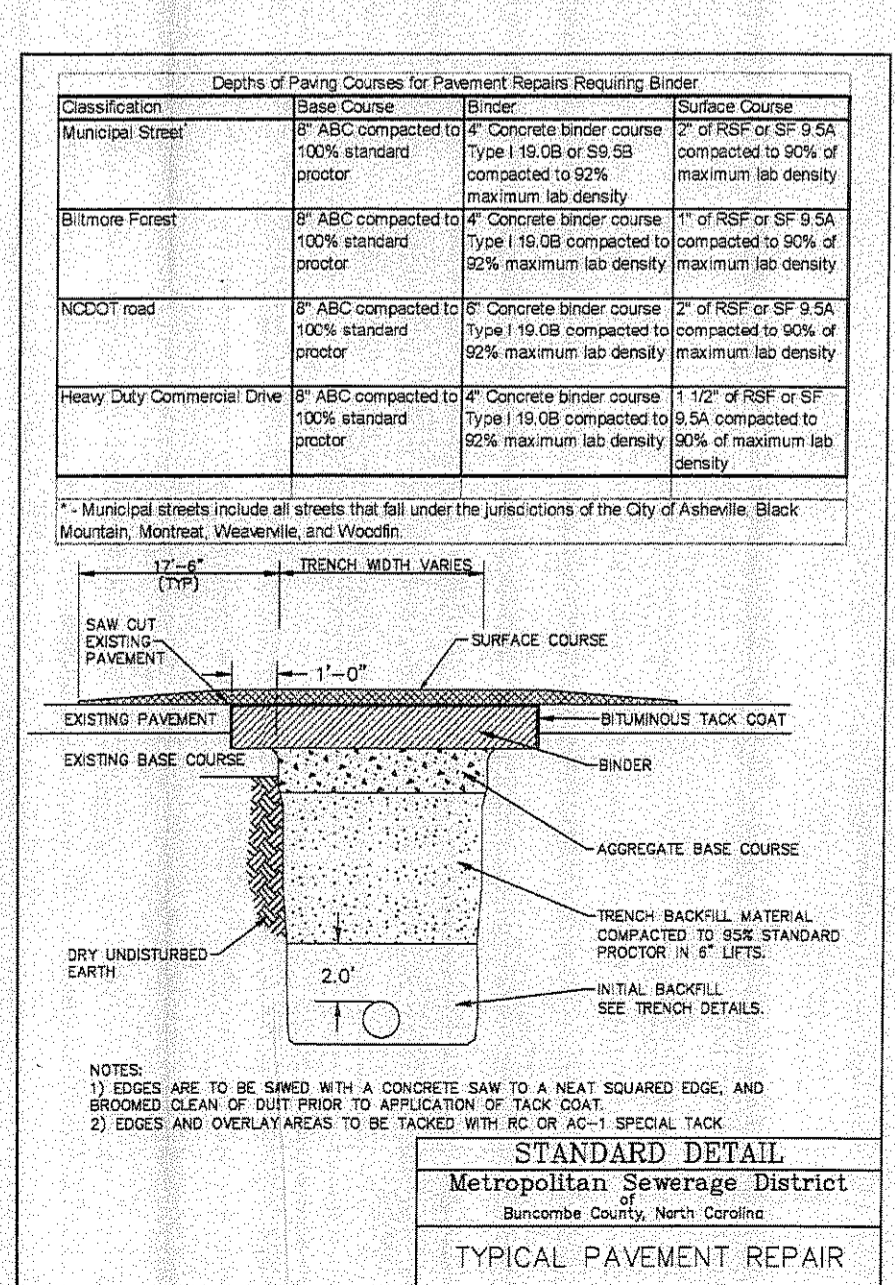
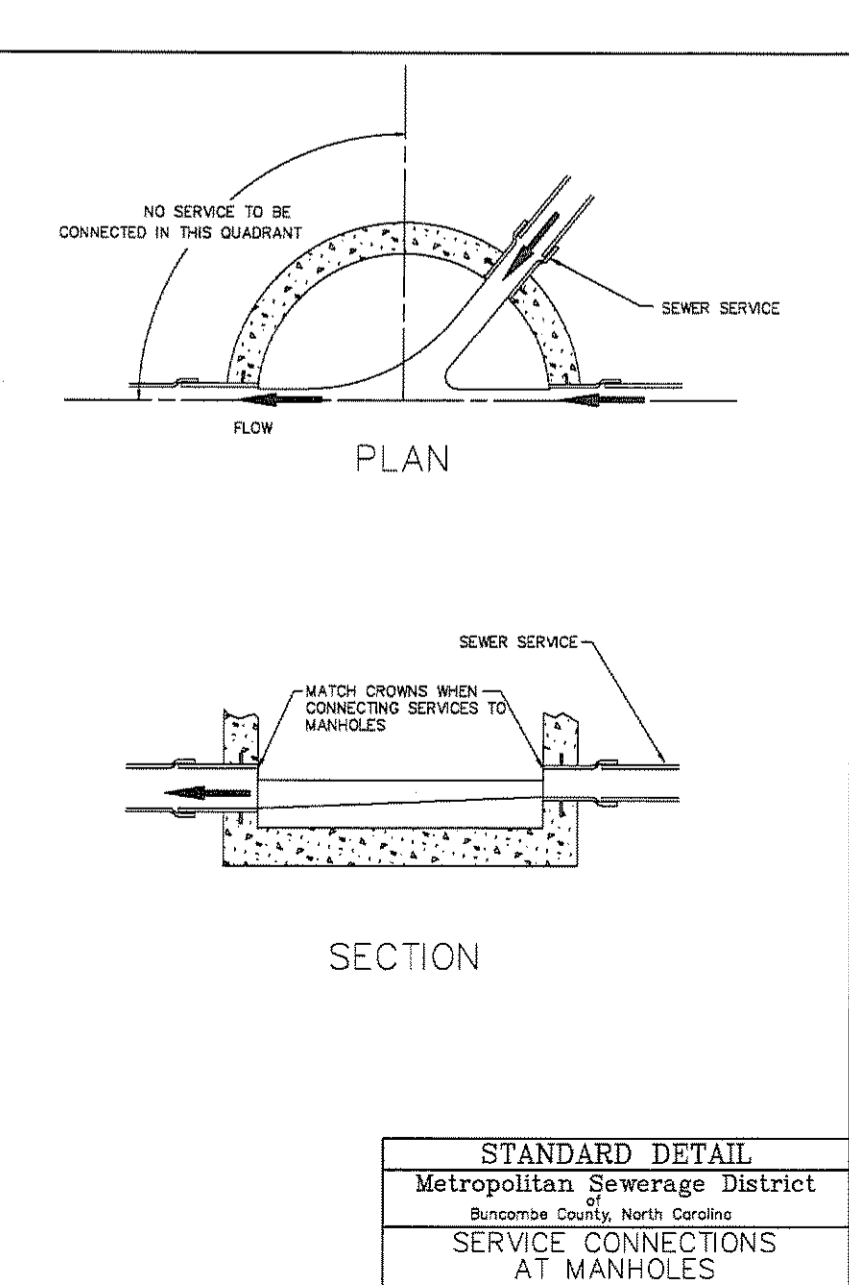
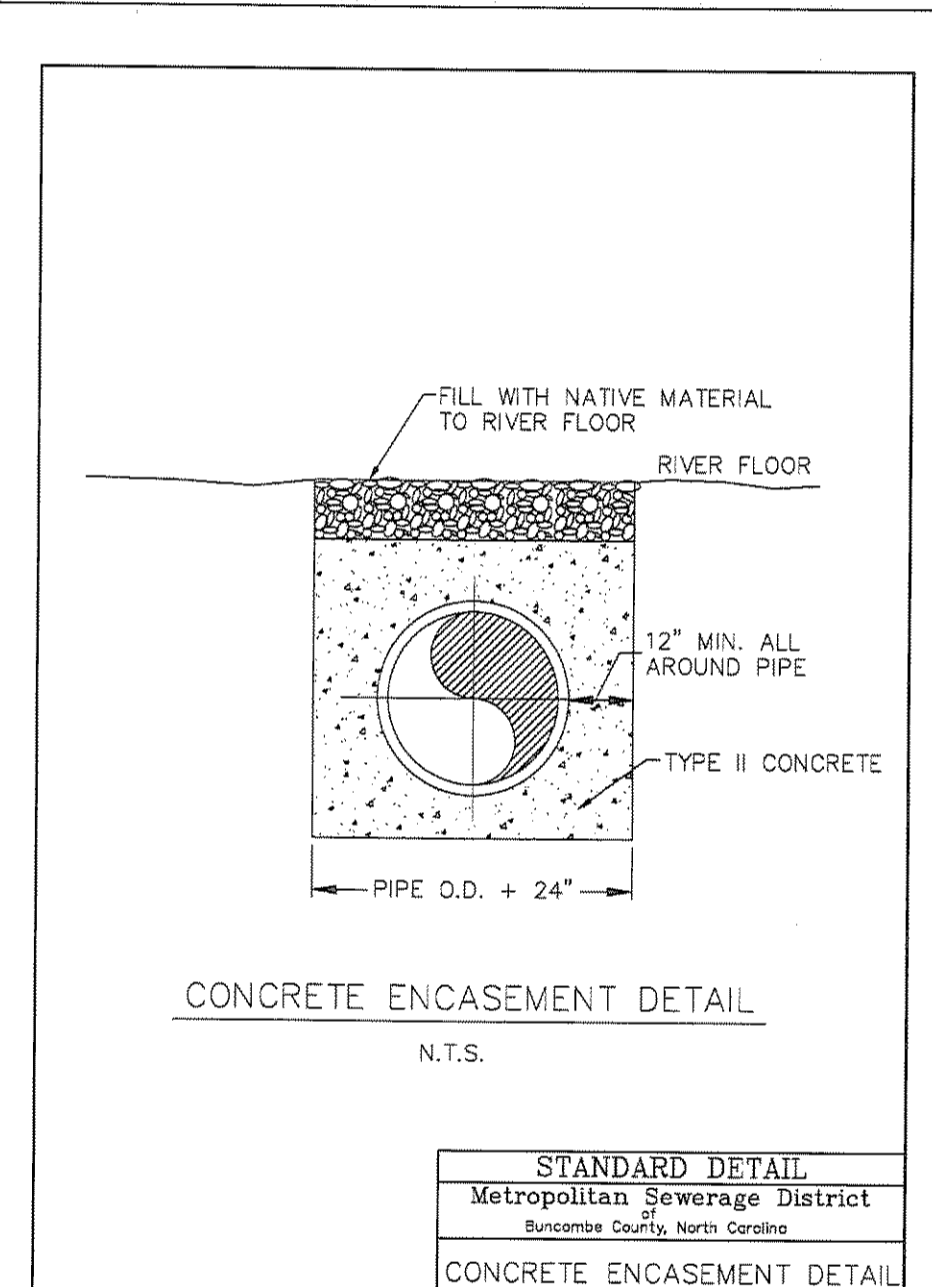
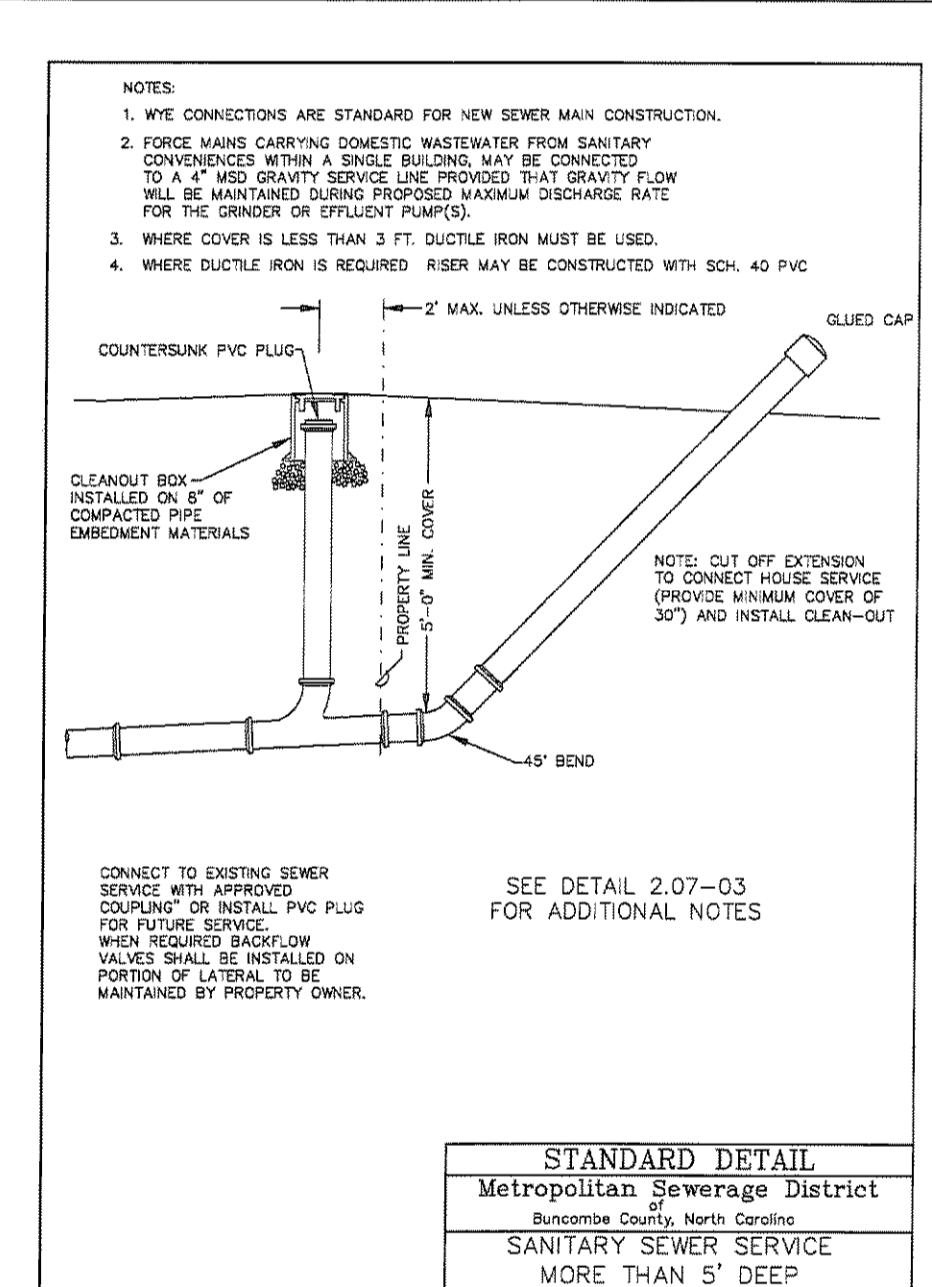
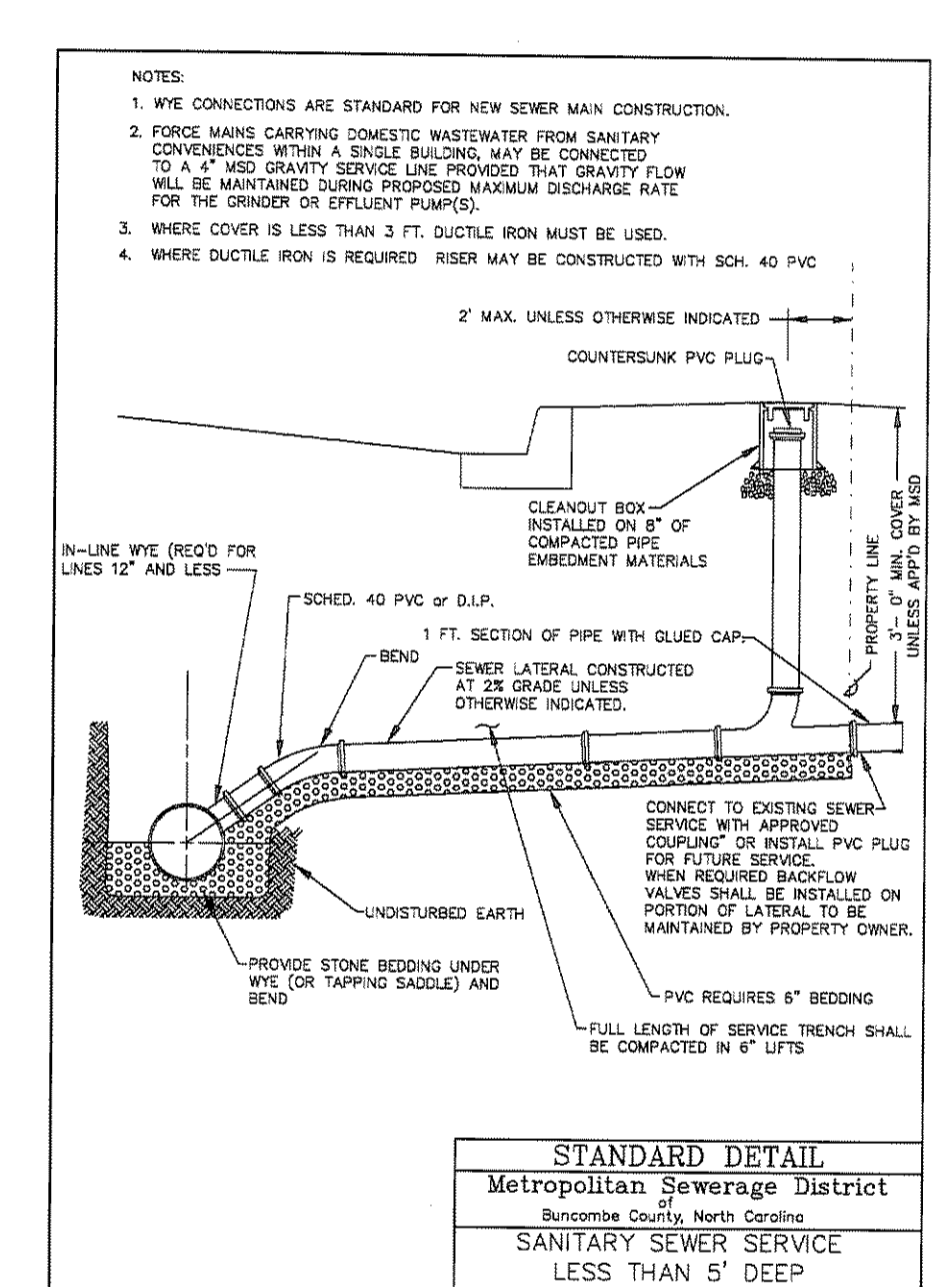
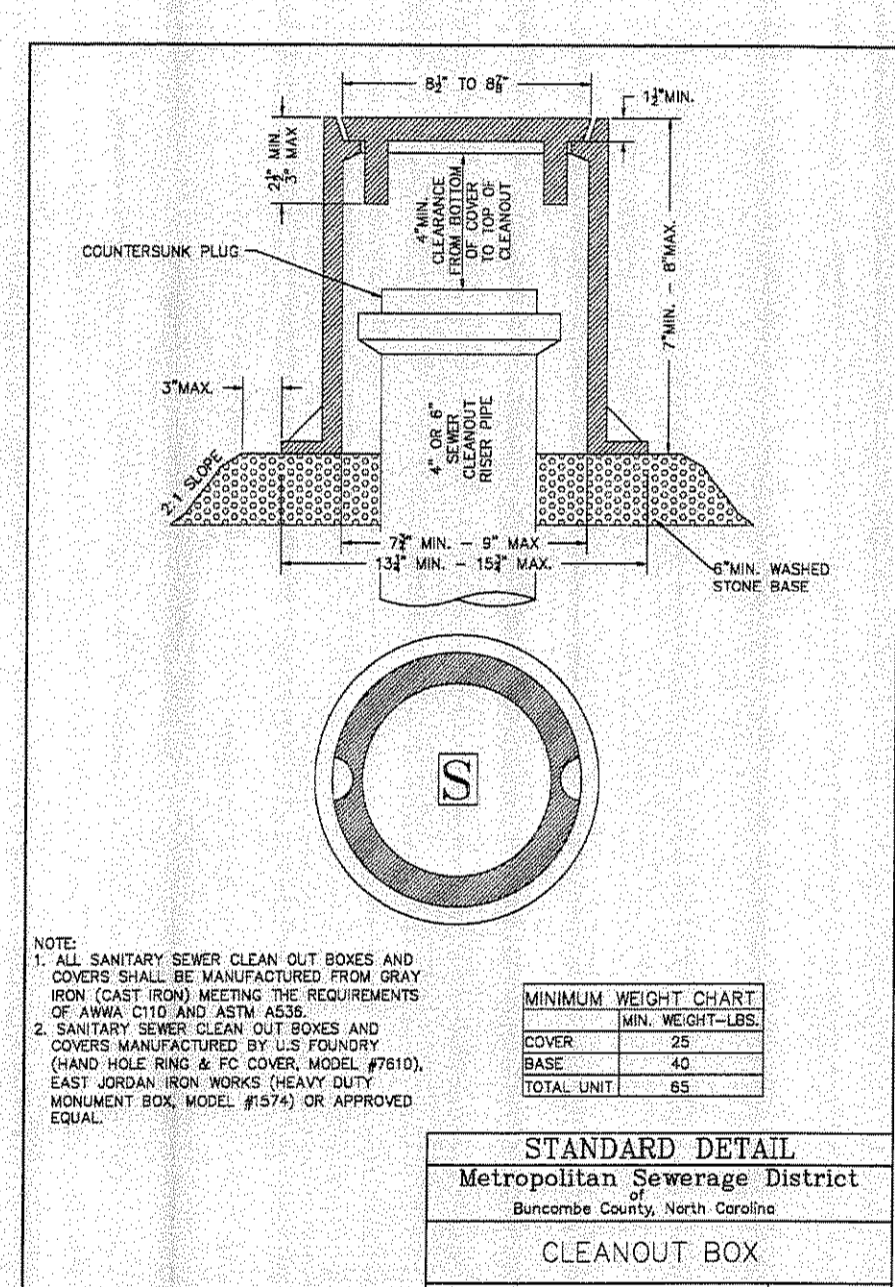
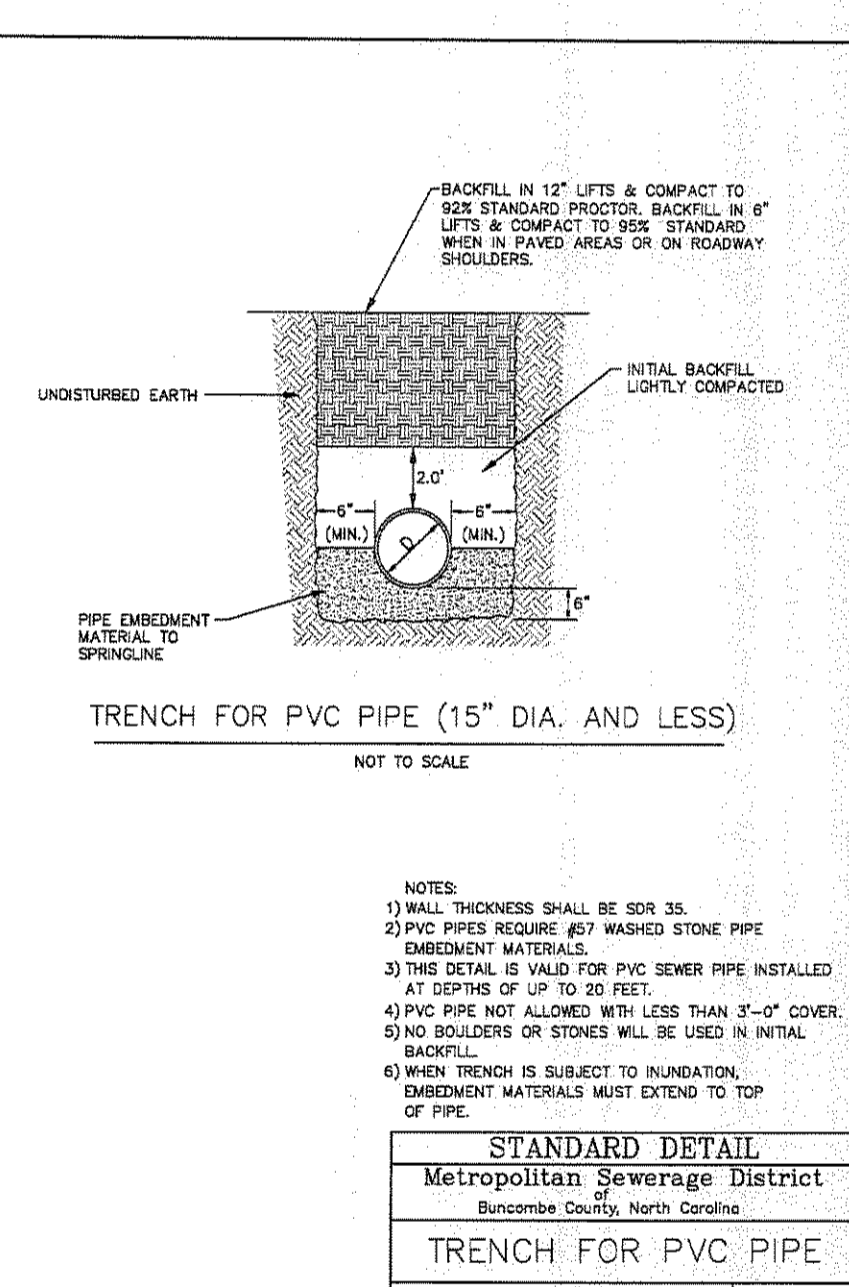
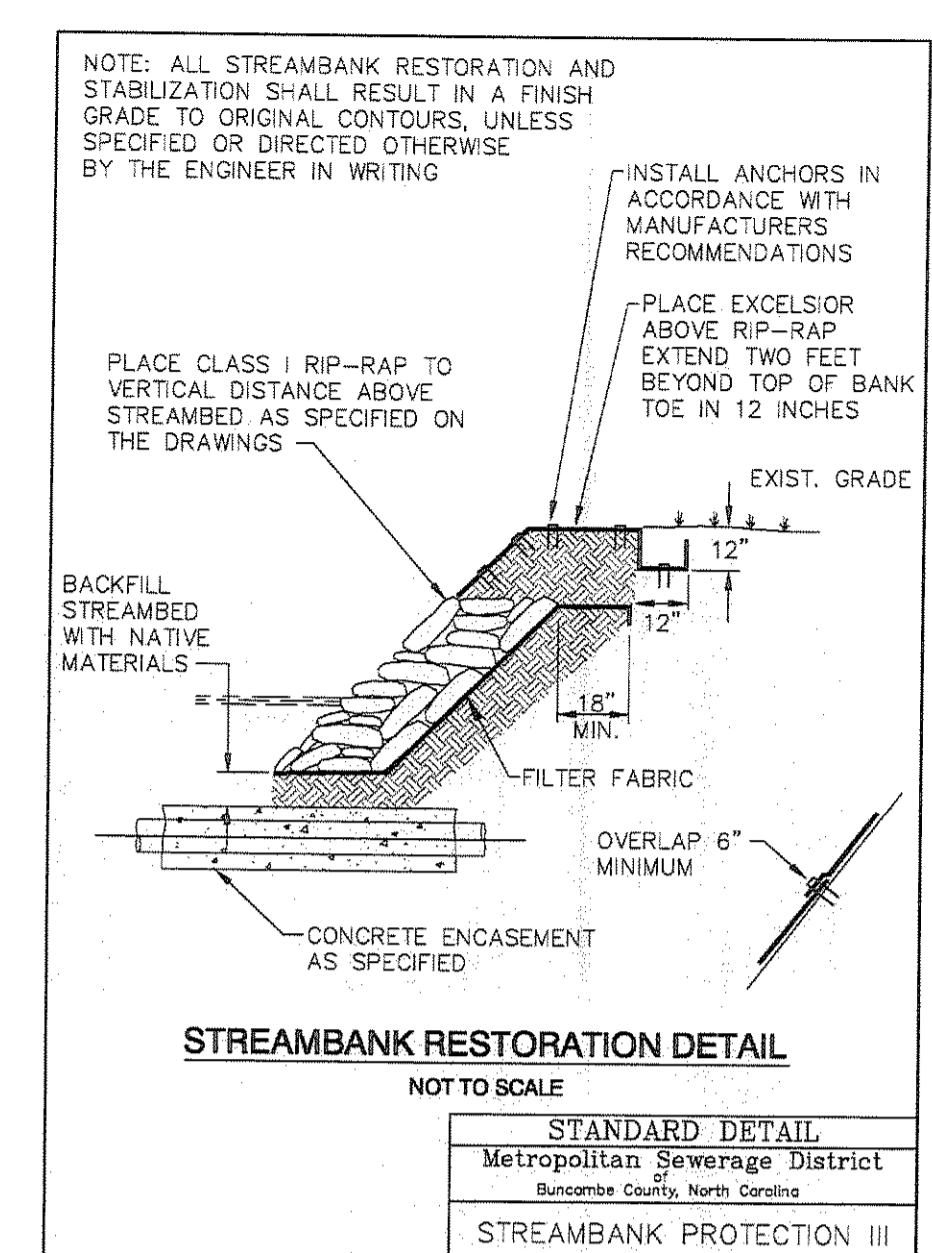
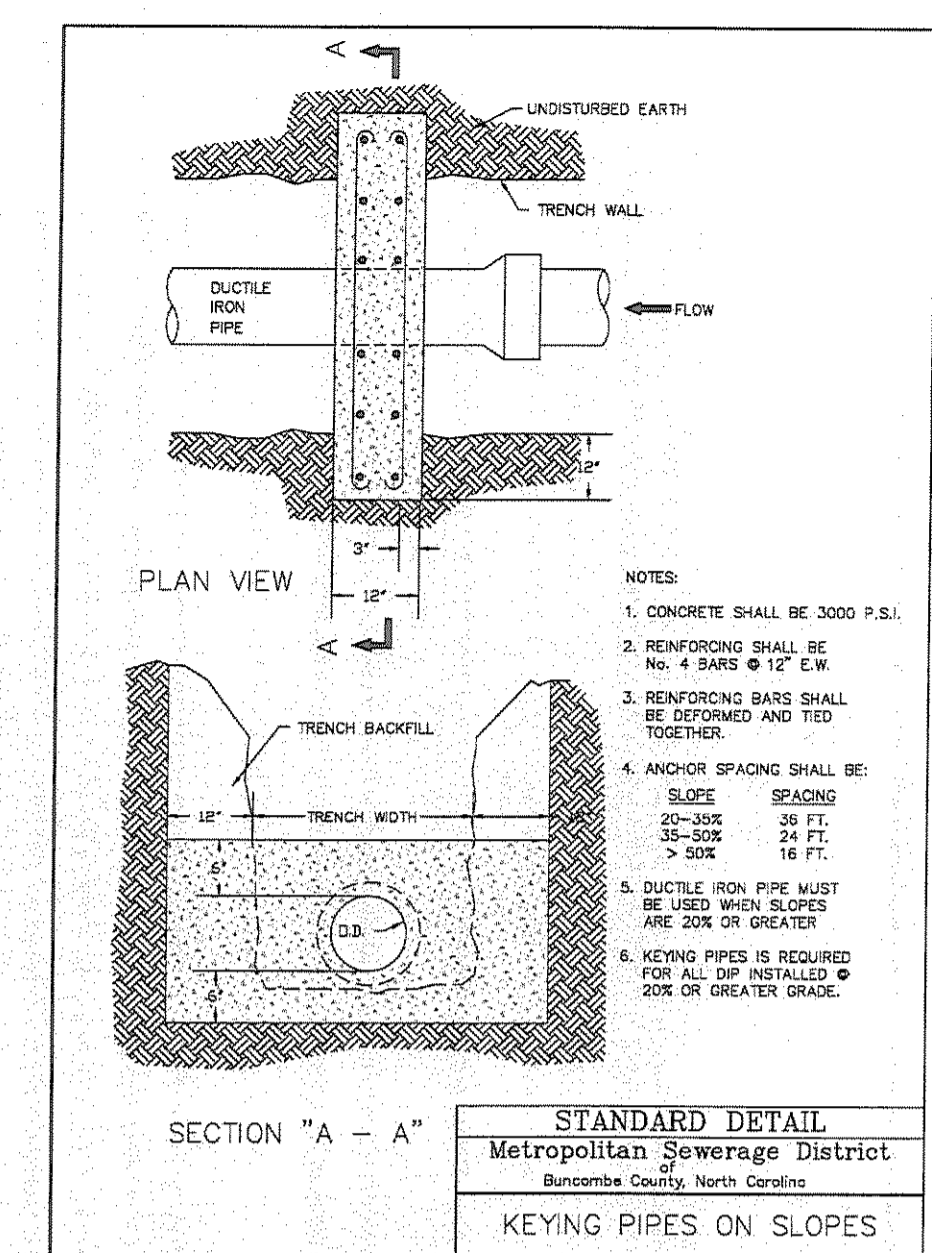
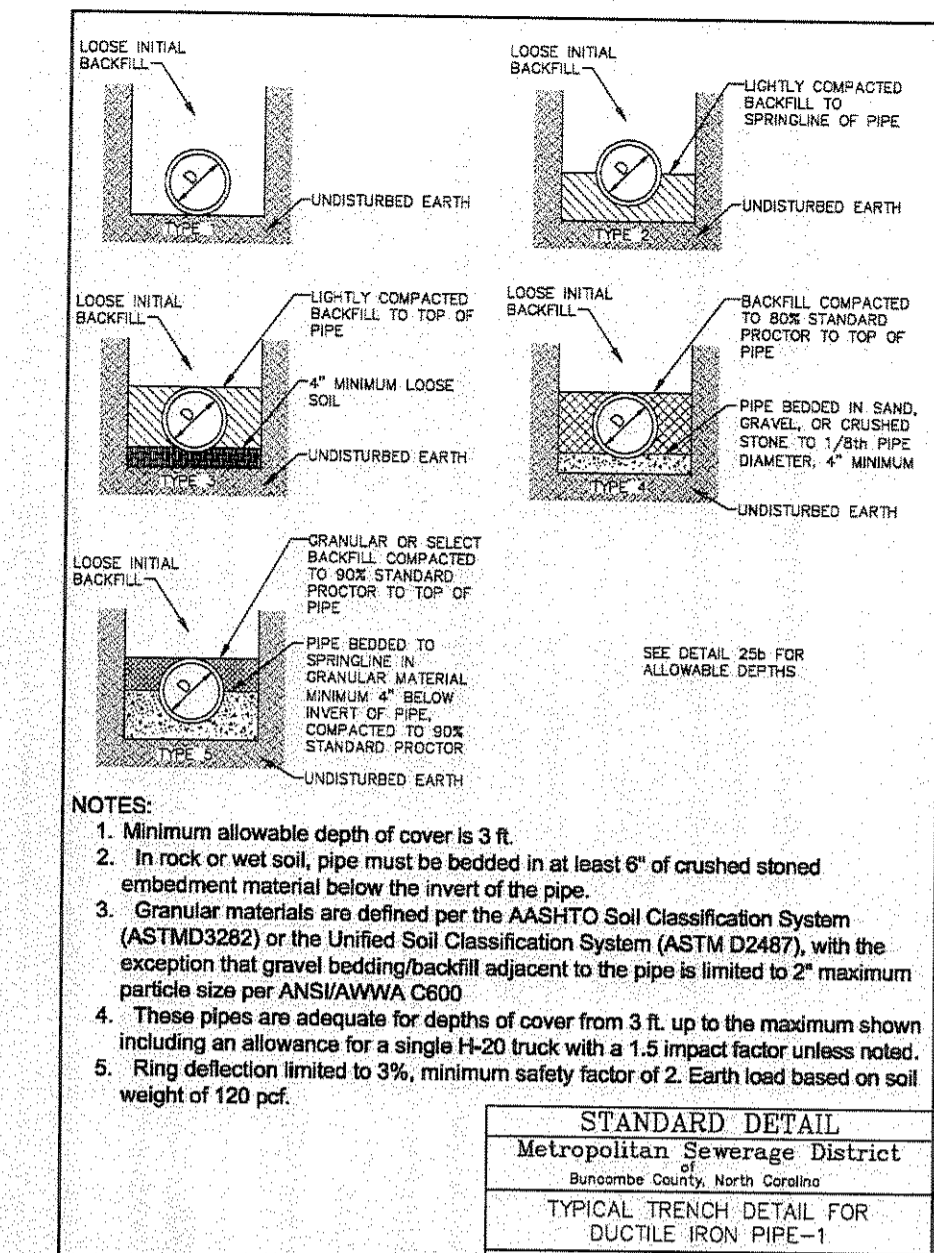
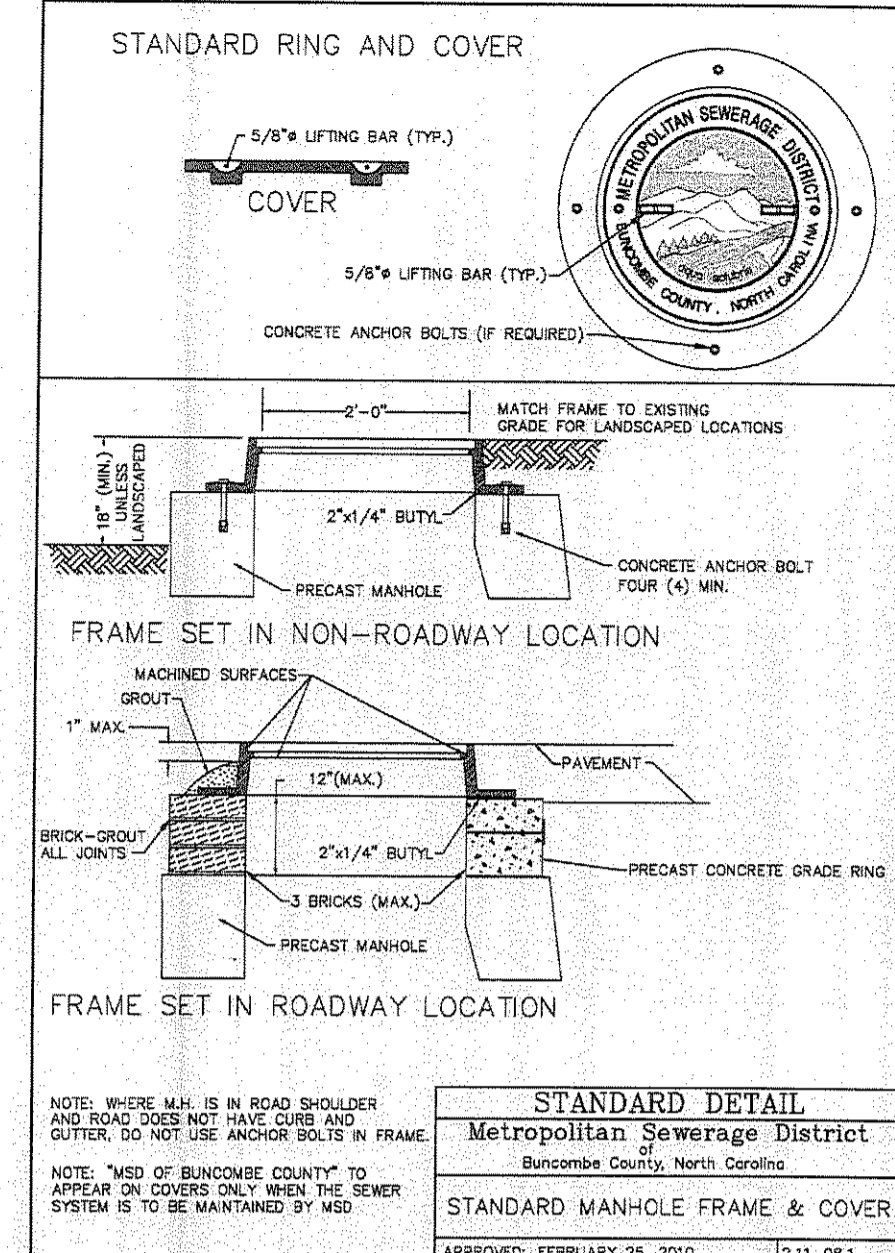
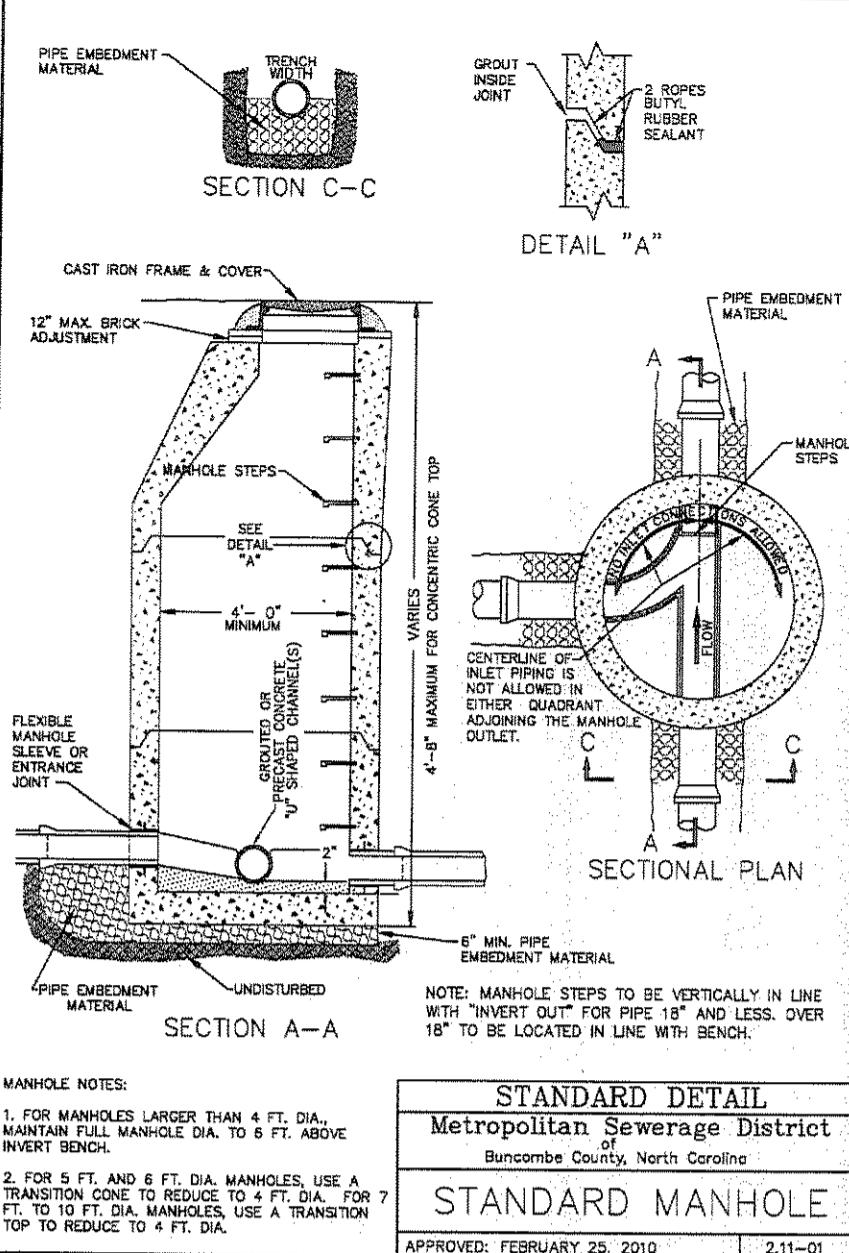


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THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

SANITARY SEWER DETAILS

sheet  
C-405



**METROPOLITAN SEWER DISTRICT REQUIRED PERMANENT EASEMENT WIDTHS**  
WHERE THE DEPTH OF SANITARY SEWERS EXCEEDS TWENTY FEET (20') OR WHERE SLOPES EXCEED A RATIO OF THREE TO ONE (3:1) EASEMENT WIDTHS WILL BE DETERMINED BY THE DISTRICT ON A CASE BY CASE BASIS.

TRENCH DEPTH	8"-12" SEWER RIGHT OF WAY	15"-18" SEWER RIGHT OF WAY	21"-27" SEWER RIGHT OF WAY	30"-36" SEWER RIGHT OF WAY	42"-54" SEWER RIGHT OF WAY
0-6	20'	20'	25'	25'	30'
6-8	20'	20'	25'	25'	30'
8-10	20'	25'	25'	25'	30'
10-12	20'	25'	25'	30'	30'
12-14	25'	30'	30'	35'	35'
14-16	30'	35'	35'	40'	40'
16-18	30'	35'	40'	40'	40'
18-20	30'	40'	45'	45'	45'

**UTILITY CROSSINGS** Clearance requirements are to be met or ferrous sewer pipe with joints equivalent to water main standards will be used for a distance of ten feet outside said point of crossing.

Storm Sewer - 24" Vertical  
Water - 18" Vertical (Sewer over water requires that both pipes shall be ferrous pipe with a 20 foot jointless span centered at crossing).

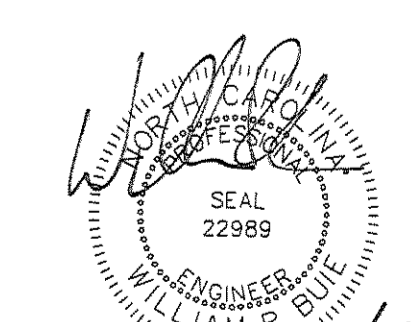
Power - 24" Vertical  
Gas - 24" Vertical  
Cable - 24" Vertical

**MINIMUM SEPARATION** Distance from all Sewer Collection Systems are to be met or ferrous sewer pipe with joints equivalent to water main standards will be used.

Storm Sewer - 5' Horizontal  
Water Mains - 10' Horizontal  
Water Supply - 100' Horizontal (AS-I Waters, Class I or Class II impounded reservoirs).  
Water Supply - 50' Horizontal (WS-I, WS-II, WS-III, B, SA, or BS Waters - Natural High Water).  
Other Stream, Lake or Impoundment - 10' Horizontal  
Designated Trout Streams - 25' Horizontal  
Building Foundation - 5' Horizontal  
Basement - 10' Horizontal  
Ground Water Lowering and Surface Drainage Ditch - 10' Horizontal  
Swimming Pool - 10' Horizontal

Note: Absolute Minimum separation from Private Wells - 25'; Public Wells - 50'.

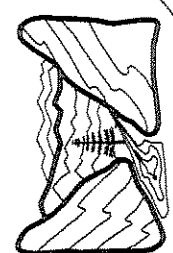
NOTE: MSD-BUNCOMBE COUNTY STANDARDS SUPERCEDES ALL OTHERS IN SANITARY SEWER CONSTRUCTION.



**Revisions**


date: 6/10/13  
job: 13114  
drawn: TWT

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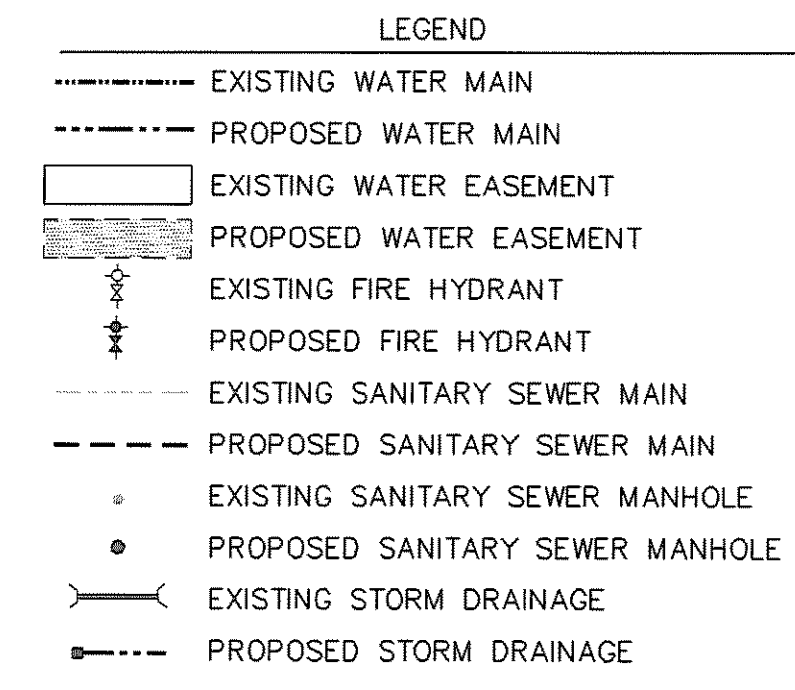
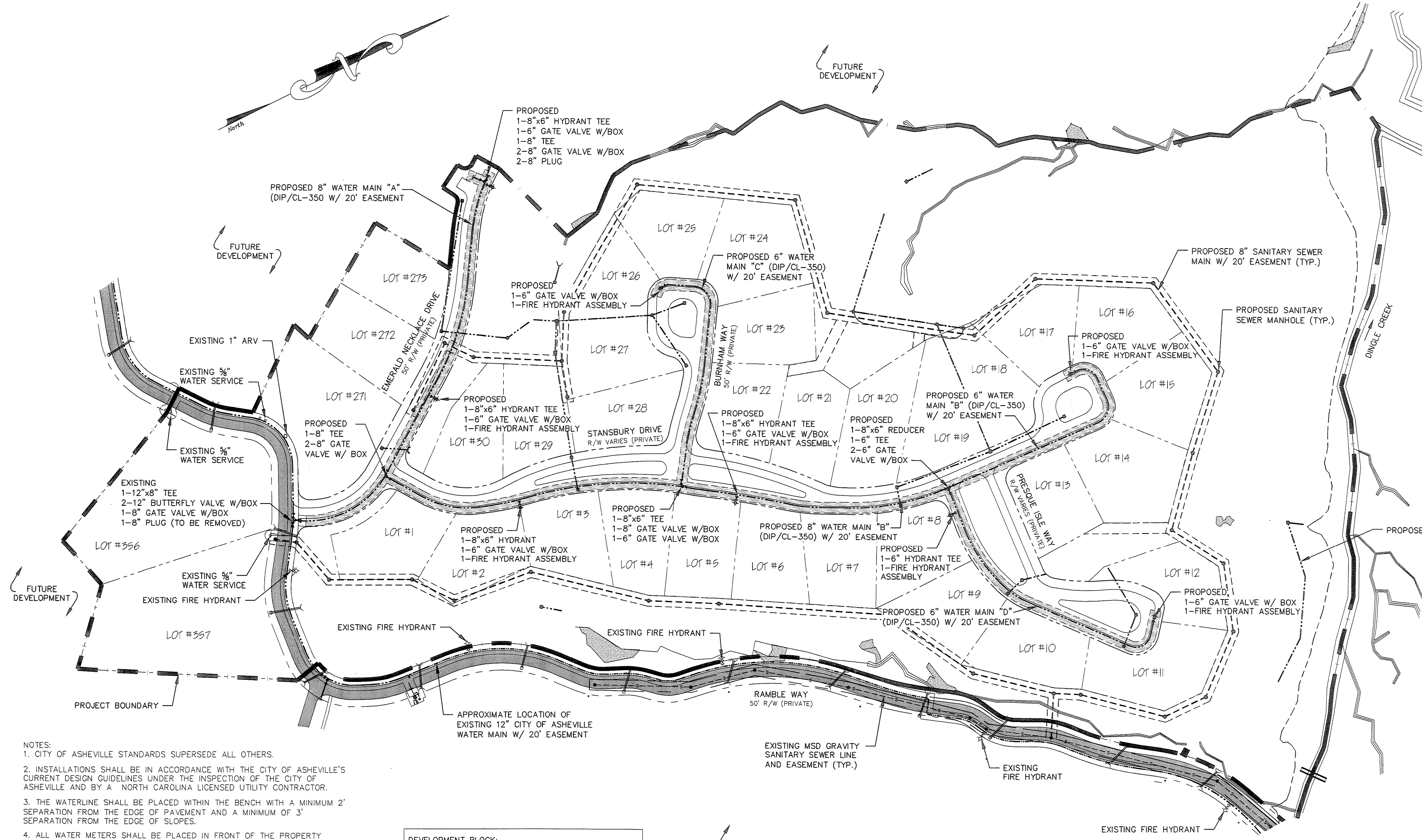
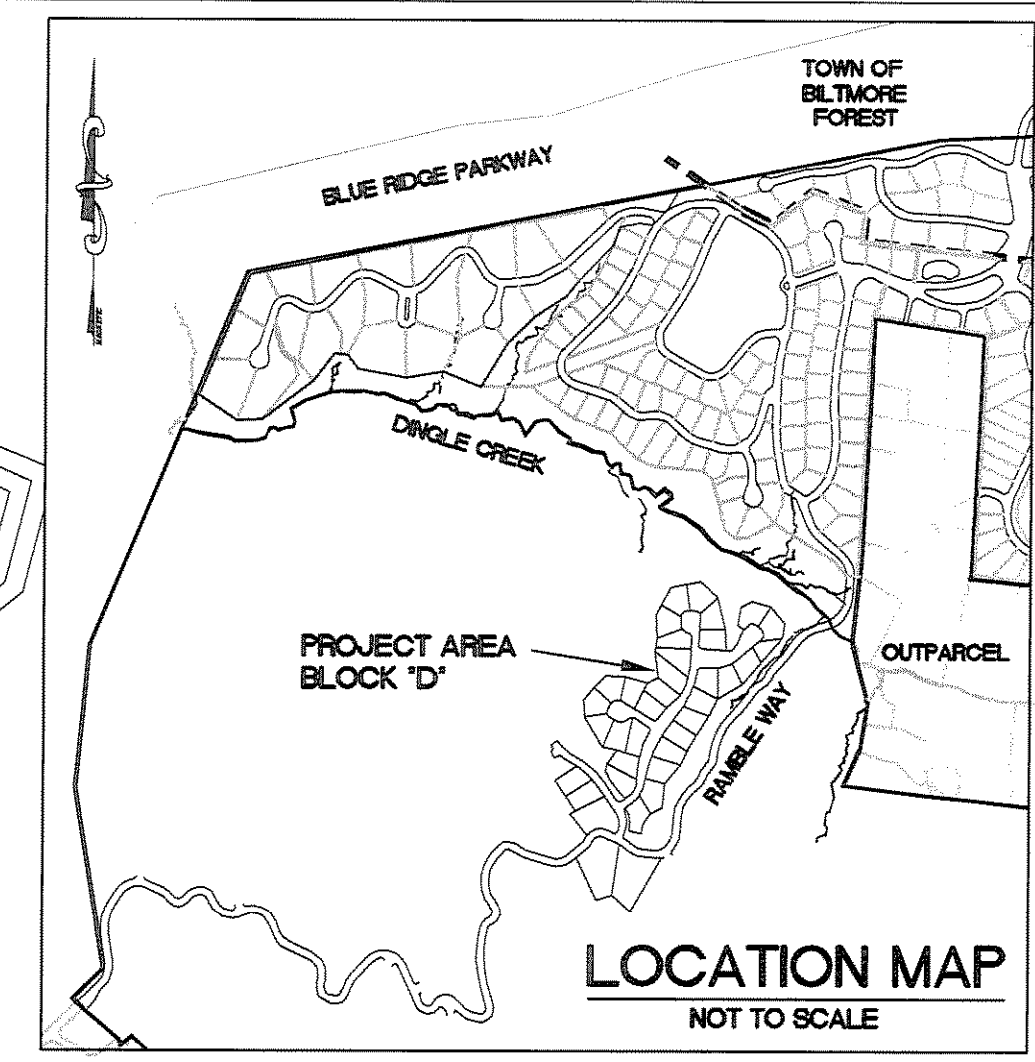


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THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

WATER SYSTEM LAYOUT

sheet  
C-500

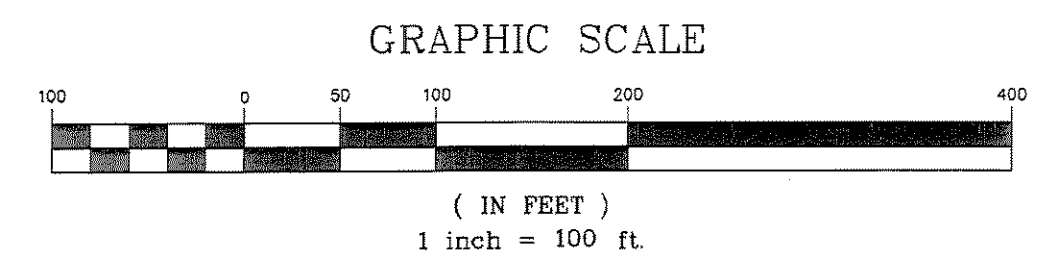
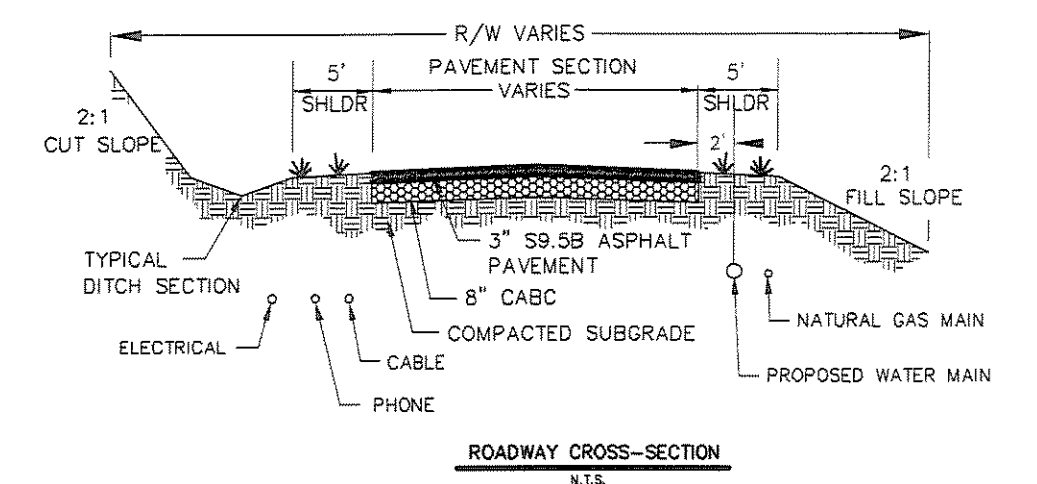


NOTE:  
A MINIMUM OF 10 FT. HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES MUST BE MAINTAINED.  
WHERE THE SEWER LINE INSTALLATION DOES NOT CONFORM TO THIS REQUIREMENT OR HAVE A MINIMUM COVER OF 36" FROM THE GROUND SURFACE OR 24" VERTICAL SEPARATION FROM STORM DRAINAGE LINES - SEWER PIPE MUST BE OF A FERROUS MATERIAL.

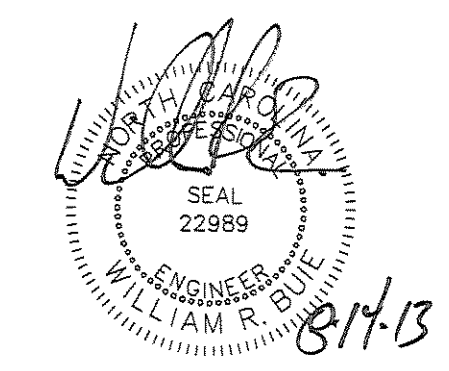
CITY OF ASHEVILLE PROJECT NO. WPFY 12-13-060  
WATER LINE EASEMENT PLAT PB\_\_\_\_PG\_\_\_\_  
WATER LINE EASEMENT DOCUMENT DB\_\_\_\_PG\_\_\_\_  
ESTOPPEL CERTIFICATE REQUIRED YES\_X\_NO\_\_\_\_

- NOTES:
- CITY OF ASHEVILLE STANDARDS SUPERSEDE ALL OTHERS.
  - INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF ASHEVILLE'S CURRENT DESIGN GUIDELINES UNDER THE INSPECTION OF THE CITY OF ASHEVILLE AND BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.
  - THE WATERLINE SHALL BE PLACED WITHIN THE BENCH WITH A MINIMUM 2' SEPARATION FROM THE EDGE OF PAVEMENT AND A MINIMUM OF 3' SEPARATION FROM THE EDGE OF SLOPES.
  - ALL WATER METERS SHALL BE PLACED IN FRONT OF THE PROPERTY WHICH THEY WILL SERVE AND THEY MUST BE INSTALLED IN RELATIVELY FLAT AREAS NOT IN STEEP BANKS OR SLOPES.
  - ALL FIRE HYDRANTS MUST BE PLACED IN RELATIVELY FLAT AREAS, NOT IN STEEP BANKS OR SLOPES, AND MUST HAVE 3' OF CLEAR SPACE AROUND THE HYDRANT.
  - ALL BRASS FITTINGS MUST BE CERTIFIED LEAD FREE.
  - ALL METERS SHALL BE PLACED PER CITY OF ASHEVILLE DETAIL AS SHOWN ON DETAIL SHEET.
  - ALL PROPOSED ROADS ARE TO BE PRIVATE.
  - A MINIMUM OF 3 FEET IS REQUIRED BETWEEN THE WATER LINES AND ANY OTHER UNDERGROUND UTILITY.
  - WATER MAIN SHALL BE INSTALLED WITH 3 FEET COVER OVER WATER MAIN. ALL FIRE HYDRANTS, WATER METERS AND AIR RELEASE VALVES SHALL BE LOCATED OUTSIDE DRIVEWAYS.
  - RESTRAINED JOINTS BY A CITY OF ASHEVILLE APPROVED PIPE MANUFACTURER ARE TO BE USED FOR ALL PUBLIC WATER LINES; THRUST BLOCKS ARE PERMITTED WHERE CONNECTIONS ARE MADE TO EXISTING WATER MAIN OR WHERE THE USE OF MECHANICAL RESTRAINT IS NOT FEASIBLE.
  - ALL WATER METERS ARE TO BE LOCATED WITHIN 5' OF THE BACK OF CURB OR IN ACCORDANCE WITH DETAIL W.06 FOR WATER MAINS NEXT TO SIDEWALKS.
  - 911 ADDRESSES ISSUED FROM BUNCOMBE COUNTY ARE REQUIRED BY BUNCOMBE COUNTY BEFORE WATER RELEASE.

DEVELOPMENT BLOCK:	
PROJECT NAME:	THE RAMBLE BILTMORE FOREST BLOCK "D"
PROJECT ADDRESS:	RAMBLE WAY
OWNER/DEVELOPER:	RAMBLE BILTMORE FOREST, LLC ONE TOWN SQUARE BLVD, SUITE 330 ASHEVILLE, NC 28803 (828) 209-2000
CONTACT PERSON:	LEE THOMASON ONE TOWN SQUARE BLVD, SUITE 330 ASHEVILLE, NC 28803 (828) 209-2000
ENGINEER:	WILLIAM R. BUJE, P.E. WILLIAM G. LAPSLEY AND ASSOCIATES, P.A. 214 N. KING STREET HENDERSONVILLE, NC 28792 (828) 687-7177
PIN #:	9545-46-2140
TOTAL PROPERTY SIZE:	49.8± AC.
TOTAL # OF PROPOSED LOTS:	35 LOTS
DEED REF:	D.B. 3836 PG. 0521
TOWNSHIP:	LOWER HOMINY CREEK



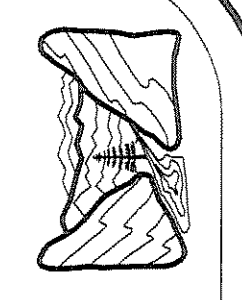
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date: 6/10/13  
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drawn: TWT

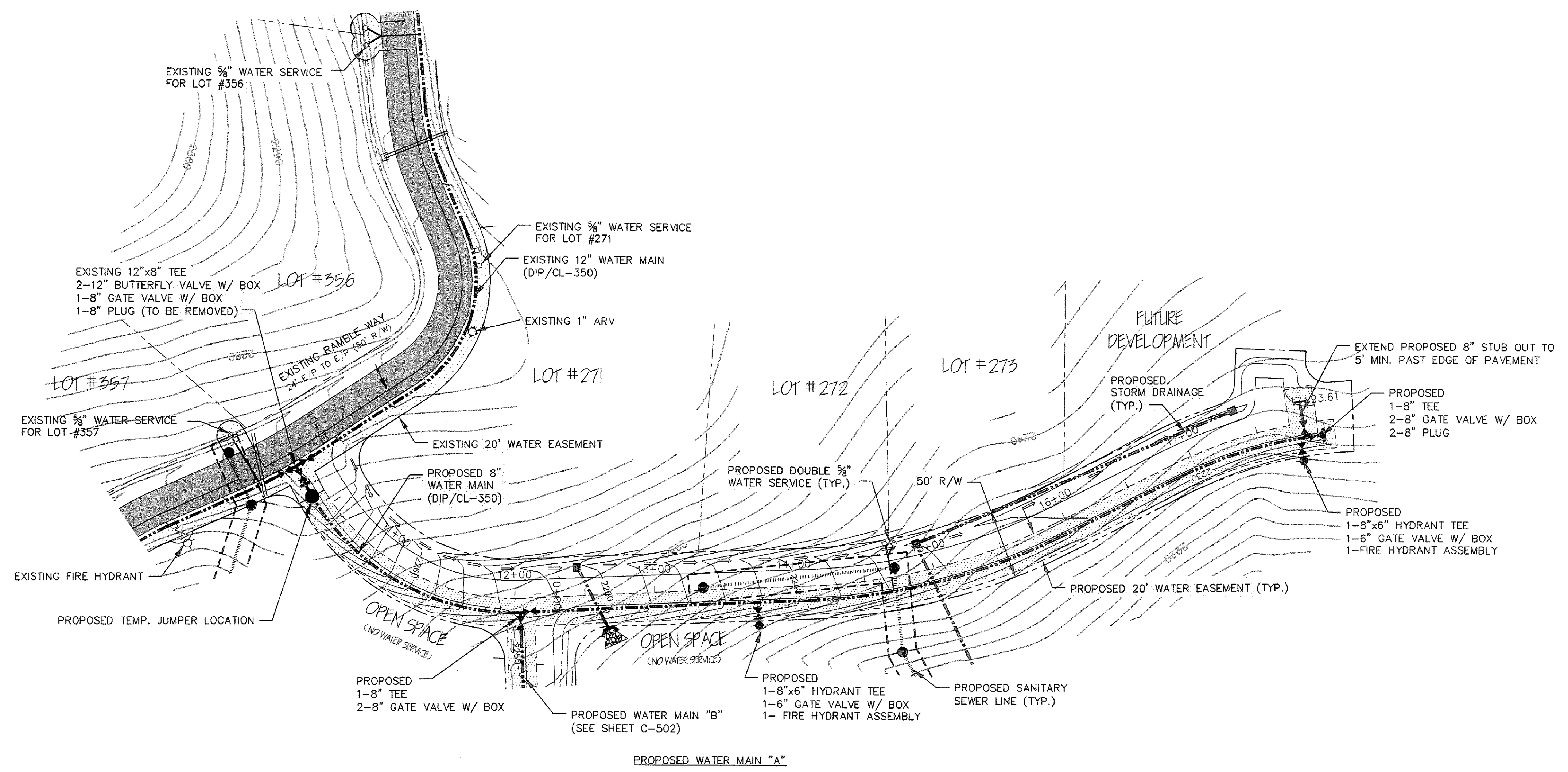
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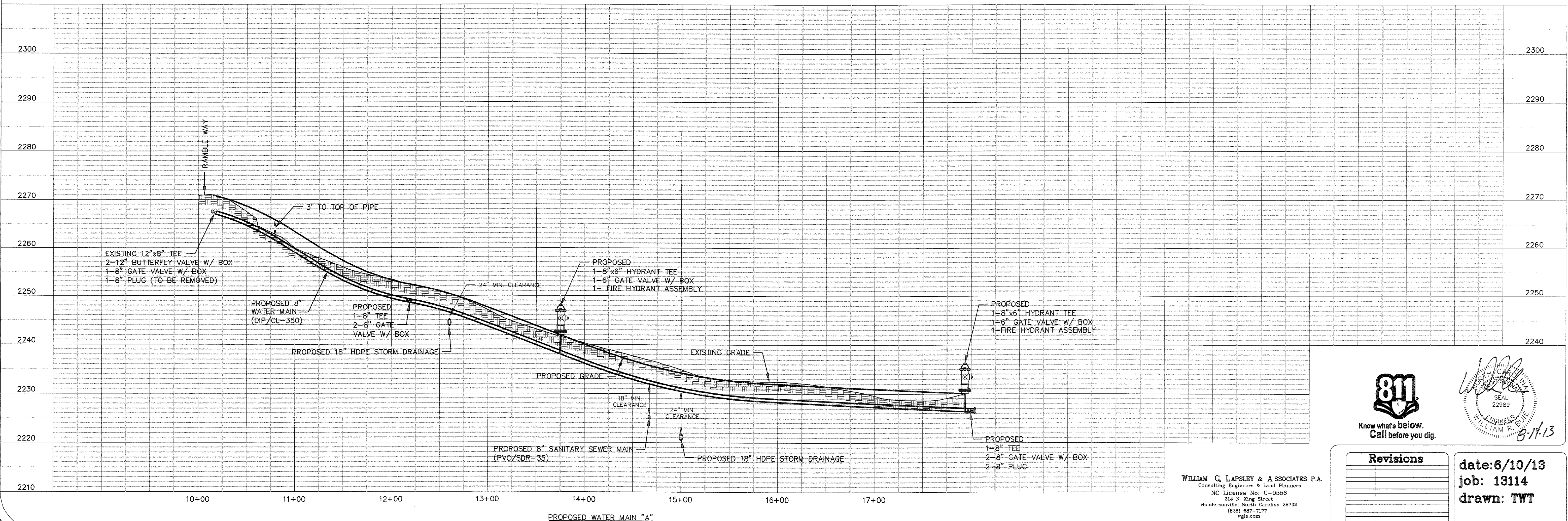
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THE RAMBLE BILTMORE FOREST  
 BLOCK "D"  
 BUNCOMBE COUNTY  
 NORTH CAROLINA

WATER MAIN "A"  
 PLAN & PROFILE



HORIZONTAL SCALE 1"=50'  
 VERTICAL SCALE 1"=10'



**811**  
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Professional Engineer Seal for William R. Squire, License No. 22959, dated 8-11-13.

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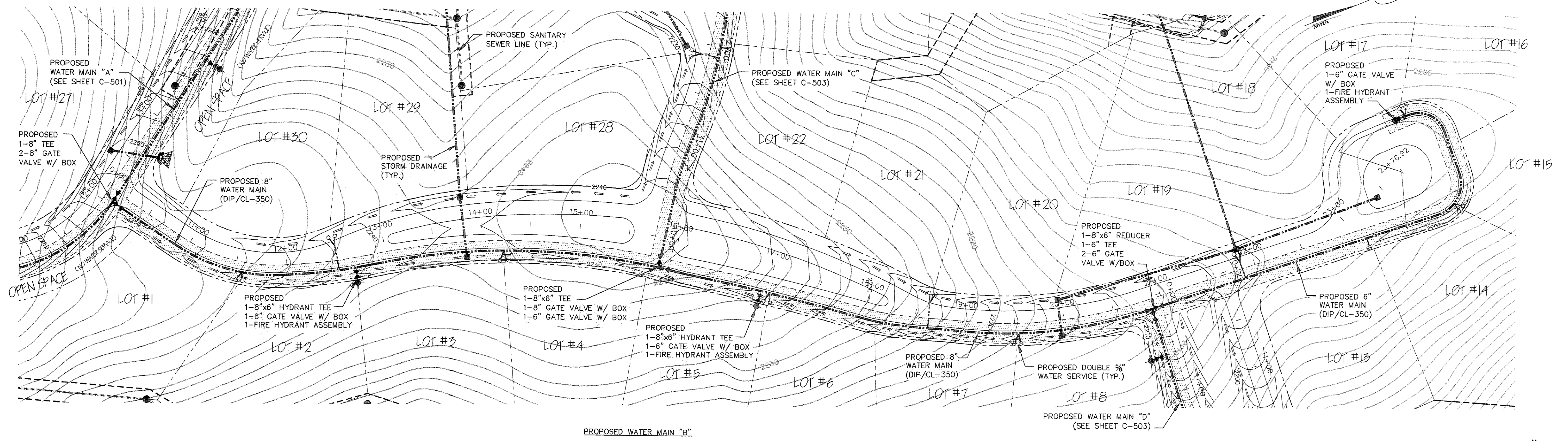
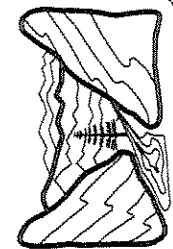
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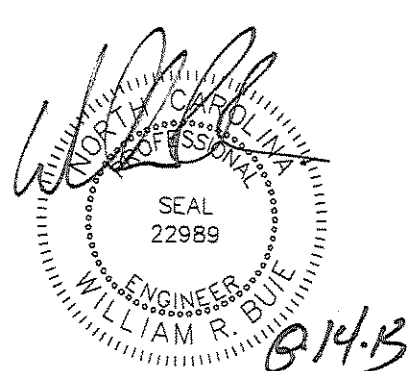
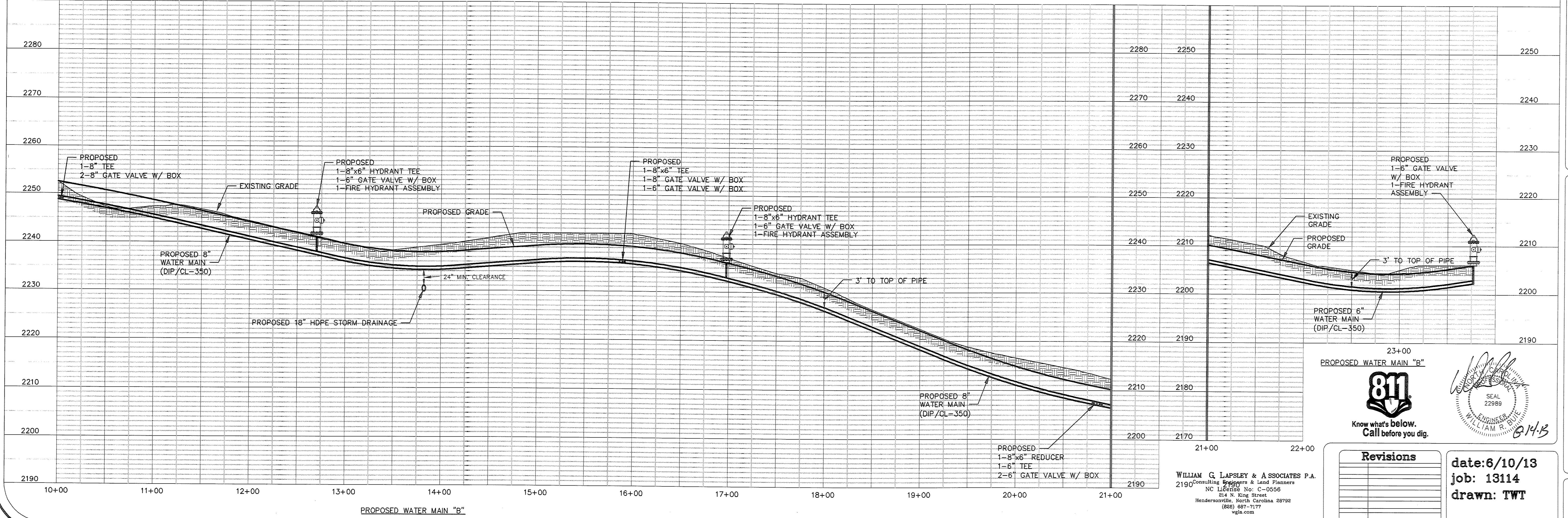
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drawn: TWT

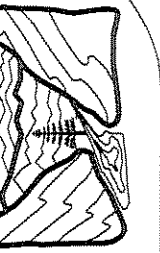
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THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

WATER MAIN "B"  
PLAN & PROFILE

sheet  
C-502

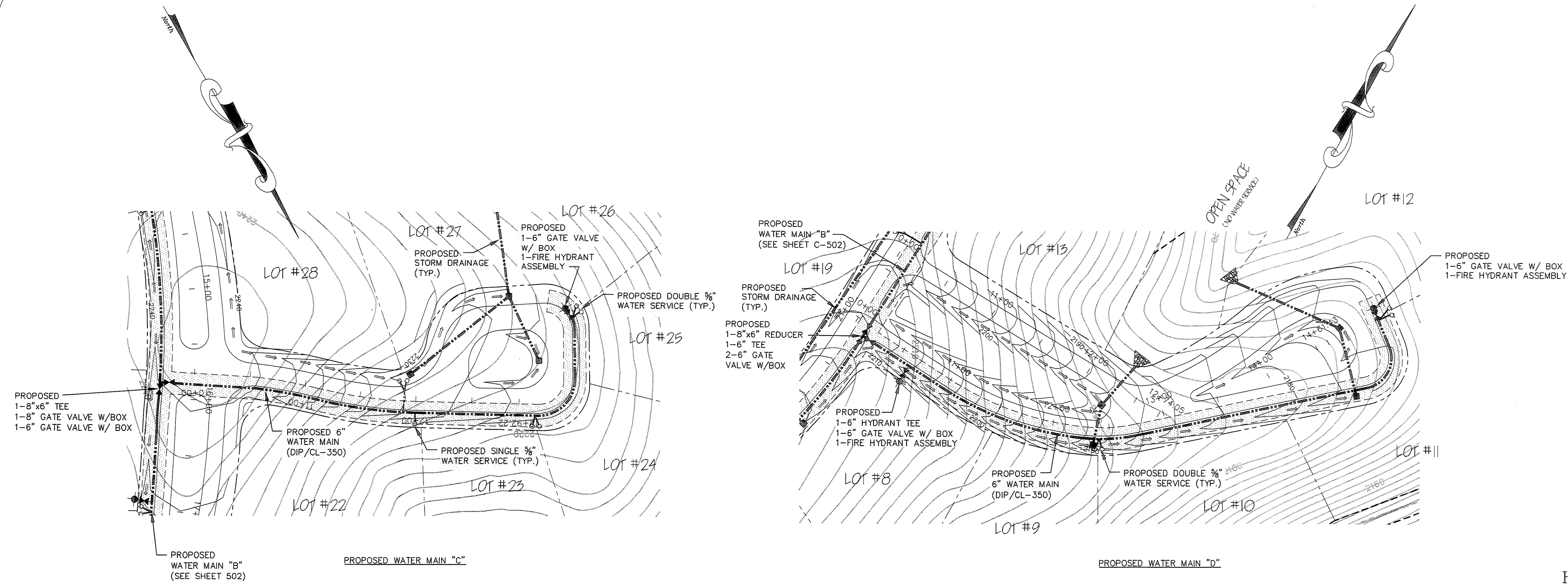


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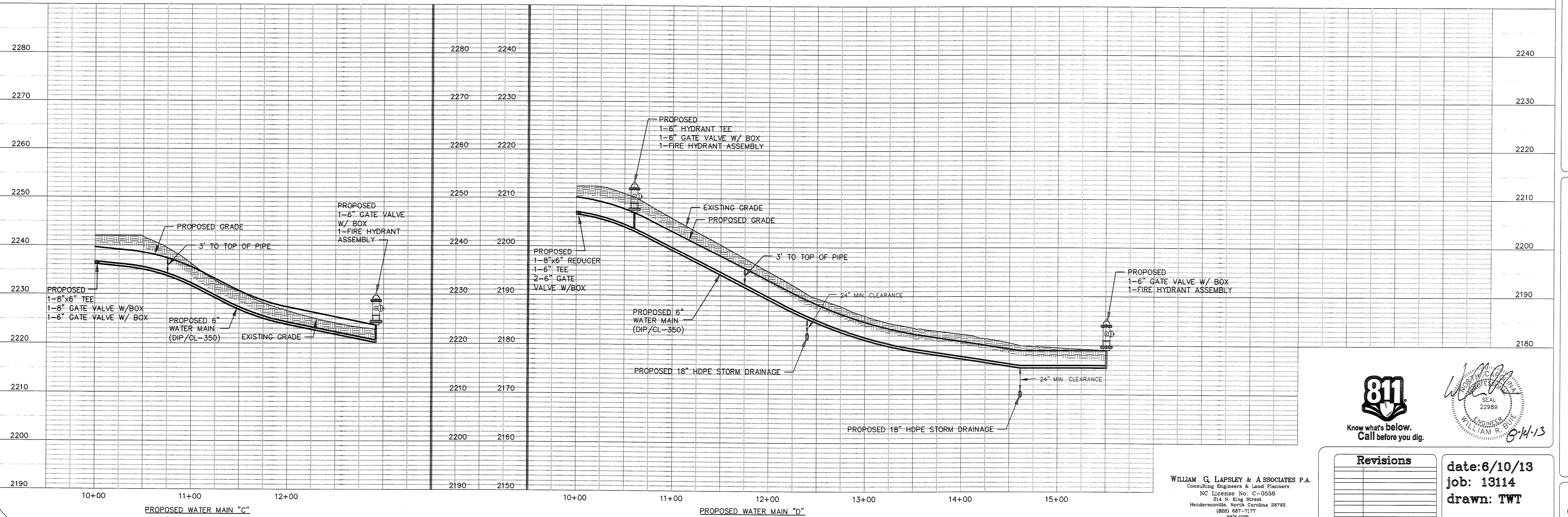
THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

WATER MAIN "C" & "D"  
PLAN & PROFILE

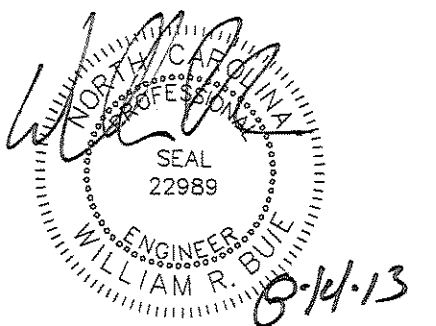
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HORIZONTAL SCALE 1"=50'  
VERTICAL SCALE 1"=10'



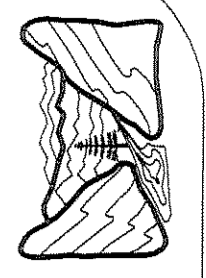
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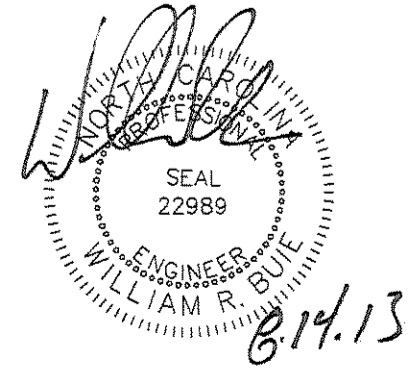
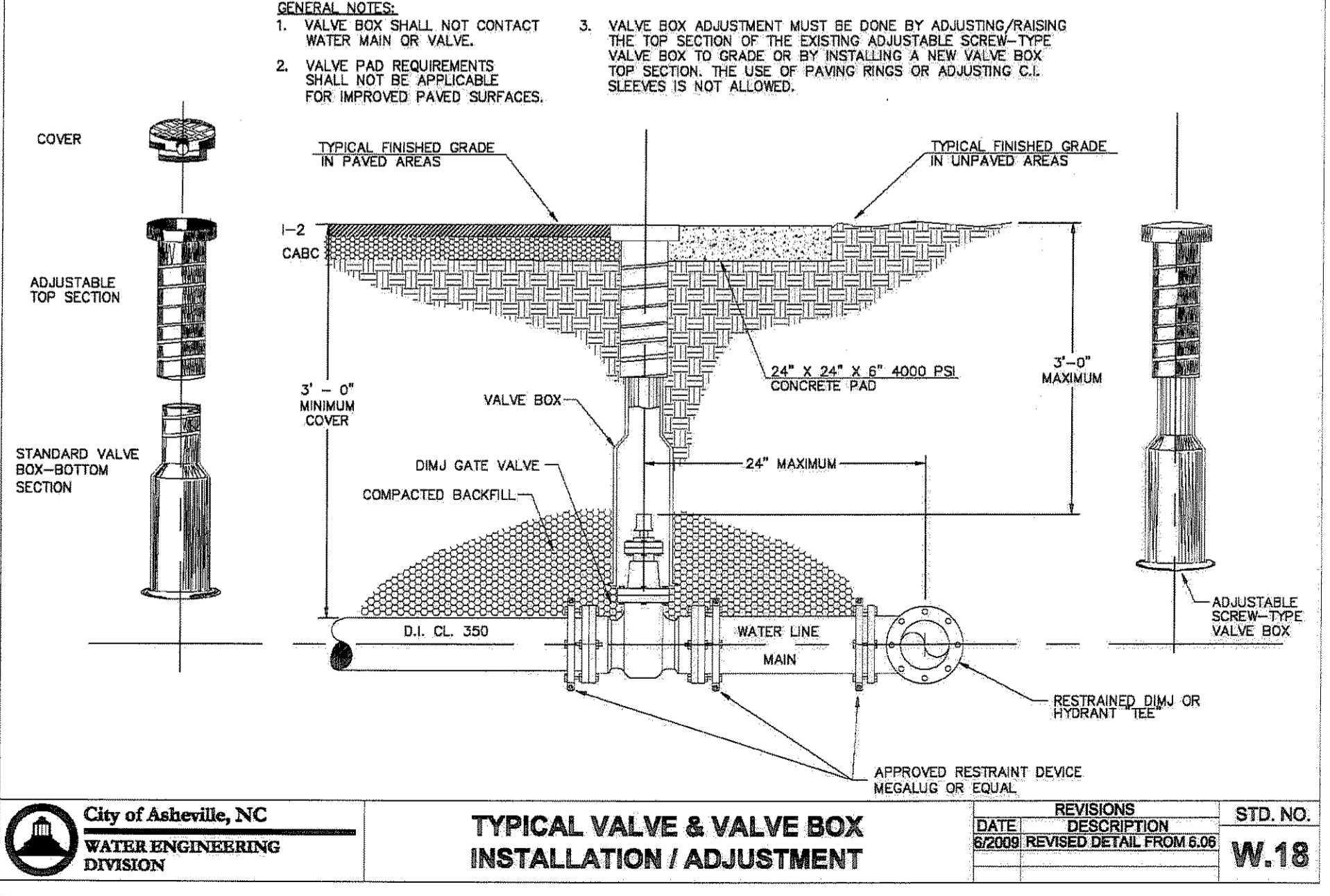
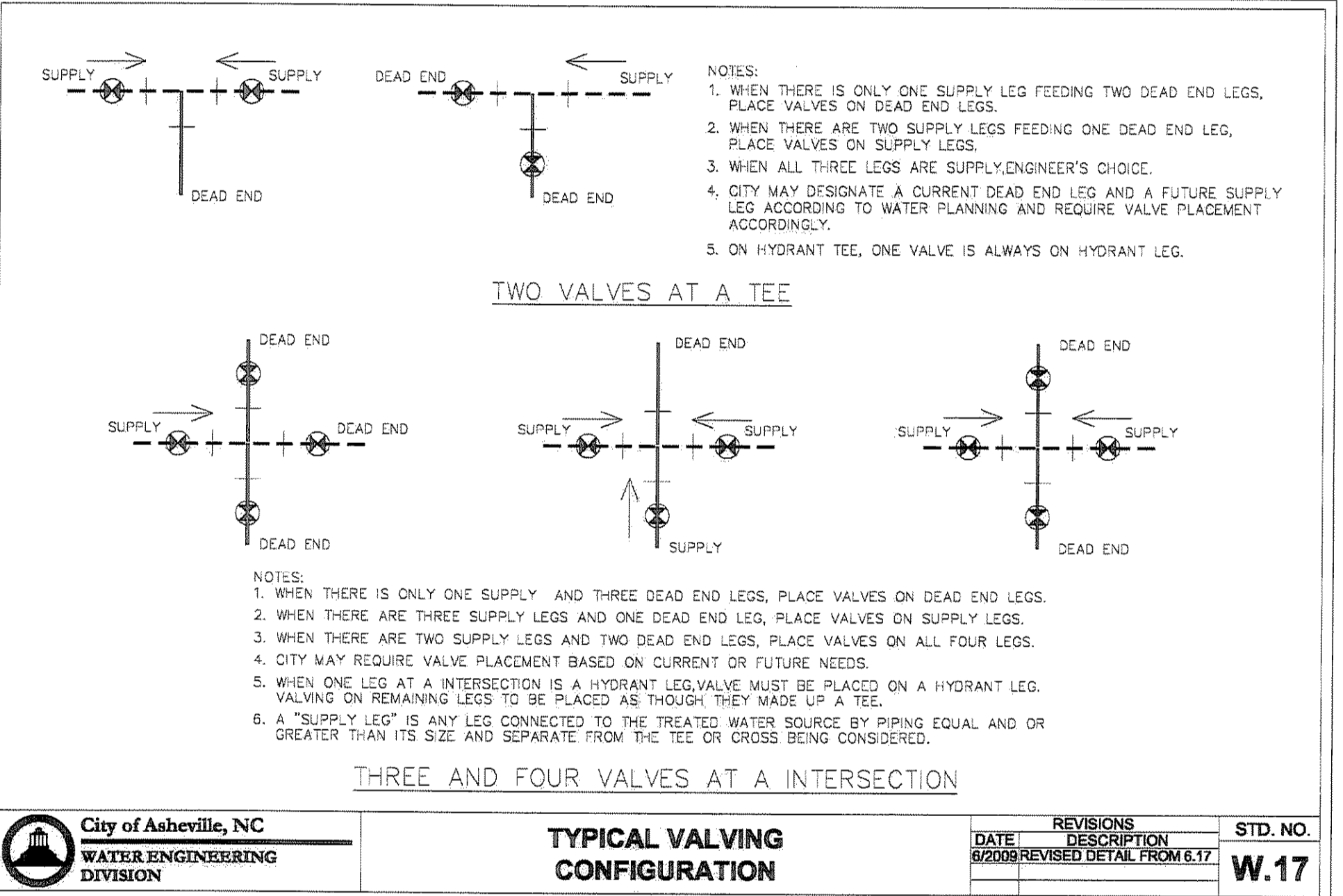
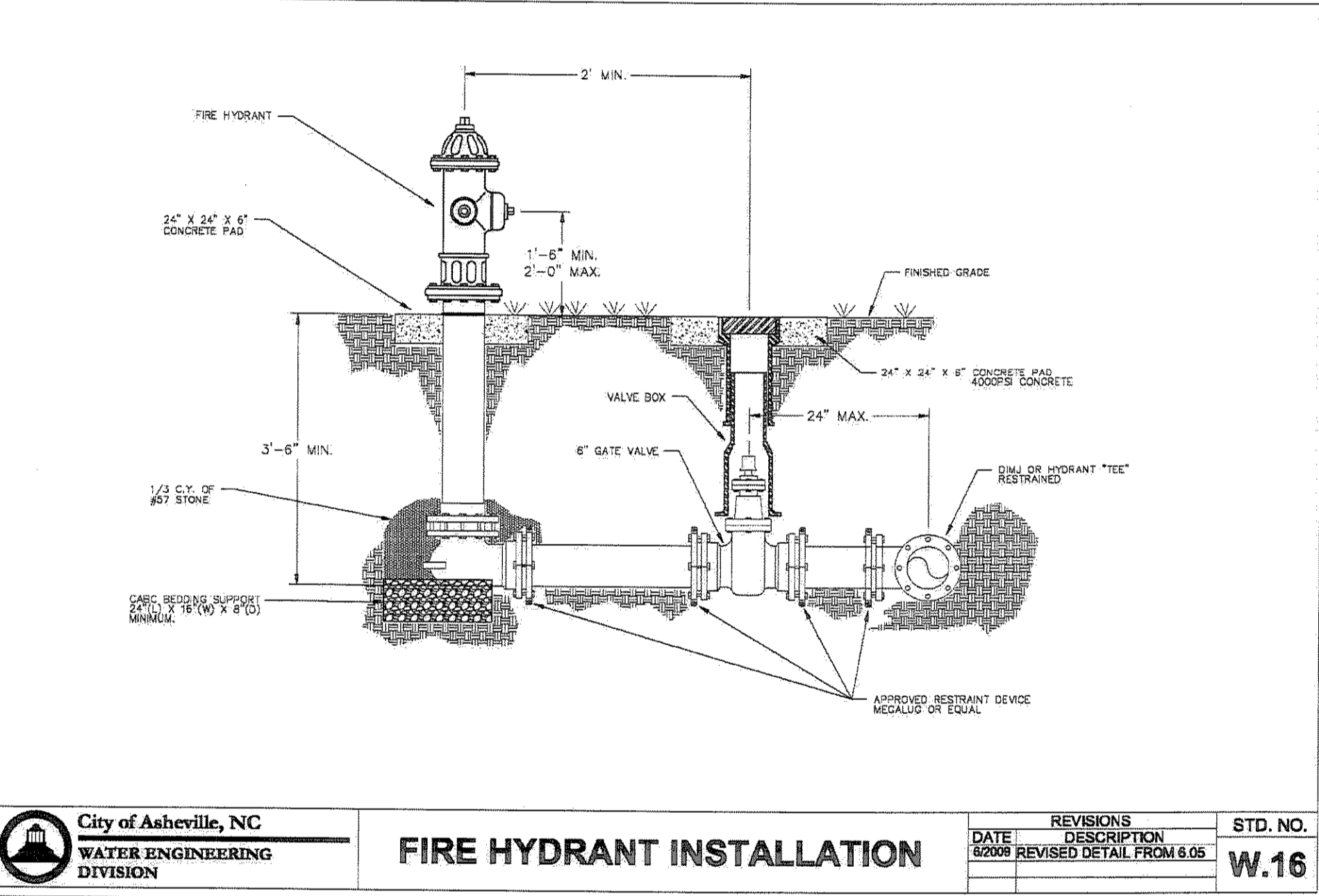
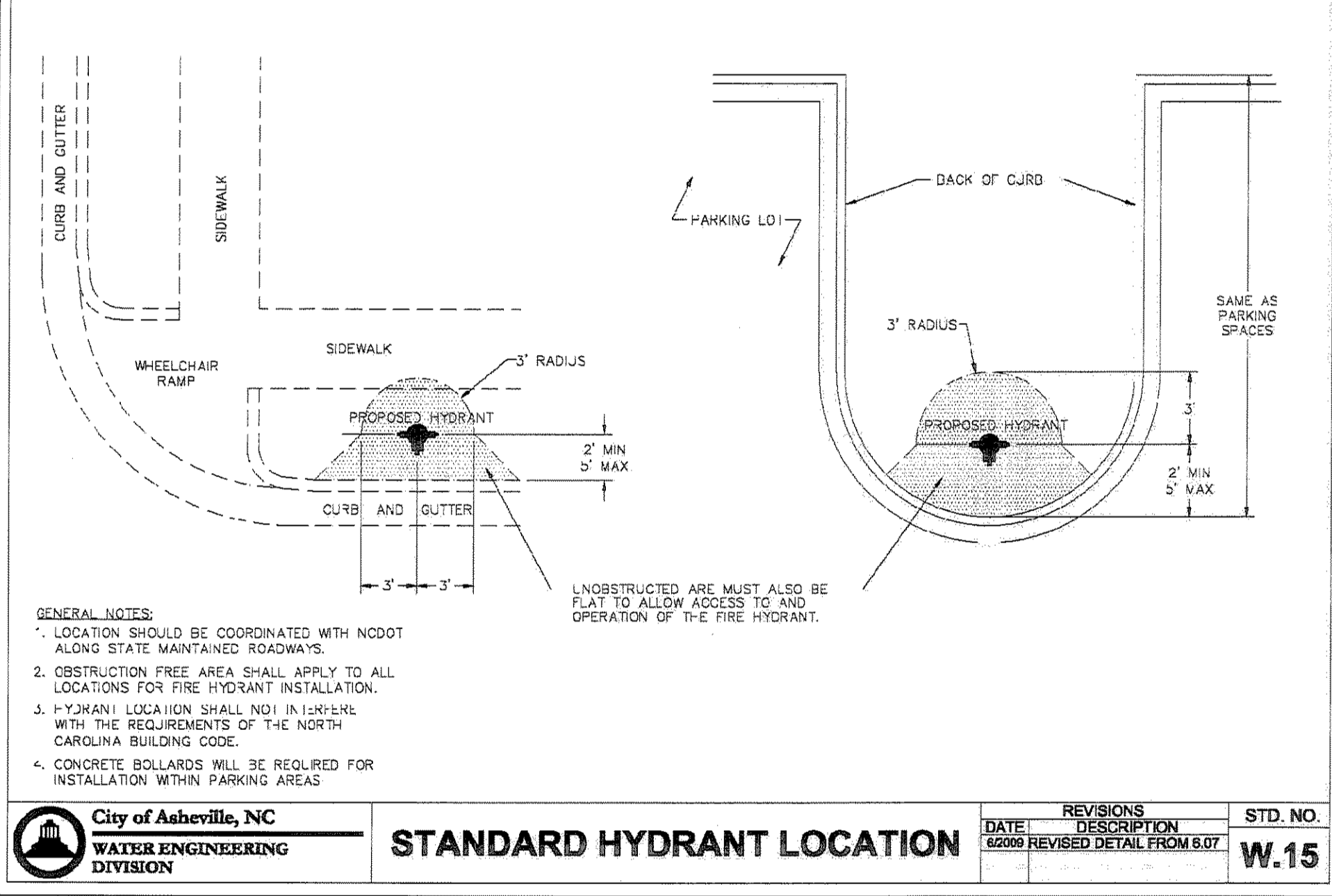
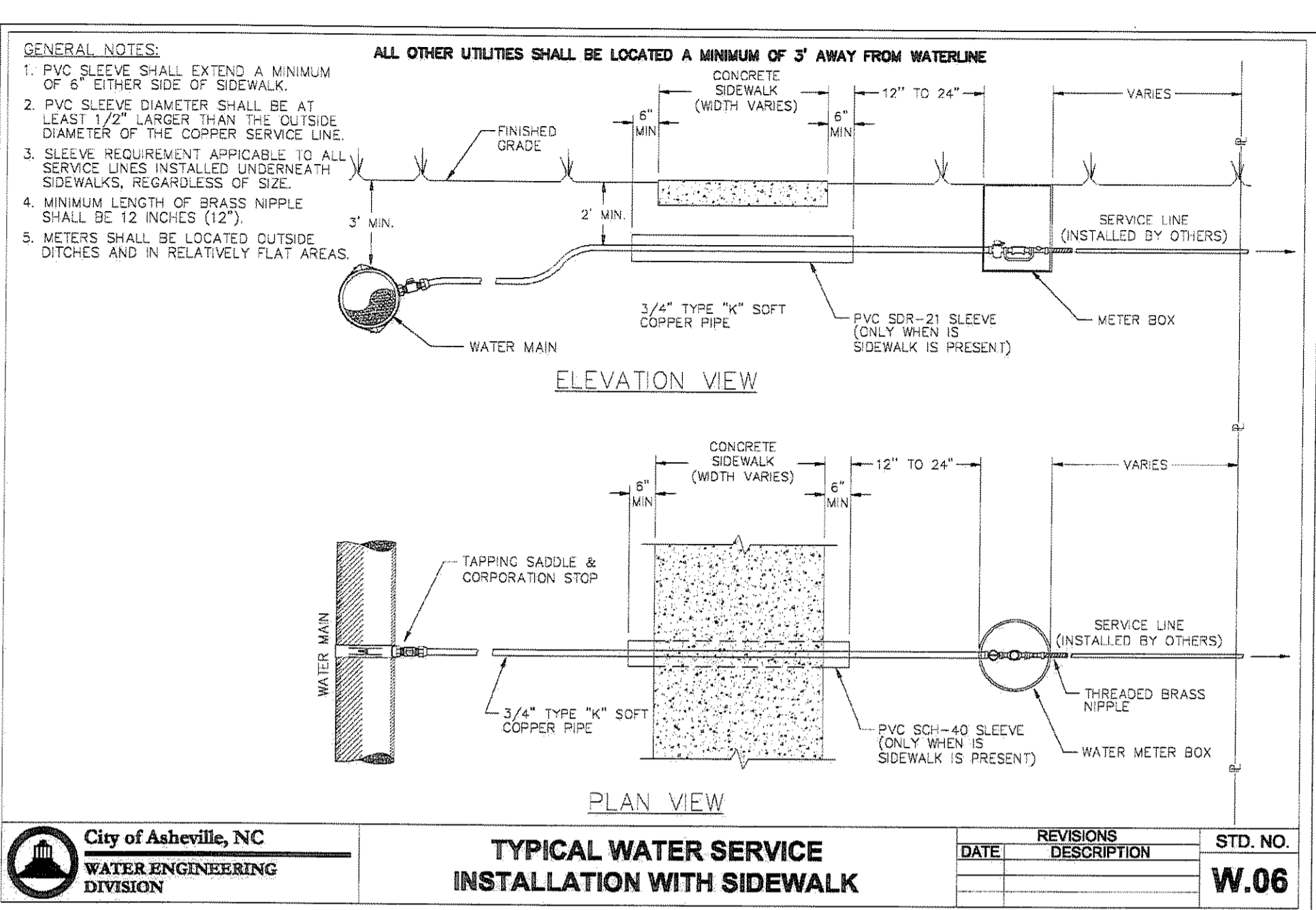
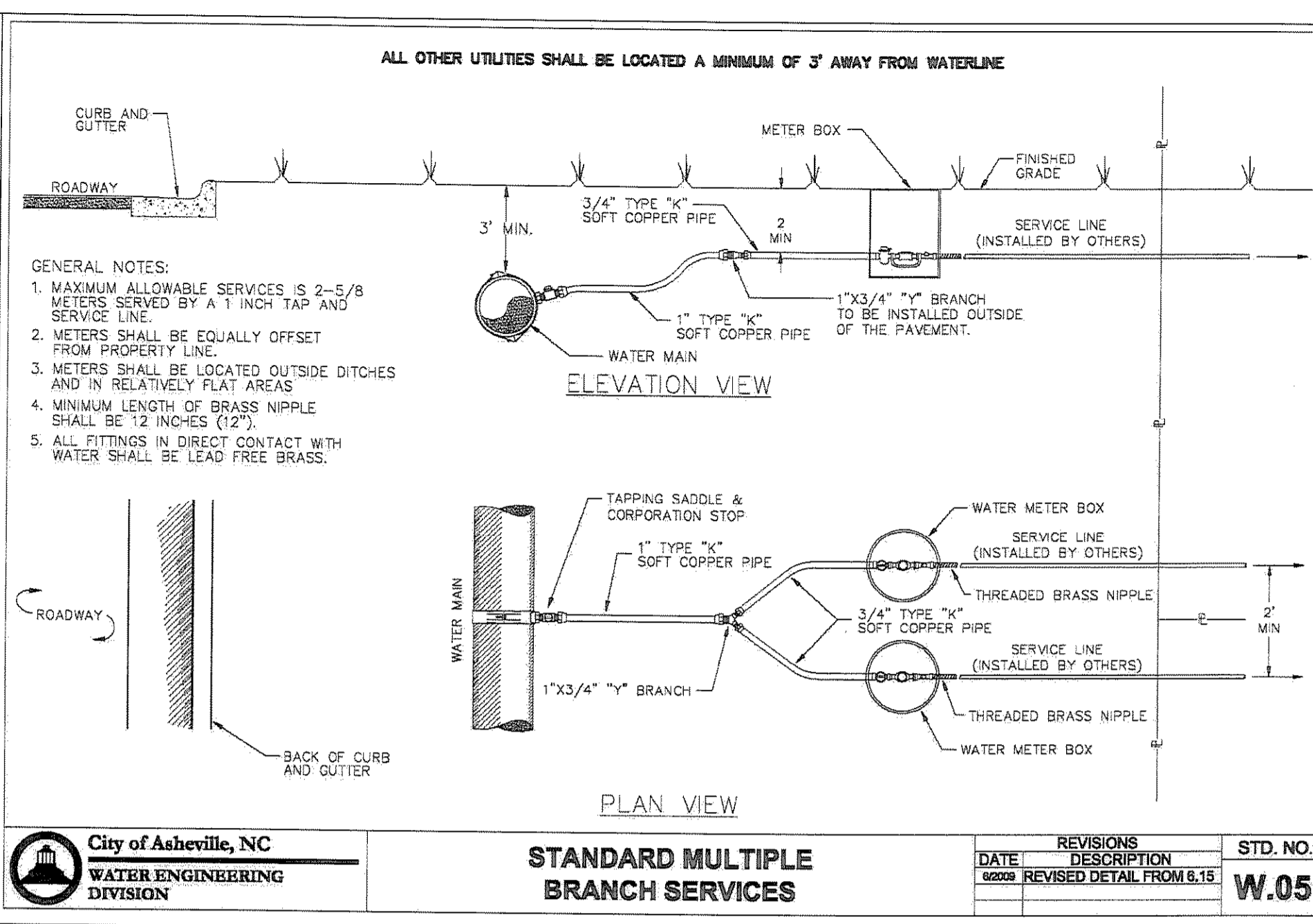
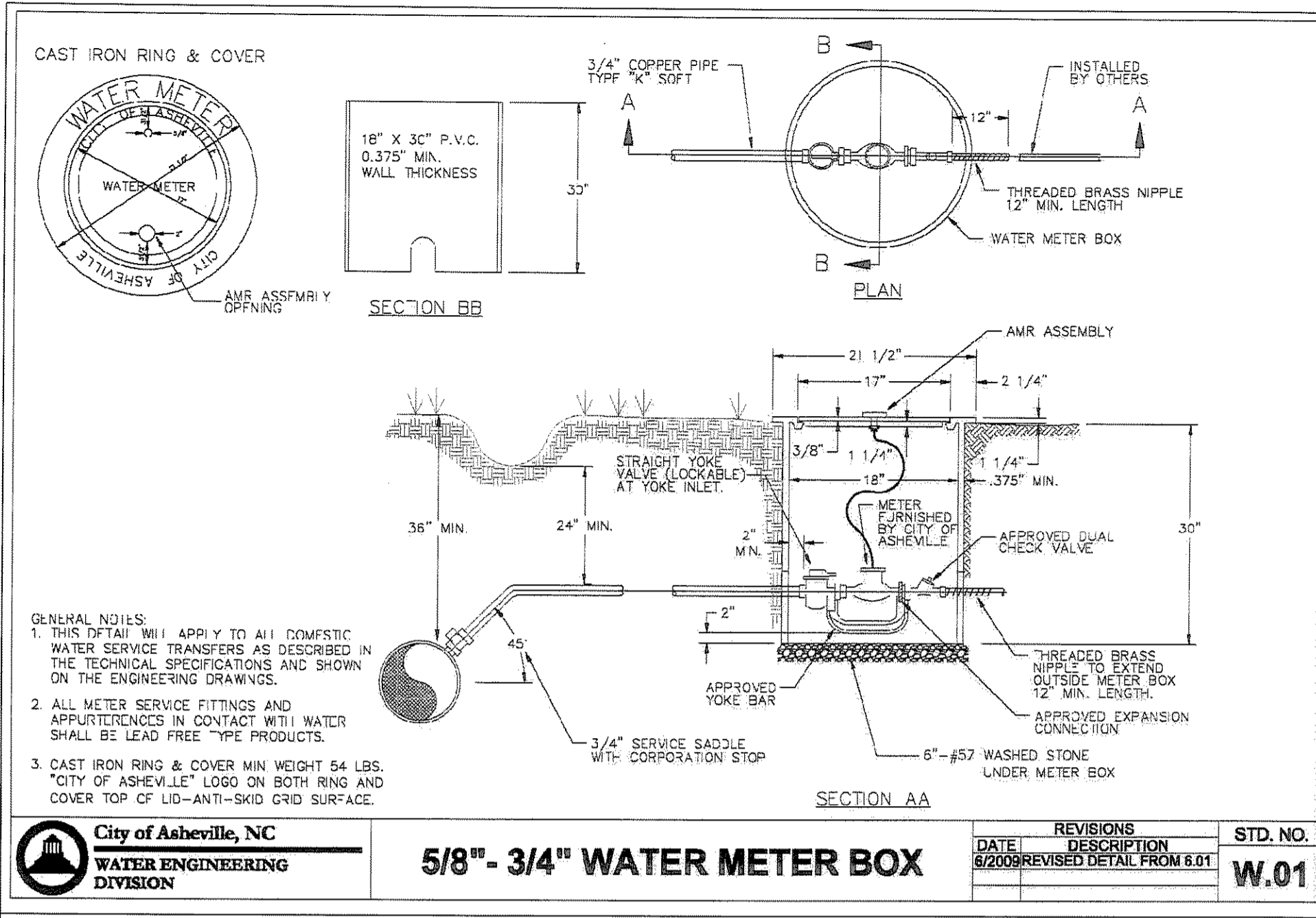


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BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

WATER SYSTEM DETAILS

sheet  
C-504

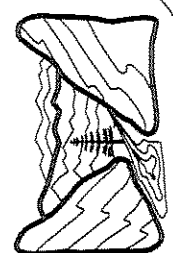


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date: 6/10/13  
job: 13114  
drawn: TWT

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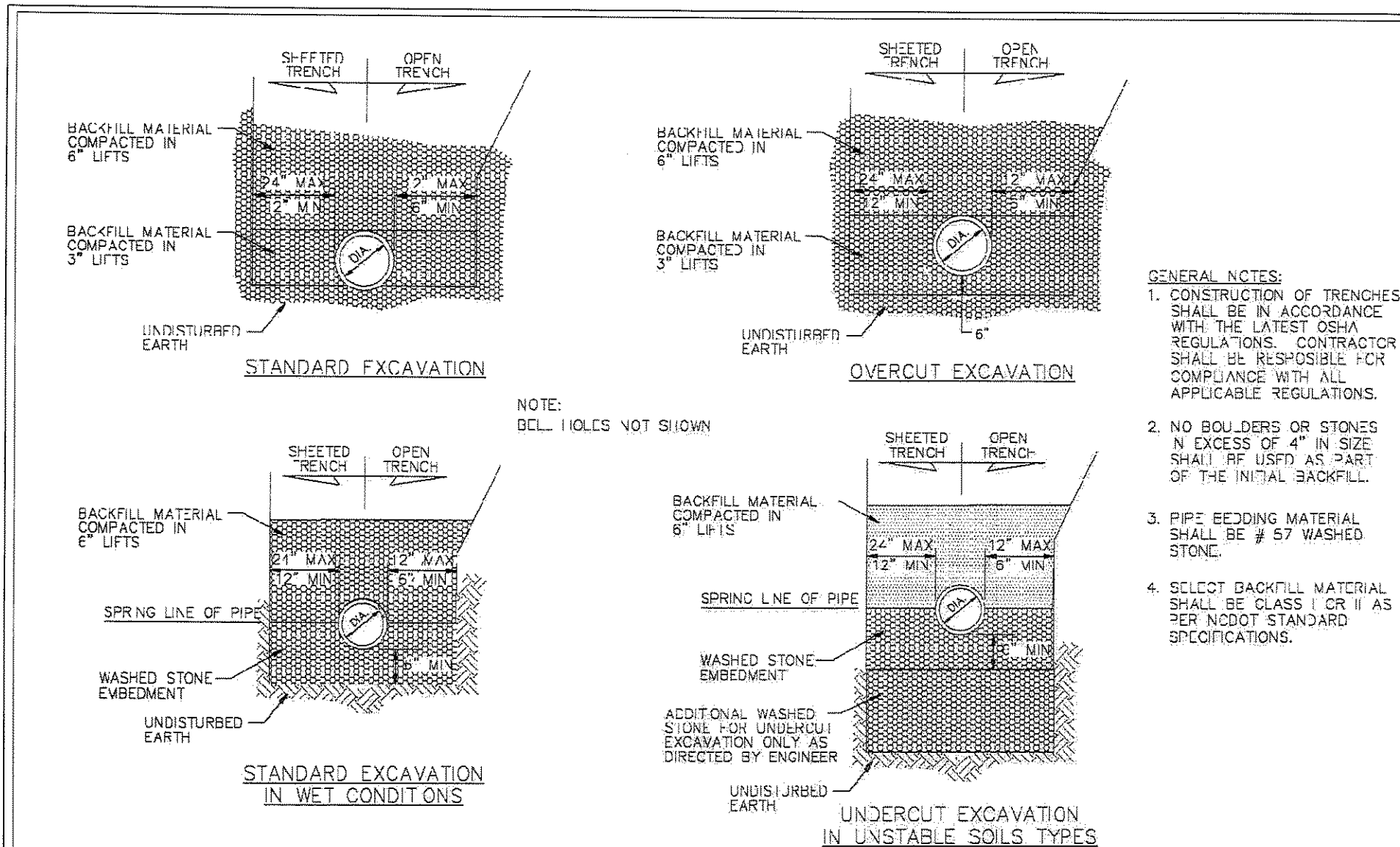


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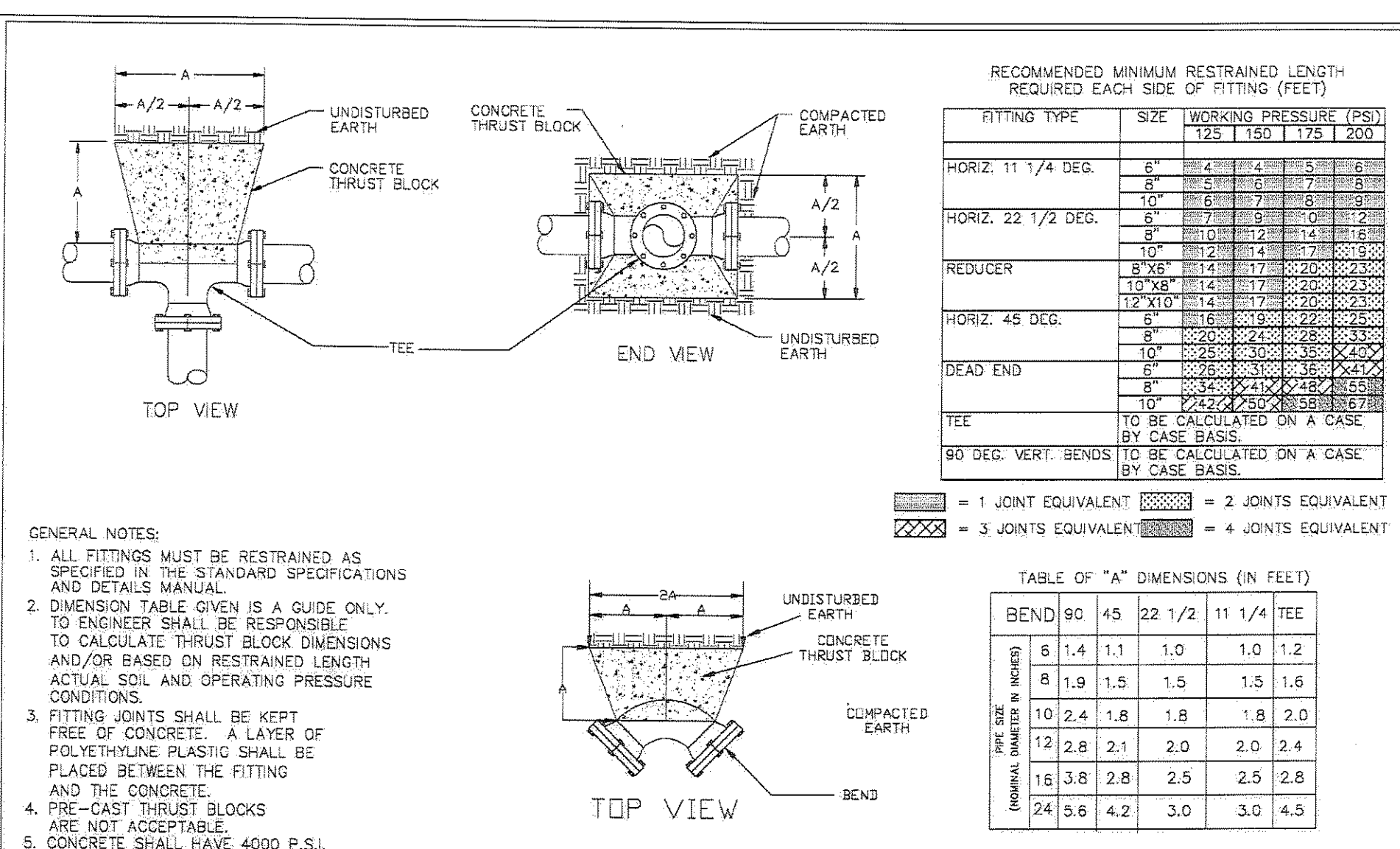
THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

WATER SYSTEM DETAILS

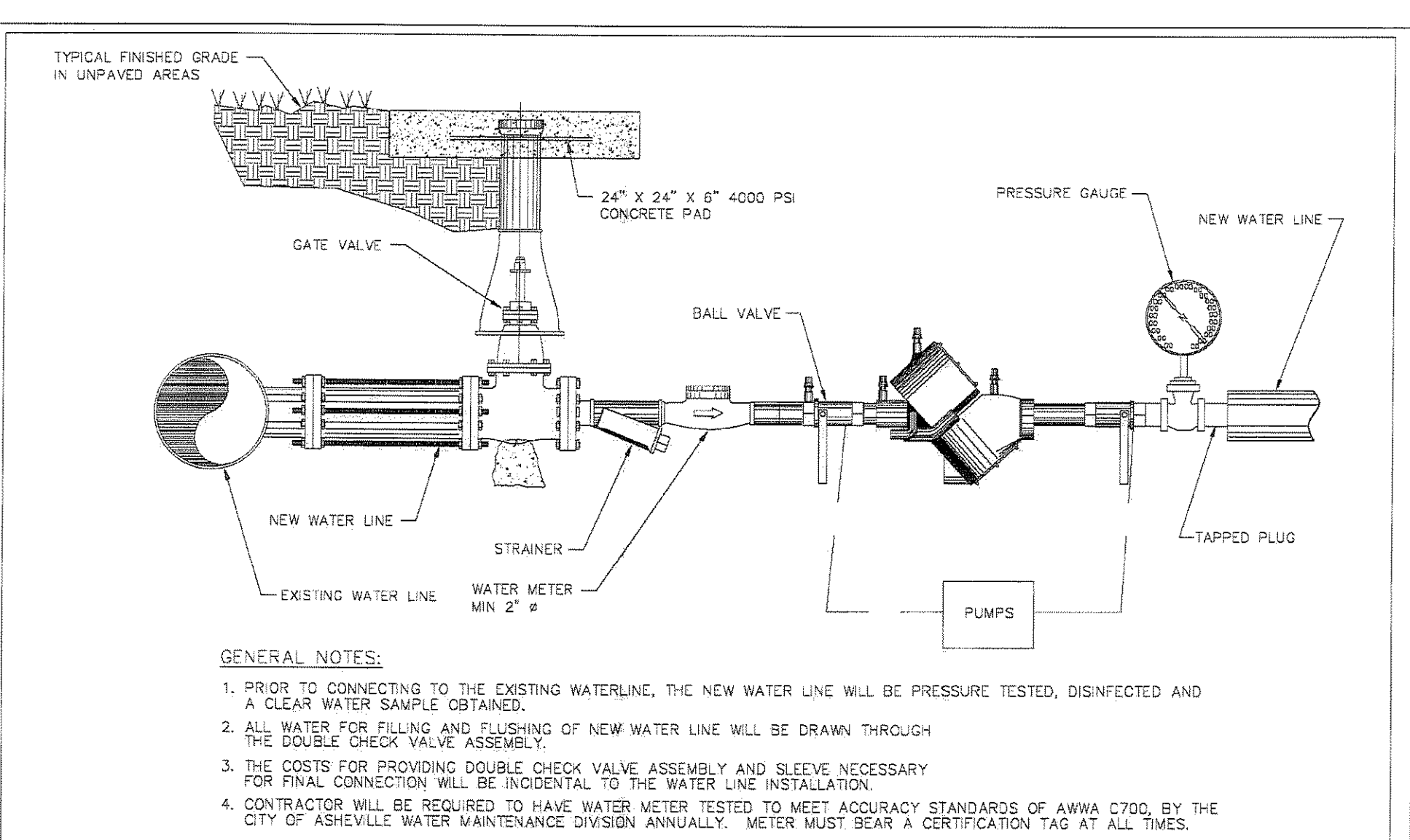
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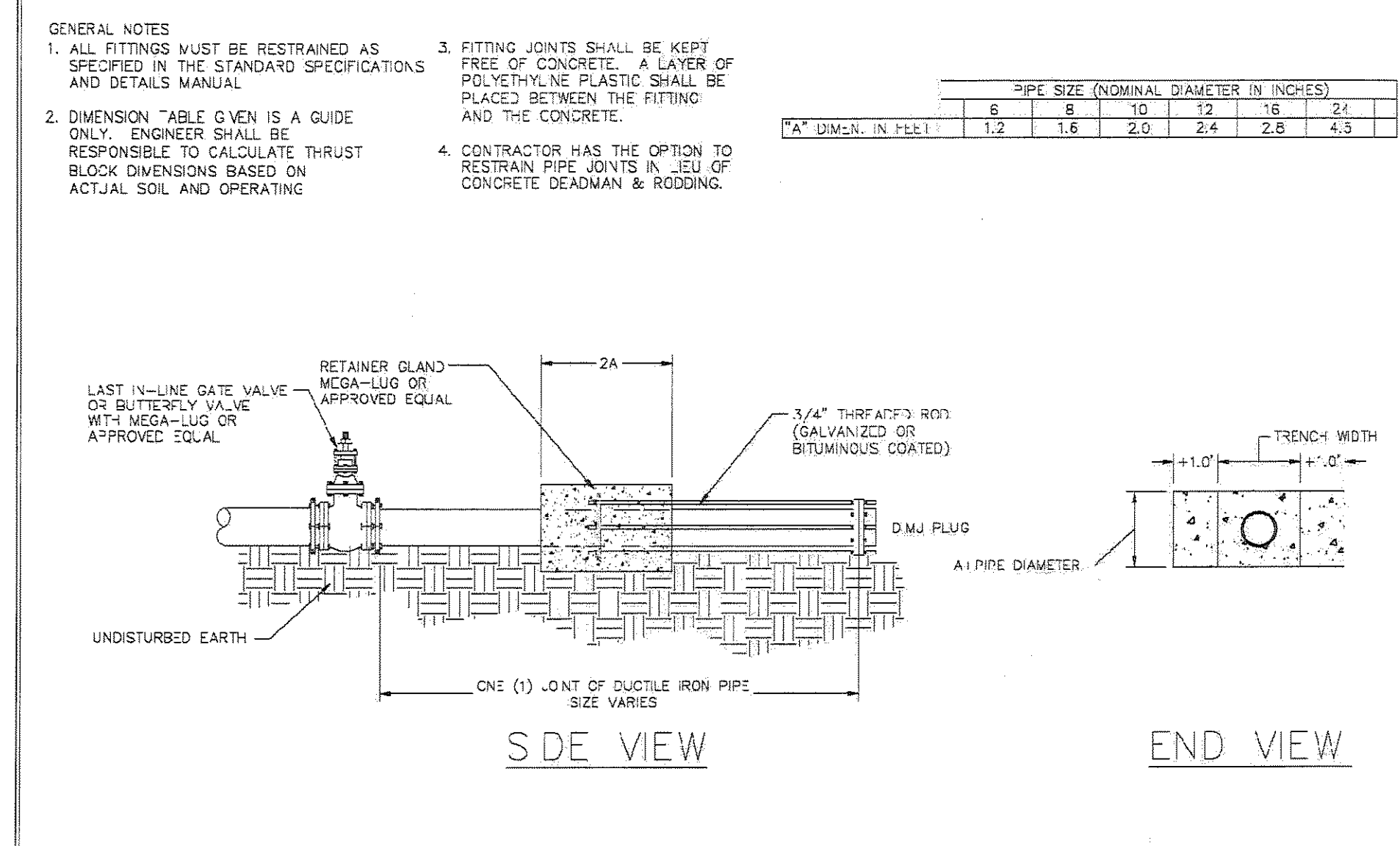
City of Asheville, NC  
WATER ENGINEERING DIVISION  
DATE: 8/2009  
DESCRIPTION: REVISED DETAIL FROM 6.19  
STD. NO.: W.21



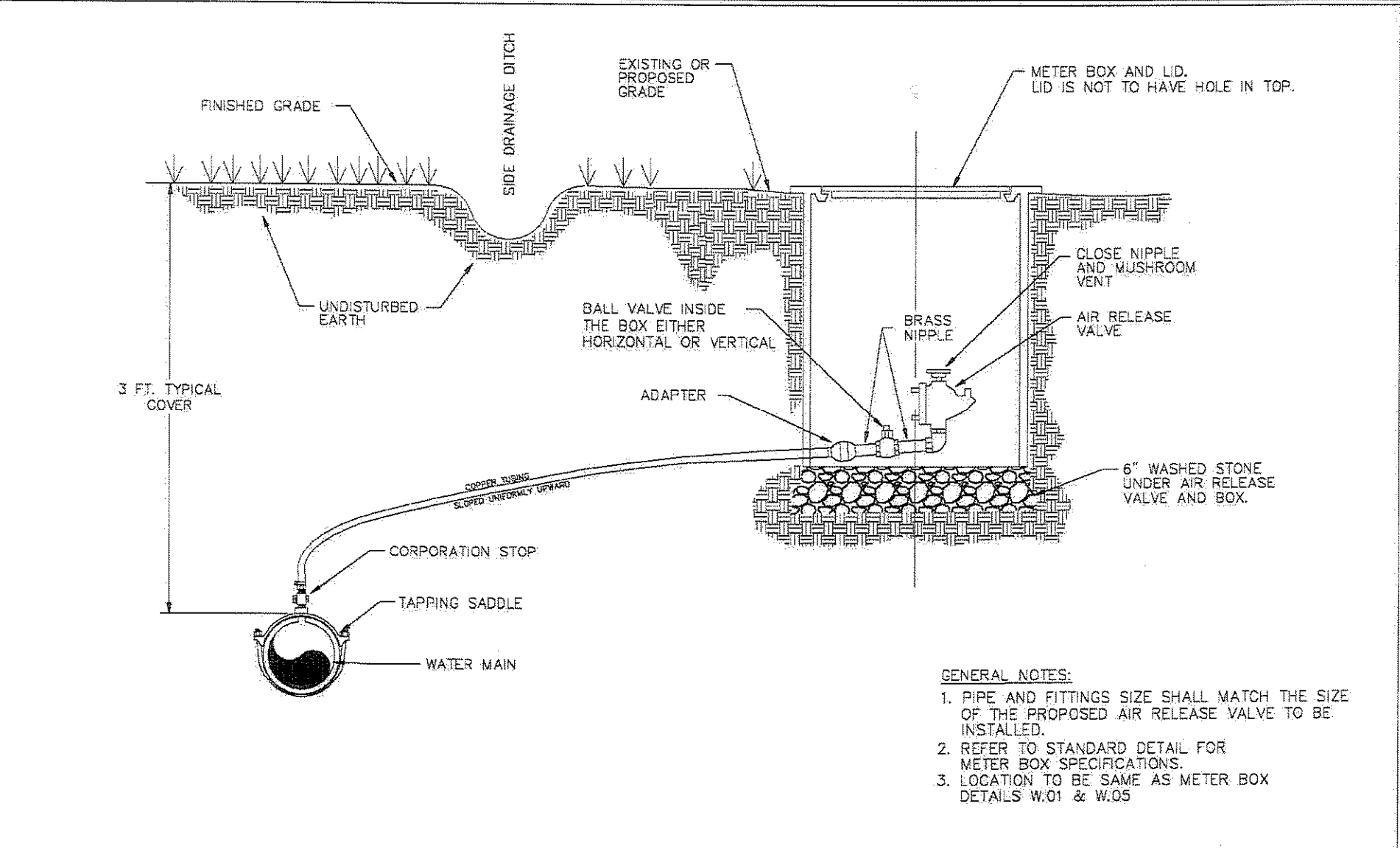
City of Asheville, NC  
WATER ENGINEERING DIVISION  
DATE: 8/2009  
DESCRIPTION: REVISED DETAIL FROM 6.13  
STD. NO.: W.22



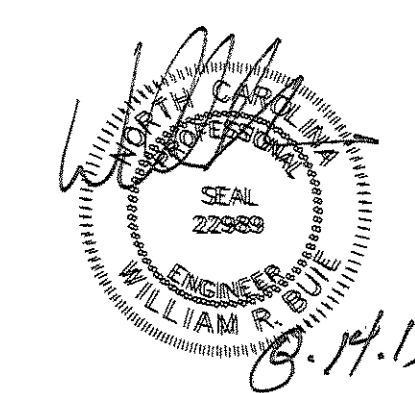
City of Asheville, NC  
WATER ENGINEERING DIVISION  
DATE: 8/2009  
DESCRIPTION: REVISED DETAIL FROM 6.21  
STD. NO.: W.28



City of Asheville, NC  
WATER ENGINEERING DIVISION  
DATE: 8/2009  
DESCRIPTION: REVISED DETAIL FROM 6.14  
STD. NO.: W.23



City of Asheville, NC  
WATER ENGINEERING DIVISION  
DATE: 8/2009  
DESCRIPTION: REVISED DETAIL FROM 6.10  
STD. NO.: W.24



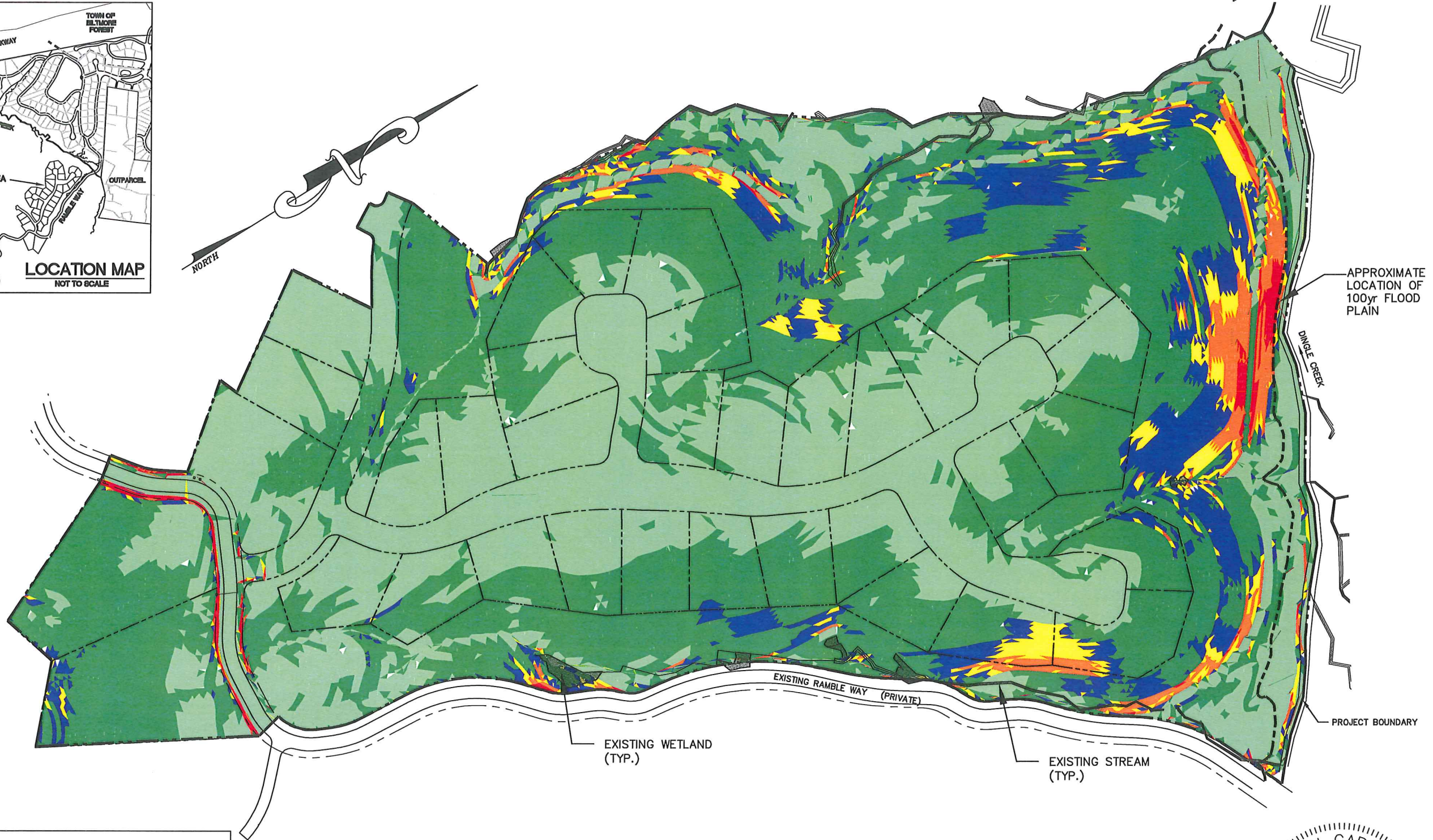
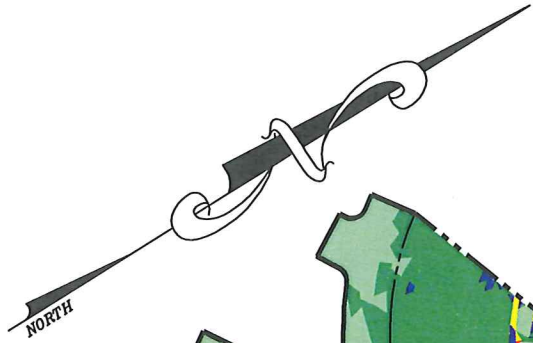
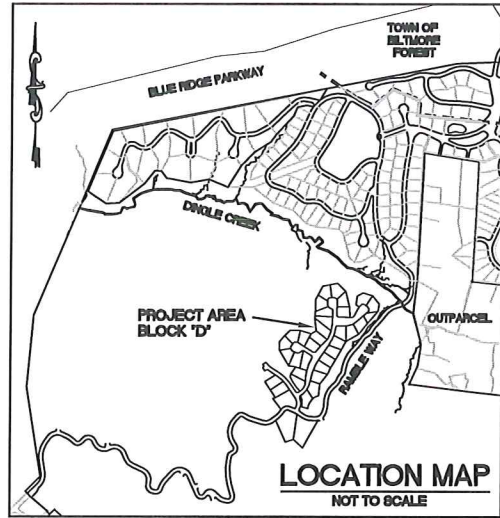
Revisions

NO.	DATE	DESCRIPTION

date: 6/10/13  
job: 13114  
drawn: TWT

WILLIAM G. LAPSLEY & ASSOCIATES P.A.  
Consulting Engineers & Land Planners  
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(828) 687-7177  
wglc.com

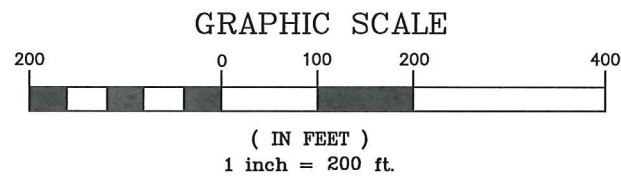
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**NOTE:**

- 1.) TOTAL SLOPE 35% AND GREATER 1.52± AC. 3.0%±
- 2.) TOTAL SITE NATURAL AVERAGE SLOPE IS 17%±

LEGEND			
	0% TO LESS THAN 15% SLOPE	20.90± AC.	42.0%±
	15% TO LESS THAN 25% SLOPE	22.28± AC.	44.8%±
	25% TO LESS THAN 30% SLOPE	3.70± AC.	7.4%±
	30% TO LESS THAN 35% SLOPE	1.38± AC.	2.8%±
	35% TO LESS THAN 50% SLOPE	1.15± AC.	2.3%±
	50% AND GREATER SLOPE	0.37± AC.	0.7%±
	PROJECT BOUNDARY		



Know what's below.  
Call before you dig.

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Revisions

date: 6/10/13  
job: 13114  
drawn: TWT



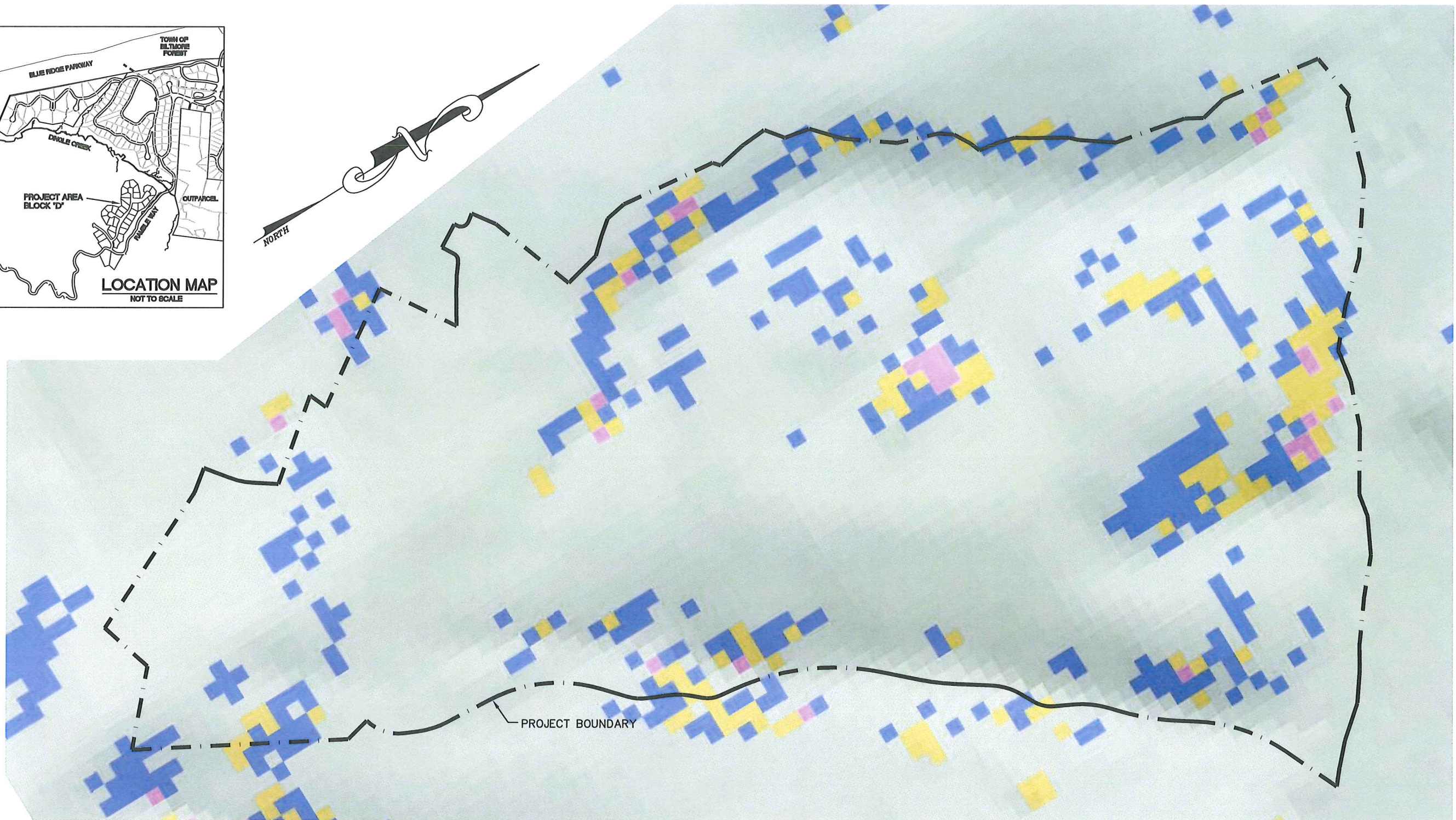
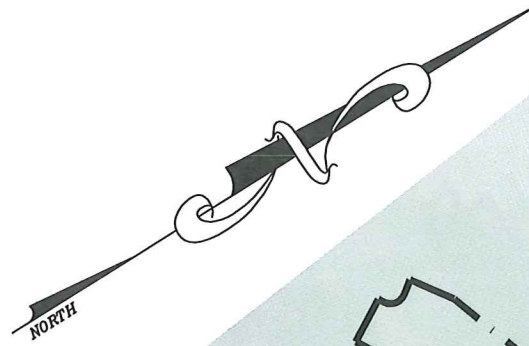
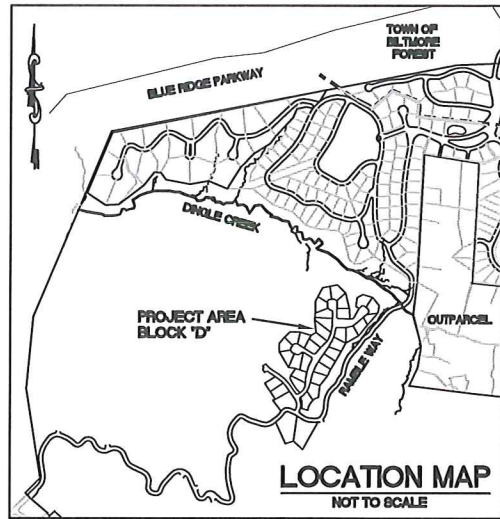
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CONSULTING ENGINEERS & LAND PLANNERS  
HENDERSOVILLE, NORTH CAROLINA

THE RAMBLE BLUMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

SLOPE ANALYSIS MAP

sheet  
C-1.0

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PROJECT BOUNDARY

LEGEND

[Light Blue Box]	STABLE
[Blue Box]	MODERATELY STABLE
[Yellow Box]	NOMINALLY STABLE
[Pink Box]	LOWER THRESHOLD OF INSTABILITY

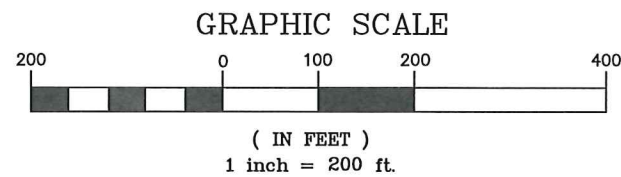
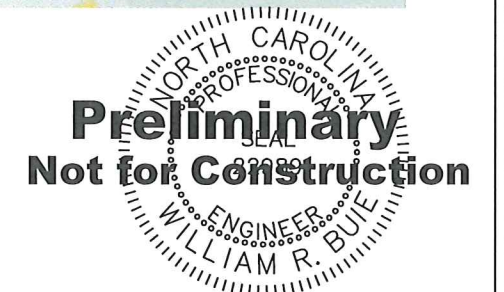


IMAGE REF.: GEOLOGIC HAZARDS MAP SERIES 4 SLOPE MOVEMENT HAZARD MAPS OF BUNCOMBE COUNTY, NORTH CAROLINA VERSION AUGUST 24, 2009.



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HENDERSONVILLE, NORTH CAROLINA

THE RAMBLE BILTMORE FOREST  
BLOCK "D"  
BUNCOMBE COUNTY  
NORTH CAROLINA

SLOPE STABILITY MAP

sheet  
C-1.0

**Ramble - Block "D"**  
**Natural Average Slope**

LOT NUMBER	AREA (AC.)	CONTOUR LENGTH (FT)	AVERAGE SLOPE (%)	SLOPE 90° to R/W (%)	MIN. LOT FRONTAGE	LOT FRONTAGE PROVIDED
Total Parcel	622.00	3054480	23			
Block "D"	49.83	186553	17			
1	0.56	N/A*	N/A*	5	50	121
2	0.58	N/A*	N/A*	11	50	121
3	0.57	N/A*	N/A*	13	50	149
4	0.53	N/A*	N/A*	12	50	144
5	0.53	N/A*	N/A*	13	50	125
6	0.53	N/A*	N/A*	14	50	113
7	0.53	N/A*	N/A*	14	50	144
8	0.54	N/A*	N/A*	13	50	123
9	0.53	N/A*	N/A*	11	50	97
10	0.56	N/A*	N/A*	18	50	172
11	0.64	N/A*	N/A*	18	50	180
12	0.49	N/A*	N/A*	14	50	191
13	0.52	N/A*	N/A*	15	50	122
14	0.51	N/A*	N/A*	17	50	101
15	0.60	N/A*	N/A*	8	50	76
16	0.55	N/A*	N/A*	12	50	81
17	0.54	N/A*	N/A*	16	50	74
18	0.51	N/A*	N/A*	13	50	169
19	0.58	N/A*	N/A*	10	50	186
20	0.64	N/A*	N/A*	9	50	124
21	0.53	N/A*	N/A*	11	50	121
22	0.56	N/A*	N/A*	14	50	139
23	0.52	N/A*	N/A*	16	50	104
24	0.54	N/A*	N/A*	14	50	72
25	0.51	N/A*	N/A*	18	50	71
26	0.48	N/A*	N/A*	13	50	75
27	0.57	N/A*	N/A*	7	50	133
28	0.51	N/A*	N/A*	5	50	168
29	0.51	N/A*	N/A*	7	50	144
30	0.53	N/A*	N/A*	10	50	157
271	1.08	N/A*	N/A*	9	50	185
272	0.61	N/A*	N/A*	7	50	137
273	0.55	N/A*	N/A*	12	50	133
356	1.72	N/A*	N/A*	14	50	350
357	1.69	N/A*	N/A*	16	50	295

Note:

S= Average natural slope of parcel in percent

I= Contour interval of map in feet (2 foot map)

L= Total length of contour lines within the parcel in feet

A= Area of the parcel in acres

0.0023= Constant which converts square feet into acres

S%=  $\frac{0.0023 \times I \times L}{A}$  Ref. Buncombe County pg. CD70:18

A

N/A\* Average slope of individual lots is not applicable since slope of tract is less than 25%.

# ATTACHMENT B

Buncombe County Planning Board Meeting  
Recommended Staff Conditions  
**SUB2013-00268**  
September 16, 2013  
**The Ramble Block D**

If approved by the Buncombe County Planning Board, the applicant shall provide the following information on a revised set of plans (if necessary) submitted to the Buncombe County Department of Planning and Development:

1. Indicate provision of the following on the submitted plans
  - a. Provisions for electrical and telephone services
  - b. Provisions for cable television service
  - c. Provision of natural gas lines if applicableOr indicate that no provision for the items listed above has been made.
2. Provide proof of approval of road names and addresses from E-911 Addressing.
3. Provide a written statement from the Buncombe County Erosion Control Officer stating that an Erosion Control Plan has been submitted and approved for the project. *No grading shall occur on the site until an approved Buncombe County Erosion Control permit is obtained.*
4. Provide proof of approval of system design for City of Asheville Water lines. Proof of acceptance of the water lines into the City of Asheville's water system will be required prior to recordation of a final plat or release of a financial guarantee.
5. Provide proof of approval of system design from the Metropolitan Sewerage District. Proof of acceptance of the sewer lines into the Metropolitan Sewerage District sewage system will be required prior to recordation of a final plat or release of a financial guarantee.
6. Revise average natural slope calculation. Average nature slope would have to be calculated for the entire tract, including the future development. A survey for the entire tract (including the future development) would also need to be included.
7. Indicate on the submitted plans that Ramble Way meets the minimum requirements of the Buncombe County Land Development and Subdivision Ordinance.